

# RE-BID

## 2024 BUILDING RENOVATIONS City of Alexandria SWAT Building

1237 Texas Avenue, Alexandria, Louisiana

CITY OF ALEXANDRIA - Owner

### CITY COUNCIL MEMBERS

JAMES "JIM" VILLARD - COUNCILMAN AT LARGE

LEE RUBIN - COUNCILMAN AT LARGE

REDDEX WASHINGTON - COUNCILMAN DISTRICT 1

GARY JOHNSON- COUNCILMAN DISTRICT 2

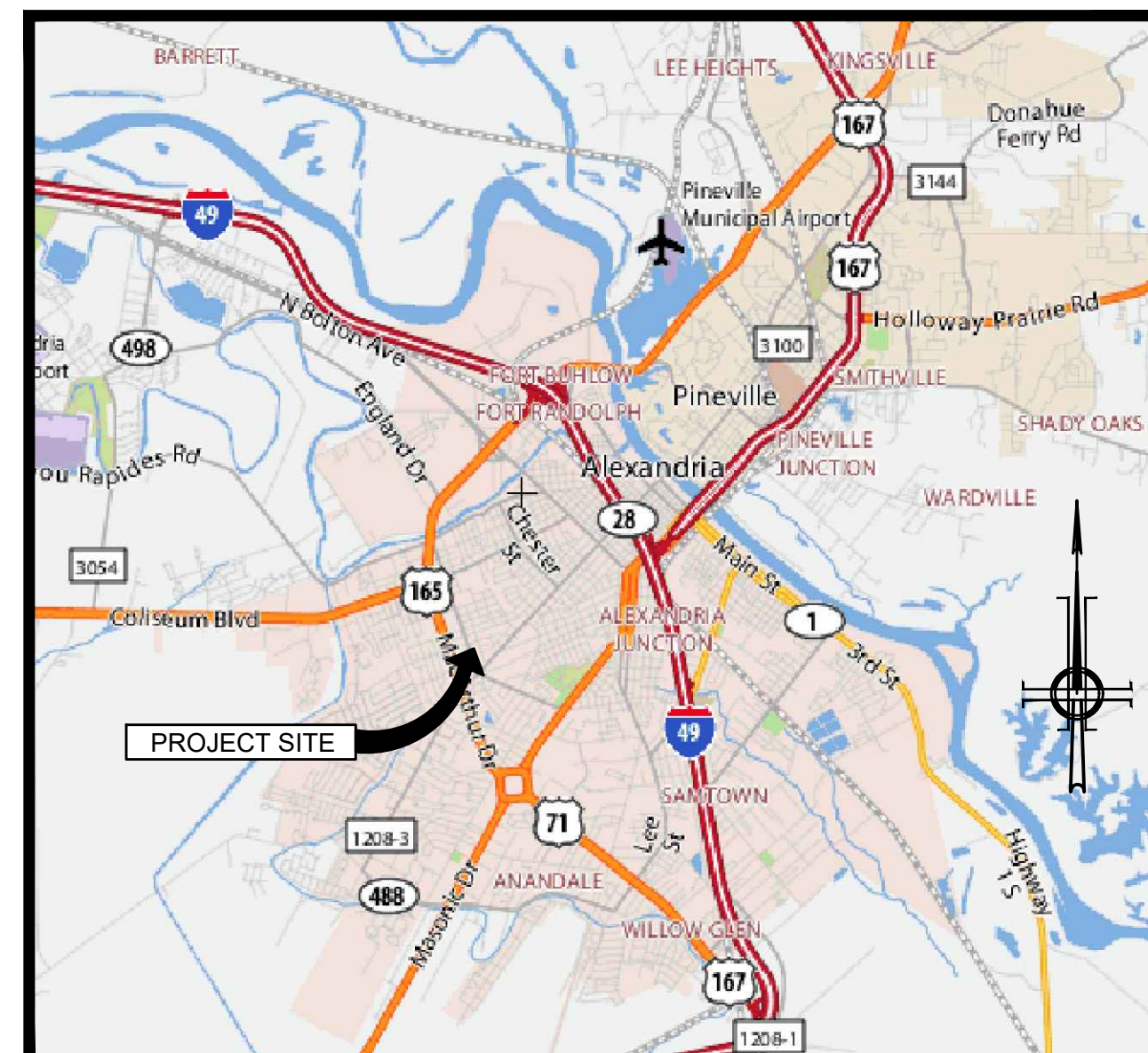
CYNTHIA PERRY - COUNCILMAN DISTRICT 3

LIZZIE FELTER - COUNCILMAN DISTRICT 4

CHARLES L. "CHUCK" FOWLER, JR. - COUNCILMAN DISTRICT 5

JACQUES M. ROY - MAYOR

PROJECT VICINITY MAP



### SCHEDULE OF DRAWINGS

#### ARCHITECTURAL

- A001 TITLE SHEET
- A101 SITE PLAN
- A201 DEMOLITION - FLOOR PLAN
- A202 PHOTOS OF EXISTING CONDITIONS
- A203 NEW FLOOR PLAN
- A204 REFLECTED CEILING PLAN
- A301 ROOF PLAN
- A401 DEMOLITION EXTERIOR ELEVATIONS
- A402 EXTERIOR PHOTOS, DETAIL, & ROOM FINISH SCHEDULE
- A403 NEW EXTERIOR ELEVATIONS
- A501 BUILDING SECTIONS
- A601 WALL SECTIONS
- A701 INTERIOR ELEVATIONS & DETAILS
- A801 COLUMN/ROOF DETAILS
- A802 MISC. ROOF DETAILS
- A803 BALCONY RAILING DETAILS
- A804 WINDOW DETAILS & ELEVATIONS
- A805 DOOR ELEVATIONS & SCHEDULE

#### MECHANICAL

- M001 MECHANICAL LEGEND AND NOTES
- M101 MECHANICAL PLAN
- M201 MECHANICAL SCHEDULES AND DETAILS

#### PLUMBING

- P001 PLUMBING LEGEND AND NOTES
- P101 PLUMBING DEMOLITION PLAN
- P201 PLUMBING PLAN
- P301 PLUMBING SCHEDULE AND DETAILS

#### ELECTRICAL

- E001 ELECTRICAL LEGEND
- E101 ELECTRICAL DEMOLITION PLANS
- E201 LIGHTING PLAN
- E301 POWER AND SPECIAL SYSTEMS PLANS
- E401 ELECTRICAL SCHEDULES, DETAILS, & RISERS

SITE VISUAL REFERENCE



**Braddock Companies, LLC**  
Architecture • Design Build • Custom Residential  
4024 Jackson Street  
Alexandria, Louisiana 71303  
PH 318-704-4393  
info@braddockcompanies.com



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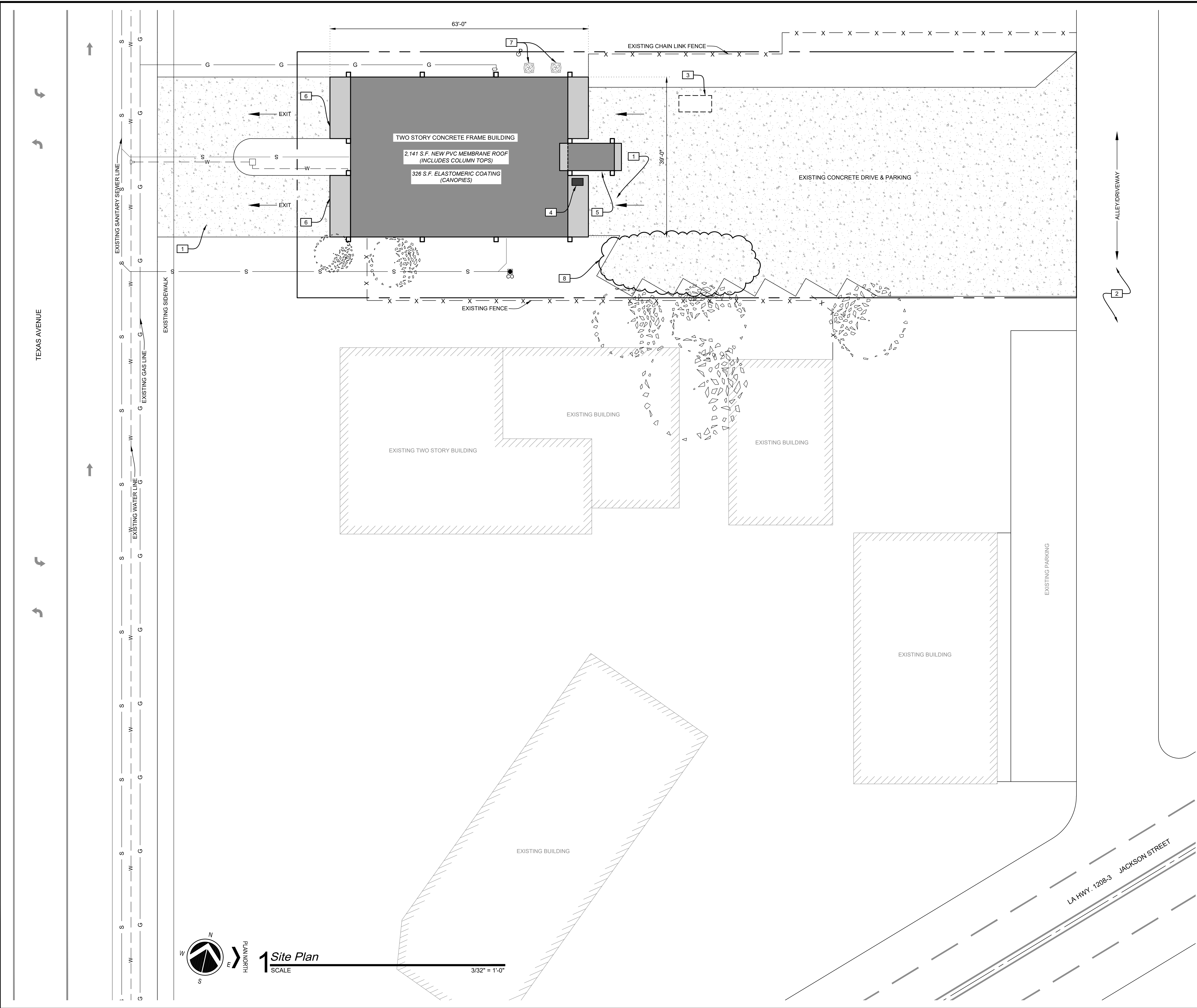
TITLE SHEET

|            |               |
|------------|---------------|
| REVISIONS: | DATE          |
|            | DECEMBER 2024 |
| JOB NUMBER | BC2024-01     |

A001

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**GENERAL PROJECT NOTES**

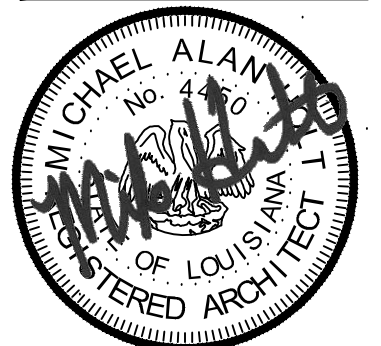
- G1 BUILDING IS AN ACTIVE SITE FOR POLICE. COORDINATE WORK & PARKING SO AS NOT TO BLOCK VEHICLES & EXIT PATHS
- G2 PROTECT VEHICLES & SURROUNDING SURFACES WHEN CLEANING & WATERPROOFING EXTERIOR ENVELOPE
- G3 DO NOT INTERRUPT POWER WITHOUT 24 HOUR PRIOR NOTICE TO OWNER REPRESENTATIVE
- G4 MAINTAIN ENTRY/EXIT OF CITY VEHICLES IN AT LEAST ONE SIDE OF BUILDING AT ALL TIMES (24 HRS./DAY). COORDINATE WITH OWNER REPRESENTATIVE
- G5 DURING DEMOLITION PHASE. COORDINATE WITH OWNER TO DETERMINE WHICH & WHERE ROOF PENETRATIONS CAN BE ELIMINATED DUE TO NON-USE (i.e. KITCHEN HOOD EXHAUST, ORIGINAL VEHICLE EXHAUST PIPING, ETC.)

**SITE KEY NOTES**

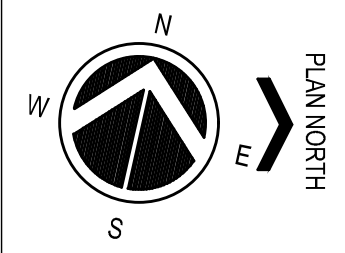
- 1 COORDINATE WITH POLICE WHICH TRUCK BAY WILL BE WORKED ON AT ANY ONE TIME SO THAT THE VEHICLES WILL BE ACCESSIBLE 24/7
- 2 DO NOT BLOCK PUBLIC ACCESS TO ALLEY DRIVE
- 3 COORDINATE LOCATION OF DUMPSTERS TO BE USED BY CONTRACTOR
- 4 COORDINATE WITH OWNER REGARDING EXISTING TRUCK EXHAUST SYSTEM & REMOVAL. INCLUDE IN BASE BID
- 5 COMPLETE WORK AT TOWER ELEVATION FIRST. WORK FROM TOP DOWN
- 6 WORK ON ONE SIDE OF BUILDING & FRONT BALCONY AT A TIME. KEEP POLICE VEHICLES READILY AVAILABLE
- 7 PROTECT AC CONDENSERS DURING CONSTRUCTION
- 8 CLOUDED AREA INDICATES POSSIBLE LAY DOWN & STAGING AREA. COORDINATE WITH OWNER



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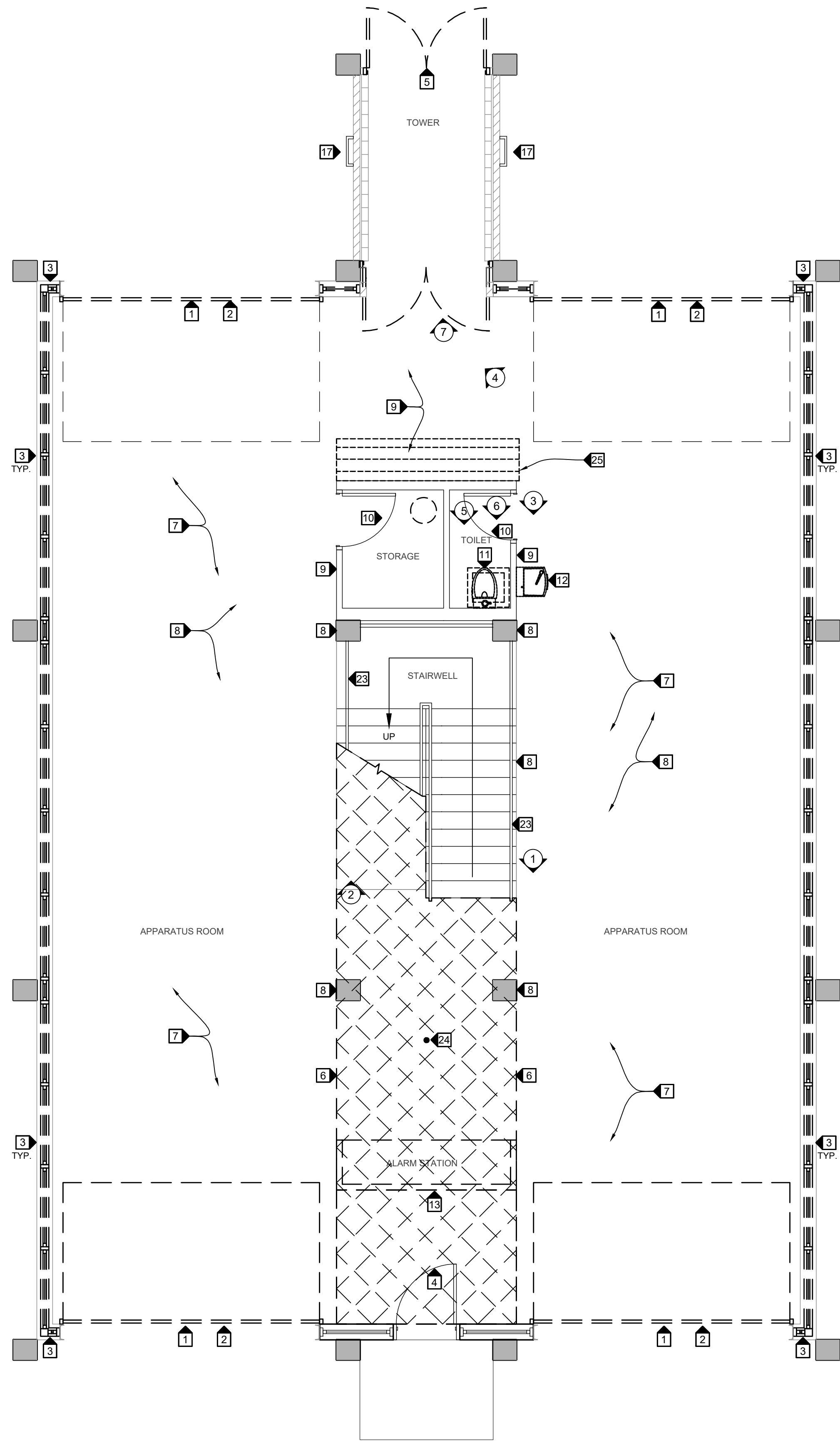
**1 Site Plan**  
 SCALE 3/32" = 1'-0"

|                  |                       |
|------------------|-----------------------|
| <b>SITE PLAN</b> | DATE: DECEMBER 2024   |
|                  | JOB NUMBER: BC2024-01 |
|                  | REVISIONS:            |

**A101**

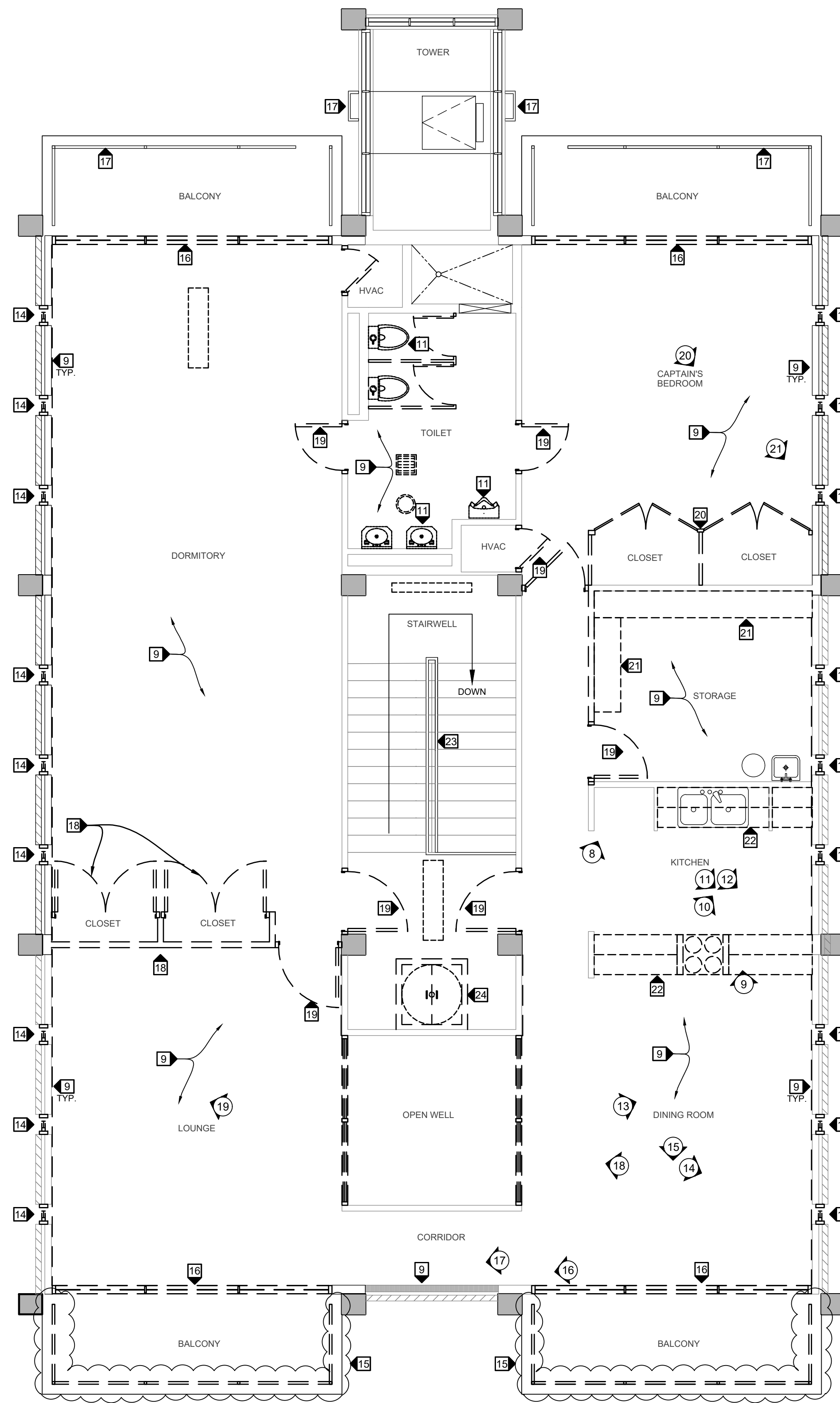
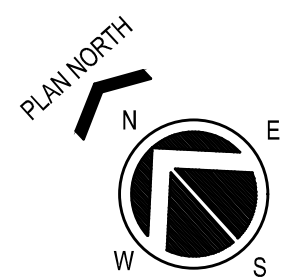
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**1 Demolition - First Floor Plan**

SCALE 1/4" = 1'-0"



**2 Demolition - Second Floor Plan**

SCALE 1/4" = 1'-0"

ROOM NAMES THIS SHEET ARE FROM EXISTING PLANS

**ASBESTOS ABATEMENT**

ASBESTOS ABATEMENT OF THE BUILDING **HAS RECENTLY BEEN COMPLETED**. ALL FLOOR TILE, GLUE, GYPSUM BOARD ON WALLS AND CEILINGS WERE REMOVED. ANY FRIABLE ASBESTOS WAS REMOVED. THE UPSTAIRS WINDOW PANELS ARE STILL IN PLACE. THE WINDOWS SHALL BE REMOVED WITH THE FRAMES IN TACT AND STACKED ONSITE. THE ASBESTOS CONTRACTOR WILL PICK THEM UP SEPARATELY.

**GENERAL DEMOLITION NOTES (INTERIOR)**

- GD1 REMOVE ALL PLYWOOD SURFACE FINISHES IN ALL AREAS INCLUDING WALL & CEILINGS. REMOVE WOOD CEILING MOLDINGS
- GD2 UNLESS OTHERWISE NOTED, EXISTING CERAMIC TILE IS TO REMAIN. PATCH ANY MISSING OR HOLES IN TILE. PREP FOR TILE OVER TILE APPLICATION
- GD3 ONCE DEMOLITION IS COMPLETE, ACID WASH, PRESSURE WASH, MACHINE GRIND CLEAN, ALL FIRST FLOOR EXPOSED CONCRETE FLOORING. PREP FOR NEW HARDENER/SEALER
- GD4 DEMOLISH EXISTING SURFACE MOUNT WIRING & PIPING WHEN EVER POSSIBLE. THE INTENT IS TO RE-INSTALL WIRING & PIPING IN NEW OR EXISTING WALLS & CEILING CAVITIES
- GD5 REMOVE ALL LOOSE, SCALING PAINT FROM CONCRETE & STEEL SURFACES. PATCH & PREP TO RECOAT
- GD6 EXISTING TRUCK EXHAUST SYSTEMS, HOSES, MOTORS, ETC., ARE TO BE REMOVED & TURNED OVER TO THE CITY
- GD7 ALL EXISTING, FIXED IN PLACE EXHAUST/VENT AIR SYSTEMS FROM ORIGINAL CONSTRUCTION, TO BE REMOVED, INCLUDING ROOF TOP PENETRATIONS. INFILL OPENINGS WITH MATCHING MATERIALS. PREP TO BE FINISHED OUT
- GD8 SECOND FLOOR: IN ADDITION TO WOOD PANEL REMOVAL, G.C. IS TO REMOVE ALL CEILING & WALL FINISHES DOWN TO FRAMING LINE. REMOVE EXPOSED INSULATION & PREP TO RE-INSULATE. REROUTE WIRING, ETC.

**DEMOLITION KEY NOTES**

- 1 REMOVE ALUMINUM & GLASS ROLL-UP DOORS & PREP OPENINGS FOR NEW DOORS. ELECTRICAL/MECHANICAL COMPONENTS TO REMAIN. CLEAN TRACKS & MOTORS. ADJUST & MAKE FULLY OPERABLE
- 2 REPLACE ANY BROKEN OR CRACKED GLASS AT TRANSOM WINDOWS ABOVE ROLL-UP DOORS
- 3 FIRST FLOOR WINDOWS (EAST & WEST SIDES, CORNERS): REMOVE GLASS & FRAMING COMPLETELY. POWER WIRE BRUSH CLEAN EXISTING CONCRETE. RE-COAT & PREP FOR NEW STOREFRONT SYSTEM
- 4 REMOVE EXISTING ENTRANCE DOOR. RE-SWING DOOR TO EXTERIOR & CHANGE OUT STOP. POWER WIRE BRUSH CLEAN EXISTING CONCRETE. RE-COAT & PREP FOR NEW STOREFRONT SYSTEM
- 5 REMOVE EXTERIOR HOLLOW METAL DOOR & H.M. FRAME. PATCH & REPAIR CONCRETE. PREP FOR NEW DOORS
- 6 REMOVE EXISTING FLOORING, GLUE, & DEBRIS AS SHOWN HATCHED
- 7 SAND/WATER BLAST EXISTING CONCRETE FLOORS CLEAN. REMOVE ALL DUST & DEBRIS. PREP FOR TWO (2) COATS CONCRETE SEALER
- 8 SAND/WATER BLAST CHIPPED & PEELING PAINT FROM ALL INTERIOR CONCRETE WALLS, COLUMNS, CEILINGS, & STAIRS
- 9 REMOVE ALL EXISTING PLYWOOD PANELING INSIDE OR OUTSIDE ROOMS OR AREAS, INCLUDING CEILINGS. REPAIR OR REPLACE DAMAGED WOOD FRAMING. PREP FOR NEW GYPSUM BOARD OR CONCRETE BOARD, AS SCHEDULED
- 10 REMOVE EXISTING WOOD DOORS & FRAMES
- 11 REMOVE ALL PLUMBING FIXTURES. (TOILET PARTITIONS, FLOOR & WALL TILES TO REMAIN)
- 12 REMOVE EXISTING ELECTRIC WATER COOLER
- 13 REMOVE EXISTING "ALARM STATION" INCLUDING WALLS, COUNTER TOP, & CABINETS. REROUTE ELECTRICAL IN NEW STORAGE WALLS AS CALLED FOR
- 14 SECOND FLOOR WINDOWS: REMOVE GLASS AND FRAMING COMPLETELY. POWER WIRE BRUSH CLEAN EXISTING CONCRETE & BRICK. REMOVE ANY ROTTEN OR DAMAGED WOOD BLOCKING. PREP OPENINGS FOR NEW STOREFRONT SYSTEMS. INSTALL NEW "TREATED" BLOCKING, AS REQUIRED
- 15 REMOVE EXISTING WOOD SUN SHADES & RAILINGS FROM FRONT BALCONIES COMPLETELY. PREPARE CONCRETE FOR NEW METAL RAILING SYSTEMS
- 16 REMOVE WOOD CASINGS, BLOCKING, HEADERS, ETC., BACK TO CONCRETE/MASONRY OPENING. PREP FOR NEW STOREFRONT SYSTEMS. INCLUDE TREATED WOOD BLOCKING, AS REQUIRED
- 17 POWER WIRE BRUSH EXISTING REAR BALCONY RAILINGS AND LADDERS. PREP FOR REPAINTING
- 18 REMOVE PARTITION WALL & CLOSETS COMPLETELY
- 19 REMOVE DOORS & HINGES. REPAIR WOOD FRAMES & PREP FOR NEW DOORS & HARDWARE
- 20 REMOVE CLOSETS COMPLETELY
- 21 REMOVE WOOD SHELVES
- 22 REMOVE WALL CABINETS, BASE CABINETS, & COOK TOP. LEAVE PLUMBING IN PLACE
- 23 POWER WIRE BRUSH EXISTING STAIRWAY RAILINGS. PREP FOR REPAINTING
- 24 REMOVE EXISTING POLE & SECOND FLOOR SAFETY HATCH
- 25 FIRST FLOOR: REMOVE EXISTING STEEL HOSE RACK AND IN WALL STEEL MOUNTS, PRIOR TO RE-SHEATHING WALL IN GYP. BD.



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DEMOLITION FLOOR PLANS

|               |            |
|---------------|------------|
| DATE:         | REVISIONS: |
| DECEMBER 2024 |            |
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| BC2024-01     |            |

**A201**  
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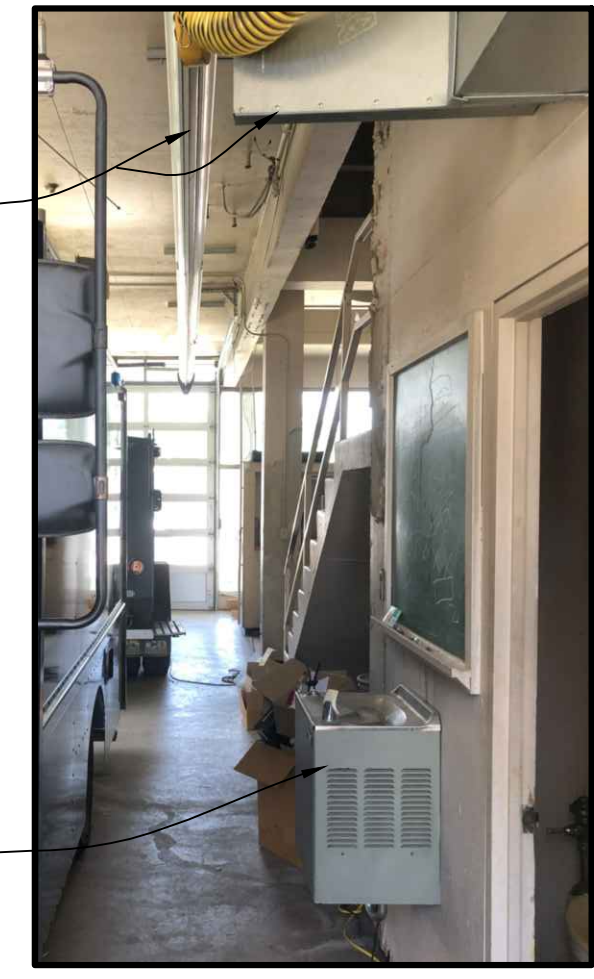




1 First Floor



2 Stairway First Floor



3 First Floor



4 First Floor At Tower Doors



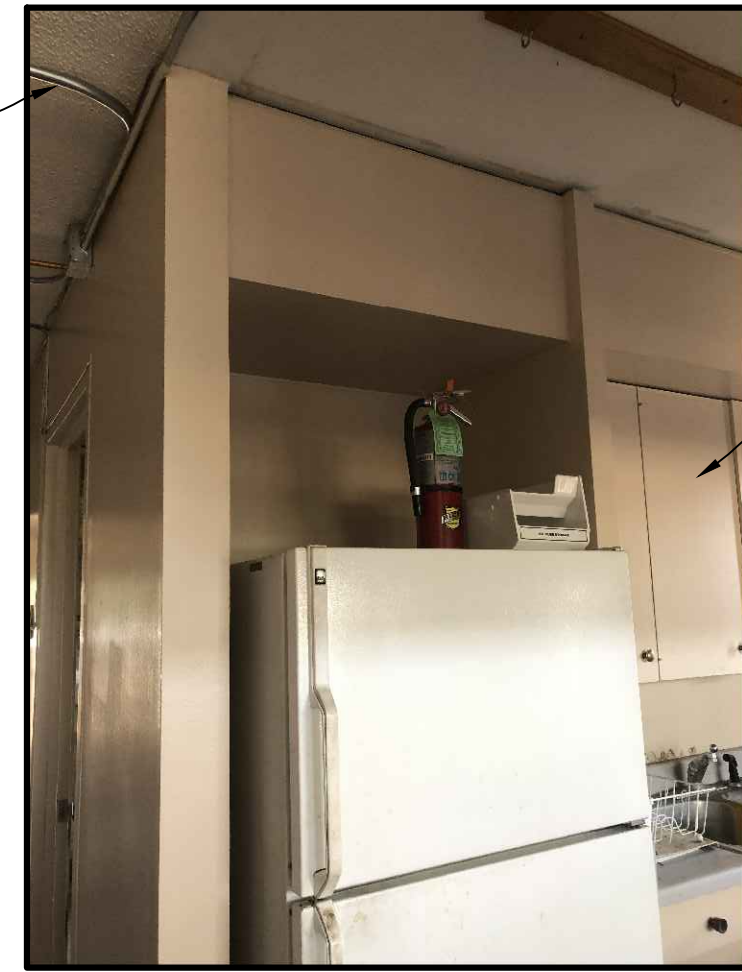
5 First Floor Toilet



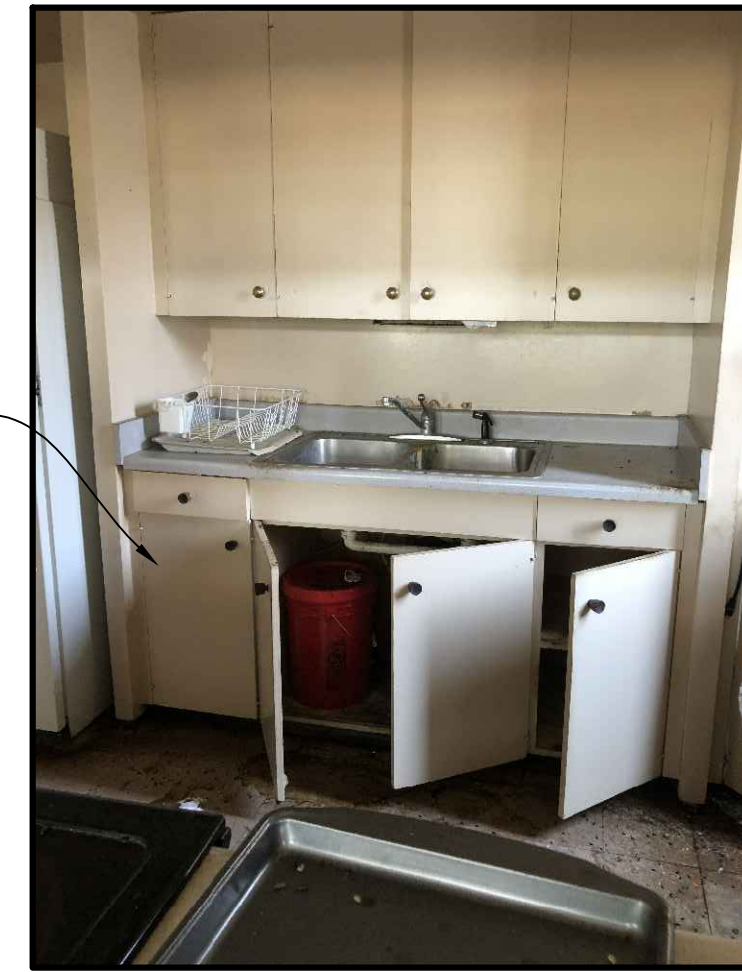
6 First Floor Toilet



7 First Floor Tower Doors



8 Second Floor Kitchen



9 Second Floor Kitchen



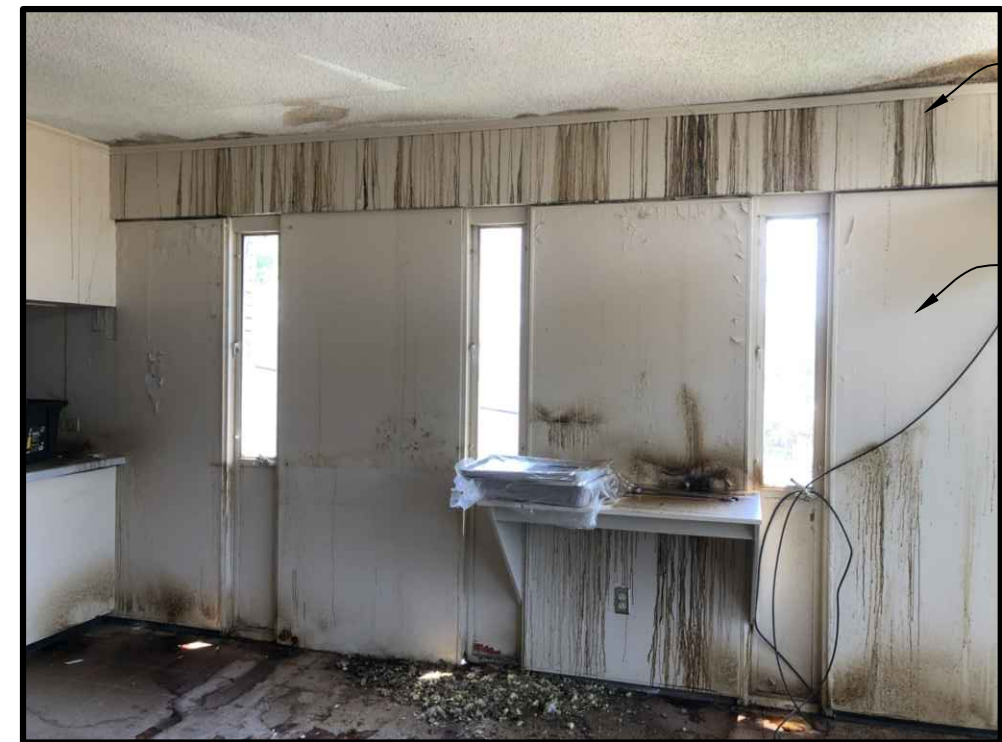
10 Second Floor Kitchen



11 Second Floor Kitchen



12 Second Floor Kitchen



13 Second Floor Dining



14 Second Floor Dining



15 Second Floor Dining



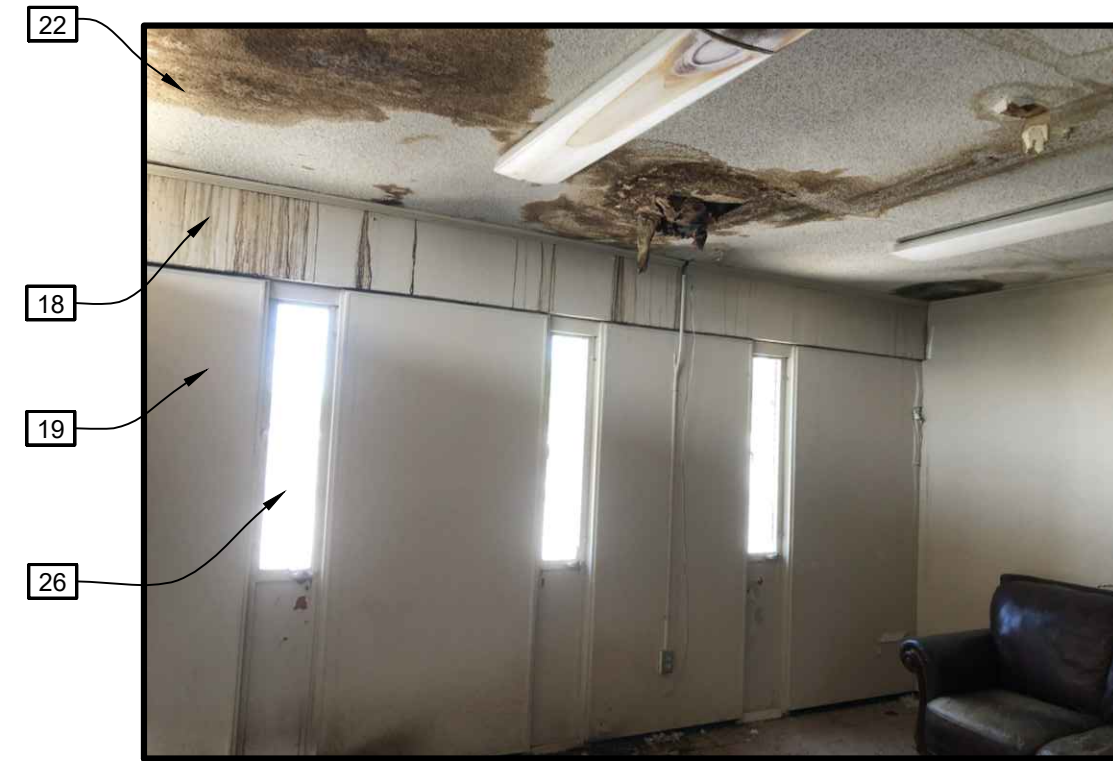
16 Second Floor Dining



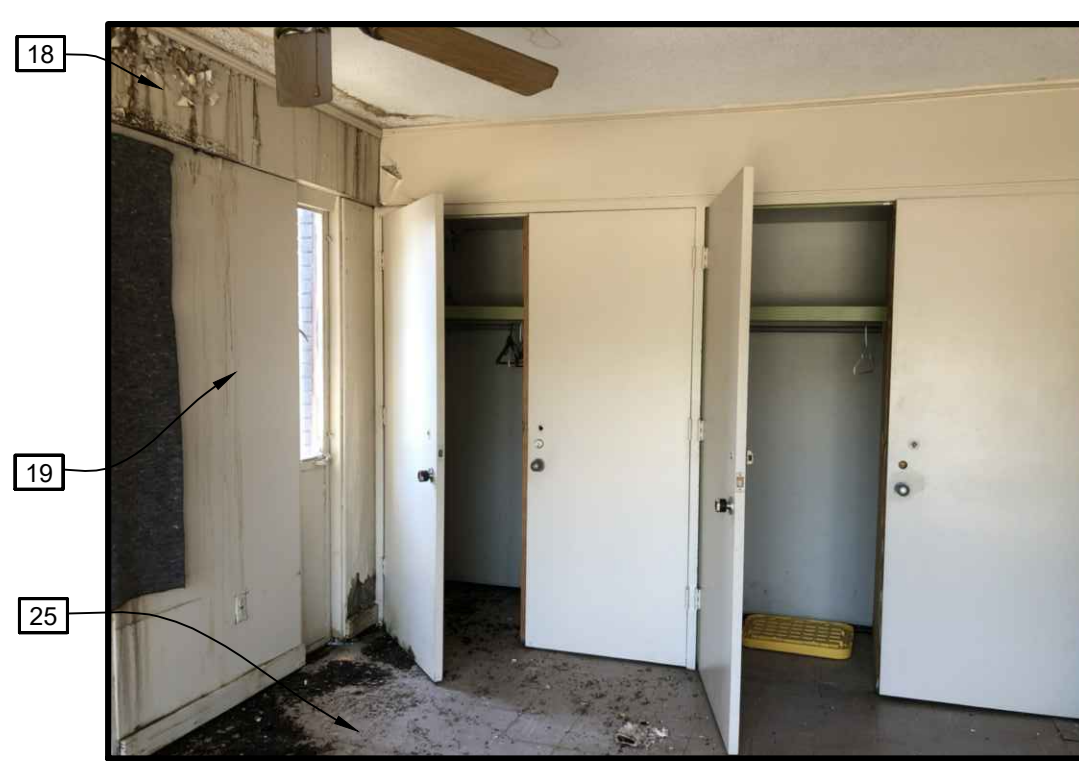
17 Second Floor Corridor



18 Second Floor Open Well



19 Second Floor Lounge



20 Second Floor Captain's Room



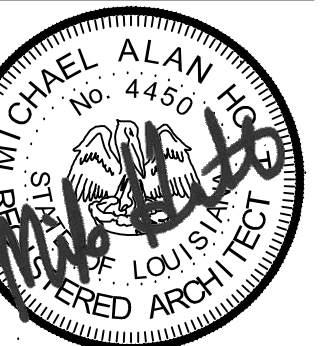
21 Second Floor Captain's Room

PLAN NOTES

- 1 OPENING BETWEEN FLOORS WHERE NEW SECURE STORE ROOM IS TO BE BUILT
- 2 EXISTING GLASS ROLL UP SECTIONAL DOORS TO BE REMOVED. TRACKS AND OPERATORS TO REMAIN
- 3 SAND DOWN EXISTING PEELING PAINT ON CONCRETE STAIRS AND OTHER CONCRETE SURFACES. PATCH AND RE-COAT, MINIMUM TWO (2) COATS
- 4 WHERE EXISTING TILE FLOORING BETWEEN FLOORING TRUCK BAYS WERE REMOVED, GRIND CONCRETE TO CLEAN SURFACE, THEN SEAL
- 5 EXISTING MECHANICAL EXHAUST SYSTEM FOR VEHICLES TO BE REMOVED AND TURNED OVER TO THE C.O.A. FIRE DEPARTMENT
- 6 CHEMICAL CLEAN AND PRESSURE WASH EXISTING CONCRETE STAIRS
- 7 CHEMICAL CLEAN, POWER WIRE BRUSH THEN PRIME AND PAINT EXISTING STEEL HANDRAILS (OSHA YELLOW)
- 8 REMOVE AND REPLACE EXISTING WATER COOLER
- 9 REMOVE EXISTING PLYWOOD CEILING, REPAIR ROTTEN WOOD, THEN INSTALL NEW 1/2" W.R. GYP. BOARD, TAPE, FLOAT, AND FINISH, INDUSTRIAL ENAMEL
- 10 REPLACE HATCH COVER AND REPAINT TRIM WITH THE REPAINTING OF TOILET ROOM
- 11 REPLACE EXISTING EXHAUST FAN WITH NEW SIMILAR MODEL. SWITCH WITH ROOM LIGHT
- 12 REMOVE WOOD PANELING AND INSTALL 1/2" W.R. GYP. BD., REFINISH AND REPAINT.
- 13 SAND, GRIND, OR OTHERWISE CLEAN EXISTING CONCRETE FLOOR, THEN SEAL WITH SEALER/DENSIFIER
- 14 ALL PLUMBING FIXTURES IN THE BUILDING ARE TO BE CHANGED OUT INCLUDING ALL NEW TRIM
- 15 REMOVE DOUBLE INTERIOR DOORS AND FRAME. REPLACE WITH NEW ALUMINUM ENTRY SYSTEM. SEE OPENING SCHEDULE.
- 16 REROUTE EXPOSED CONDUIT AND PIPING ONCE CEILINGS ARE REPLACED. CLEAN UP EXPOSED WIRING
- 17 REMOVE EXISTING KITCHEN CABINETS, ETC. PER DEMO PLAN AND NOTES. REFRIGERATOR ALCOVE TO REMAIN. INSTALL NEW WALL, FINISH AND NEW CABINETS PER DRAWINGS
- 18 SAND, GRIND, OR OTHERWISE CLEAN ALL EXISTING CONCRETE BEAMS, COLUMNS, FLOORS, ETC. OF ROOFING ASPHALT RESIDUE. PRIME AND RECOAT ALL EXPOSED CONCRETE
- 19 REMOVE EXISTING WALL FINISHES. INSTALL NEW 1/2" GYP BOARD AND FINISH
- 20 REMOVE ALL ISLAND CABINETS, HOOD, ETC. - SEE NEW PLAN. REMOVE ROOF EXHAUST VENT AND RECOVER
- 21 REMOVE ALL FOUR BALCONY SLIDING GLASS DOOR SYSTEMS INCLUDING GLASS TRANSOMS. PREP FOR NEW STOREFRONT GLAZING AND ENTRY SYSTEMS, SEE PLANS.
- 22 REMOVE ANY REMAINING EXISTING GYP. BD. CEILINGS. INSTALL NEW GYP. BD. INCLUDING FINISH ENDS, TAPE, FLOAT AND FINISH.
- 23 REMOVE, CLEAN AND REINSTALL EXISTING AIR GRILLES. CLEAN ALL EXISTING DUCT WORK ON SECOND FLOOR
- 24 REMOVE EXISTING GLASS AND RAILINGS AT SECOND FLOOR. INFILL WITH NEW WALL FRAMING AND 2 X 12 CEILING FRAMING PER PLANS AND DETAILS
- 25 ALL EXISTING VAT FLOOR TILE AND GLUE HAS BEEN REMOVED UNDER THE ASBESTOS ABATEMENT CONTRACT. G.C. TO REMOVE ANY REMAINING TILE AND GLUE NOT COVERED UNDER THE ABATEMENT CONTRACT.
- 26 SECOND FLOOR WALLS, EAST AND WEST: REMOVE EXISTING STEEL WINDOWS, FRAMES, PANELS, ETC. SET ASIDE PANELS IN TACT FOR PICK UP BY ASBESTOS CONTRACTOR. REPLACE ALL ROTTEN, MISSING, OR DAMAGED WOOD. INSTALL NEW STOREFRONT FRAMING AND GLAZING SYSTEMS



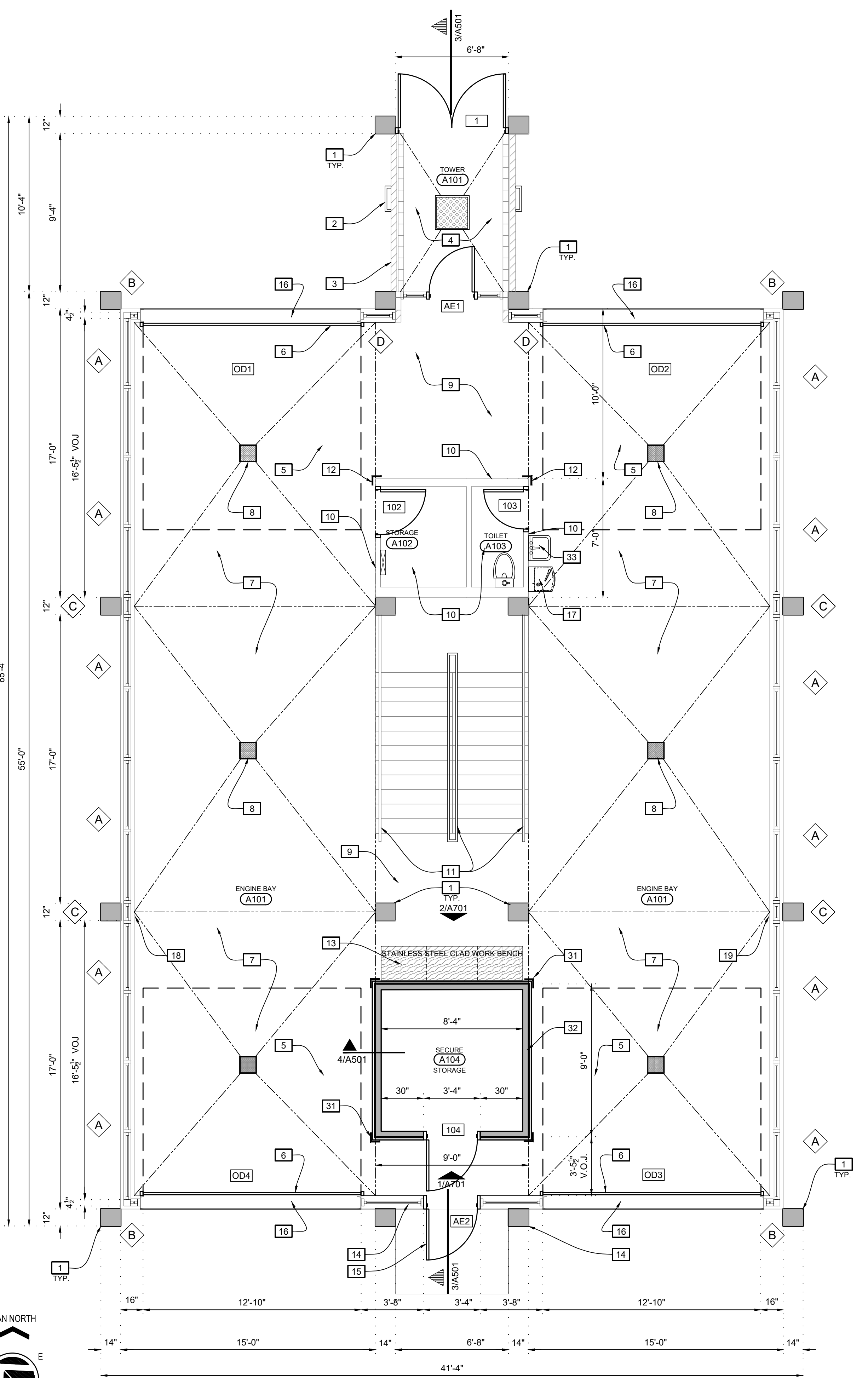
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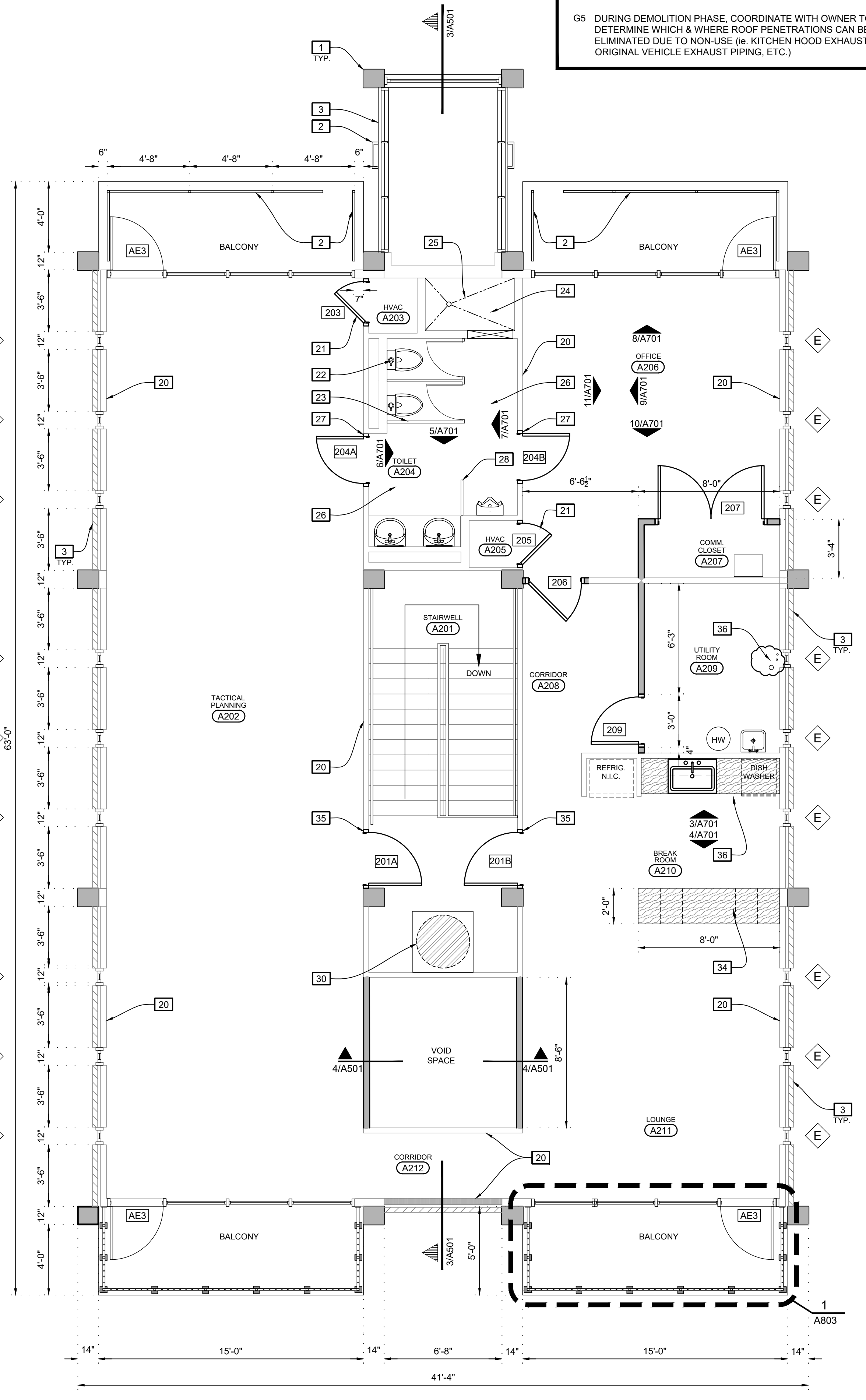
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PHOTOS OF EXISTING CONDITIONS  
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**1 First Floor Plan**  
SCALE 1/4" = 1'-0"



**2 Second Floor Plan**  
SCALE 1/4" = 1'-0"

**GENERAL PROJECT NOTES**

- G1 BUILDING IS AN ACTIVE SITE FOR POLICE. COORDINATE WORK & PARKING SO AS NOT TO BLOCK VEHICLES & EXIT PATHS
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- G5 DURING DEMOLITION PHASE, COORDINATE WITH OWNER TO DETERMINE WHICH & WHERE ROOF PENETRATIONS CAN BE ELIMINATED DUE TO NON-USE (i.e. KITCHEN HOOD EXHAUST, ORIGINAL VEHICLE EXHAUST PIPING, ETC.)

- PLAN NOTES**
- 1 PRESSURE WASH, REPAIR, & RECOAT EXISTING CONCRETE BUILDING FRAME, INCLUDING ALL RECAULKING & SEALANT OF JOINTS ( TYP.)
  - 2 POWER WIRE BRUSH CLEAN, PRIME, & RECOAT ALL EXTERIOR STEEL LADDERS & RAILINGS ( TYP.)
  - 3 PRESSURE WASH & CLEAN EXISTING BRICK MASONRY. REPOINT DAMAGED, MISSING, OR LOOSE MORTAR JOINTS. SEAL MASONRY WITH LOW PRESSURE SPRAYER USING "PROSOLO SILOXANE PD" OR EQUAL CLEAR PENETRATING WATER REPELLENT
  - 4 PRESSURE WASH CLEAN FIRST FLOOR AREA OF "HOSE TOWER"
  - 5 NEW INSULATED PANEL OVERHEAD DOOR TO FIT IN EXISTING TRACKS & WORK WITH EXISTING DOOR LIFT & MOTORS
  - 6 SERVICE, CLEAN, GREASE, & ADJUST EXISTING OVERHEAD DOOR TRACKS, LIFT TRACK, & MOTOR DRIVE FOR EACH OF THE FOUR (4) DOORS
  - 7 DEGREASE, CLEAN, & PRESSURE WASH EXISTING ENGINE BAY FLOORS. SEAL WITH HARDENER/SEALER
  - 8 CLEAN OUT & BLOW OUT ALL FLOOR DRAINS & LINES IN ENGINE BAYS
  - 9 GRIND FLOOR TO BARE CONCRETE THEN SEAL WHERE VCT TILE & GLUE WAS PRESENT
  - 10 RE-SKIN EXISTING FRAMING WITH 1/2" THICK "ABUSE RESISTANT (AR)" & MOLD RESISTANT GYPSUM BOARD TYPE "X". TAPE, FLOAT, & FINISH - OIL BASE INDUSTRIAL ENAMEL - SATIN FINISH
  - 11 AFTER WIRE BRUSH CLEANING, PRIME & PAINT EXISTING STAIR RAILINGS "OSHA" YELLOW WITH INDUSTRIAL SEMI-GLOSS ENAMEL, MINIMUM TWO (2) COATS
  - 12 NEW 3/4" X 3/4" X 8'-0" HIGH ALUMINUM CORNER GUARD PROTECTION. MASTIC APPLY TO FINISHED WALLS
  - 13 COUNTER TOP: TWO (2) LAYERS 3/4" PLYWOOD CLAD IN 16 GA. TYPE 304 STAINLESS STEEL, INCLUDING NOSING (RE: 16/A701)
  - 14 NEW 2X4 1/2" ALUMINUM STOREFRONT ENTRY SYSTEM WITH 1" INSULATED MAPES PANELS AND 1" GLAZING. REFER TO OPENING SCHEDULE AND DETAILS
  - 15 NEW WIDE STILE ALUMINUM ENTRY DOOR WITH 1" INSULATED "MAPES" PANEL INSERT. PROVIDE GEARED CONT. HINGE, WEATHER STRIPPING, CLOSURE, ETC. KEY CYLINDER LOCK TO BUILDING MASTER
  - 16 TRANSOMS OVER OVERHEAD DOORS: REPLACE ANY & ALL DAMAGED GLASS. CLEAN & RESEAL FRAMING. CLEAN GLASS
  - 17 NEW ELECTRIC WATER COOLER: MOUNT SO THAT SPOUT IS 40" A.F.F.
  - 18 POWER WIRE BRUSH CLEAN EXISTING GAS PIPING. CHECK FOR LEAKS & REPAIR. PAINT ALL EXPOSED GAS PIPING (YELLOW SEMI-GLOSS INDUSTRIAL ENAMEL)
  - 19 POWER WIRE BRUSH CLEAN EXISTING 2" DRAIN PIPE. PAINT AS DIRECTED BY ARCHITECT
  - 20 RE-SKIN ALL WALL FRAMING WHERE EXISTING WOOD PANELING IS REMOVED, WITH 1/2" THICK, TYPE "X", "ABUSE RESISTANT (AR)" GYPSUM BOARD. TAPE, FLOAT, & FINISH. INCLUDE ALL PERIMETER WALLS
  - 21 NEW 1 3/8" BIRCH VENEER, SOLID CORE DOORS. PROVIDE TWO (2) 16" X 24" FILTER GRILLES IN DOORS.
  - 22 TOILET A204 TO RECEIVE ALL NEW TOILET FIXTURES, FLOOR MOUNT. FLUSH VALVE TOILETS WITH ALL NEW TRIM, WALL MOUNT URINAL WITH ALL NEW TRIM, & NEW VANITY STYLE LAVATORIES. SHOWER TO RECEIVE ALL NEW FAUCET SETS & TRIM
  - 23 NEW STAINLESS STEEL TOILET PARTITIONS TO REPLACE EXISTING. PROVIDE SAME SIZE IN SAME LOCATION
  - 24 TILE OVER TILE IN EXISTING SHOWER WALLS & CEILING
  - 25 STEAM CLEAN & SEAL EXISTING SHOWER FLOOR. CHECK FROM BOTTOM SIDE IF ANY PLUMBING LINES OR FITTINGS NEED TO BE REPLACED PRIOR TO NEW 1ST FLOOR GYP.BD. CEILING INSTALL
  - 26 STEAM CLEAN, PATCH, & SEAL EXISTING CERAMIC TILE FLOOR IN A204
  - 27 EXISTING WOOD FRAMES TO REMAIN. REPAIR & REPAINT
  - 28 NEW FLOOR MOUNTED, WALL BRACED 18" D X 48" H STAINLESS STEEL URINAL SCREEN
  - 29 NEW TILE OVER TILE WALL TILE UP TO EXISTING WAINSCOT HEIGHT +/- 44" WITH BULLNOSE CAP
  - 30 INFILL EXISTING SAFETY HATCH, 1/4" STEEL PLATE OVER 1/2" PLYWOOD (SET INTO EXISTING 3/4" RECESS IN CONC. FLOOR.)
  - 31 TRIM OUT METAL WALL PANELS WITH 3" HEMMED EDGE, 24 GA. CORNER TRIM. FINISH TO MATCH WALL PANEL COLOR. TYPICAL ALL 4 CORNERS
  - 32 SECURE STORAGE WALL CONSTRUCTION: 3 1/2" STUD FRAMING 16" O.C. TO 2ND FLOOR DECK LINE AS SHOWN IN SECTIONS. INSULATE WITH 3 1/2" UNFACED FIBERGLASS. SHEATH BOTH SIDES IN 3/4" PLYWOOD SCREWED TO STUDS 8" O.C., THEN SKIN INSIDE IN 5/8" GYP BOARD & FINISH. SKIN OUTSIDE IN 26 GA. METAL WALL PANELS PLACED VERTICALLY. MC ELROY 1" "MARQUEE LOCK" OR EQUAL WITH MATCHING 24 GA. TRIM
  - 33 NEW WALL HUNG STAINLESS STEEL HAND WASH SINK. PLUMB INTO WATER COOLER PLUMBING IN WALL. PROVIDE WALL BLOCKING BEFORE NEW WALL FINISH INSTALLATION
  - 34 NEW PLASTIC LAMINATE CLAD BASE CABINET ISLAND MILLWORK WITH PLASTIC LAMINATE TOP
  - 35 EXISTING HOLLOW METAL DOOR FRAMES TO REMAIN IN PLACE. CLEAN, GRIND, REPAIR. PREP TO RECEIVE NEW RATED HOLLOW METAL DOORS & HARDWARE. REPAINT.
  - 36 SALVAGE, CLEAN AND CAP OFF PROPERLY, EXISTING PLUMBING FOR (FUTURE) ICE MACHINE.



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**RE-BID 2024 Building Renovations**  
**City of Alexandria SWAT Building**  
City of Alexandria - Owner  
1237 Texas Ave., Alexandria, Louisiana

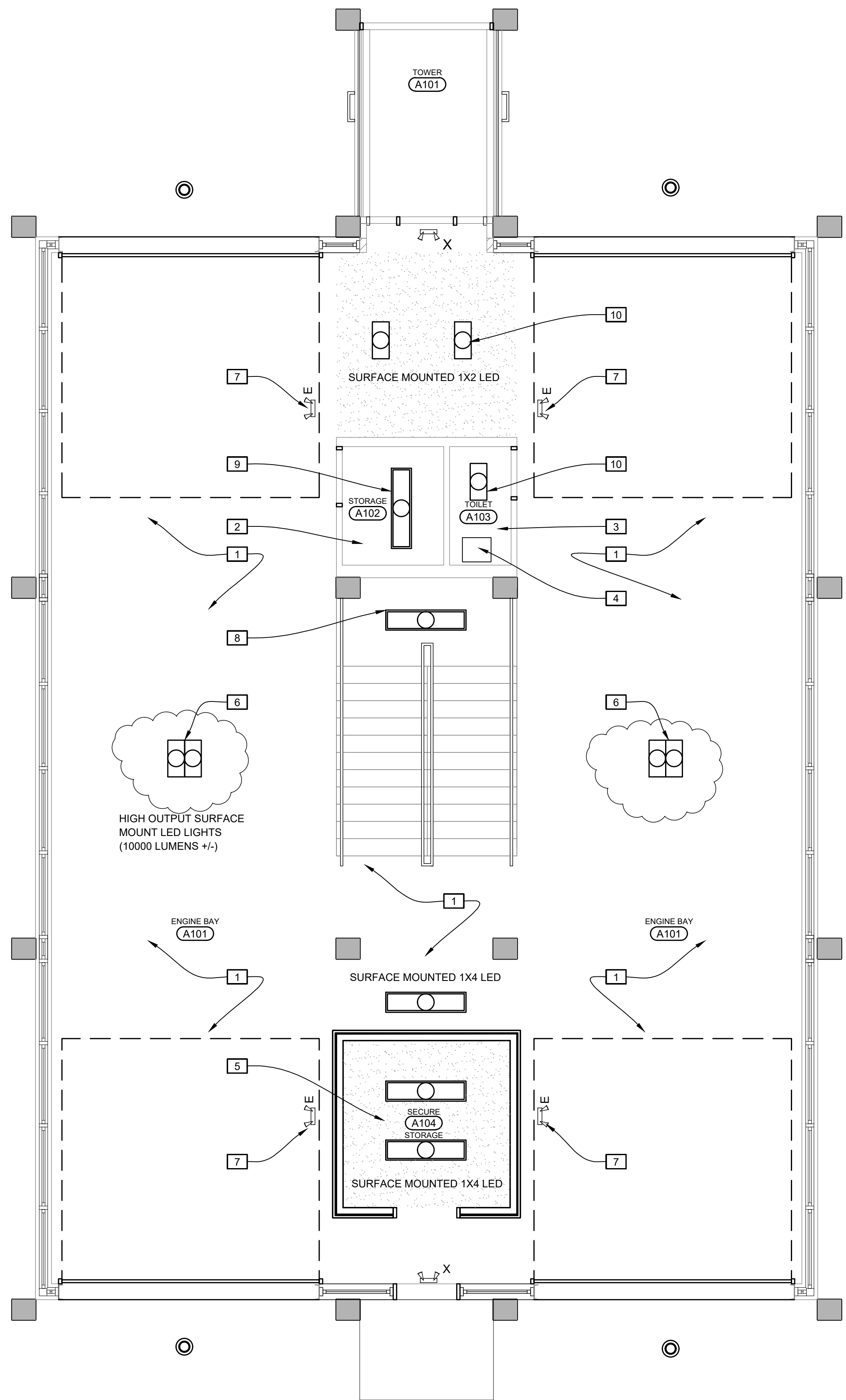
**NEW FLOOR PLANS**

DATE: REVISIONS:  
DECEMBER 2024  
JOB NUMBER: BC2024-01

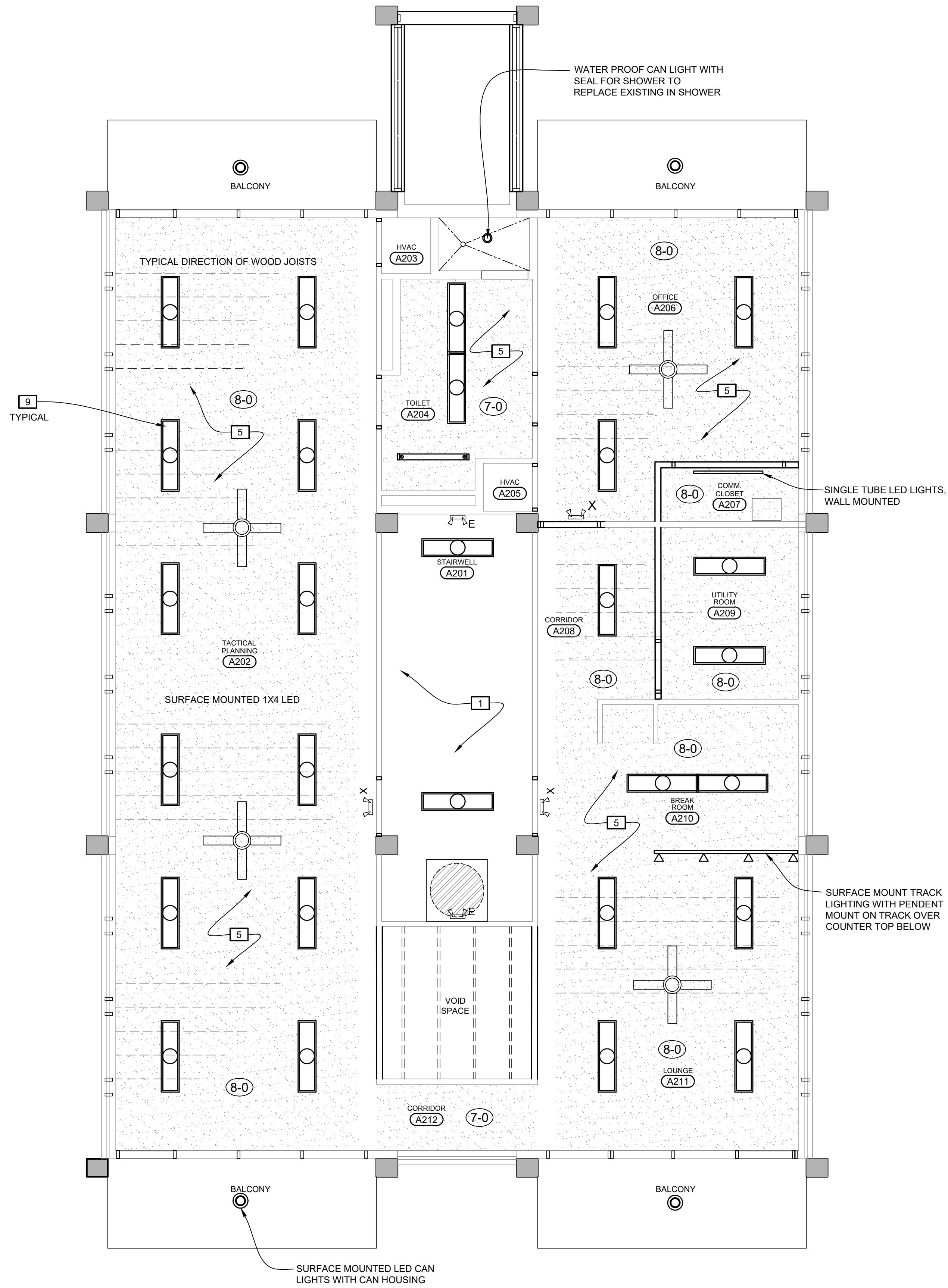
**A203**

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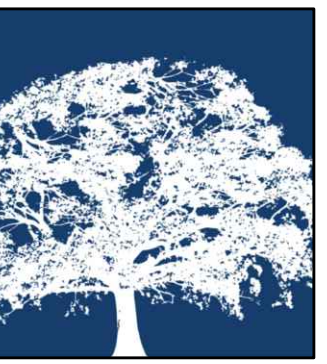
**1** First Floor Reflected Ceiling Plan  
SCALE 1/4" = 1'-0"



**2** Second Floor Reflected Ceiling Plan  
SCALE 1/4" = 1'-0"

**PLAN NOTES**

- 1 SCRAPE, CLEAN PRIME & REPAINT ALL INTERIOR CONCRETE PAINTED SURFACES INCLUDING COLUMNS, CEILINGS, STAIRS, & BEAMS
- 2 PATCH, REPAIR, & REPAINT ALL EXISTING GYP. BOARD OR WOOD CEILINGS (WHITE). IF REMOVED BY ASBESTOS ABATEMENT: INSTALL NEW 1/2" GYP.BD. TAPE, FLOAT & FINISH.
- 3 REMOVE 1/4 ROUNDS. SHEATH CEILING IN 1/2" GYP. BOARD. TAPE, FLOAT, & PAINT (WHITE)
- 4 RESET ACCESS DOOR TRIM. PAINT ACCESS TRIM & PANEL
- 5 NEW 5/8" GYP. BOARD CEILING. TAPE, FLOAT, & FINISH (WHITE)
- 6 HIGH LUMEN OUTPUT L.E.D. LIGHT, SURFACE MOUNT TO REPLACE EXISTING LIGHTING (SEE LIGHT SCHEDULE)
- 7 SIDE WALL MOUNT SINGLE EMERGENCY LIGHTS, EACH TRUCK BAY. MOUNT ALONG BEAM LINE IN EACH BAY. (SEE LIGHT SCHEDULE)
- 8 1 X 4 SURFACE MOUNT, HIGH LUMEN L.E.D. IN SAME LOCATION AS EXISTING LIGHT
- 9 1 X 4 SURFACE MOUNT L.E.D. LIGHT
- 10 1 X 2 FLUSH SURFACE MOUNT L.E.D. LIGHT



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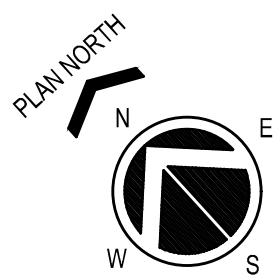
**RE-BID 2024 Building Renovations**  
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REFLECTED CEILING PLAN

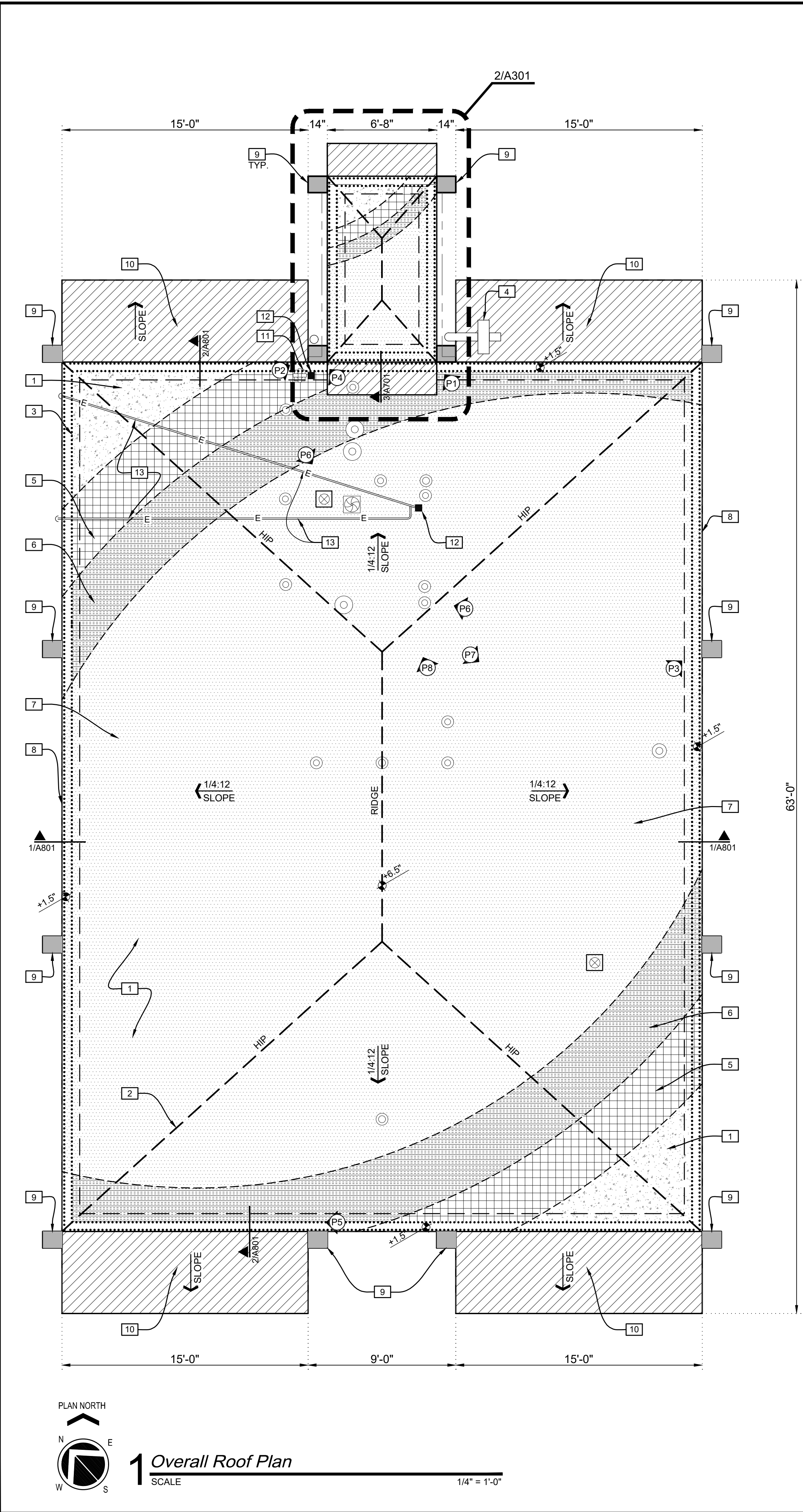
DATE: DECEMBER 2024  
REVISIONS:  
JOB NUMBER: BC2024-01

A204

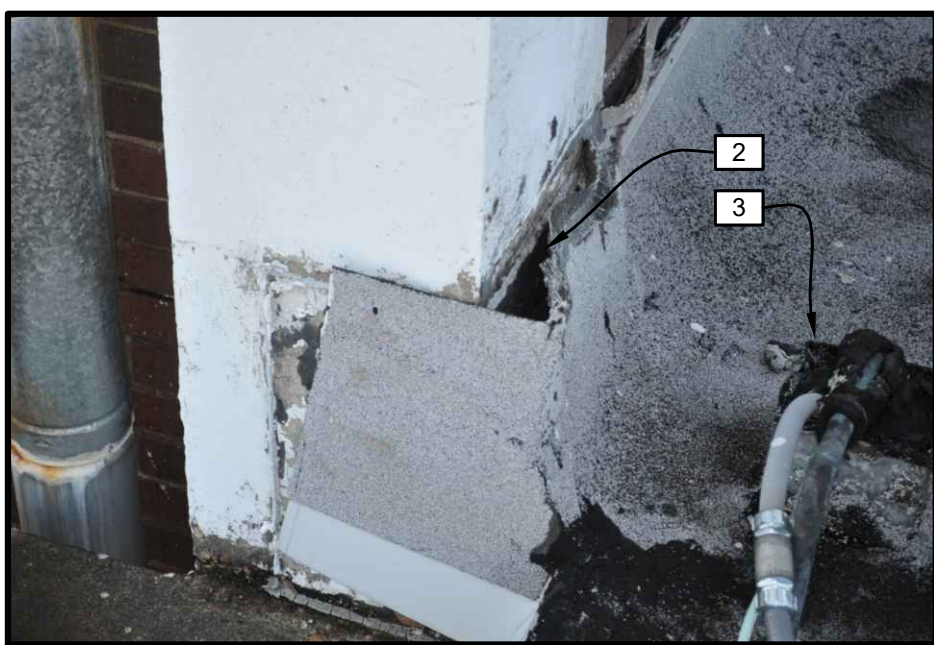
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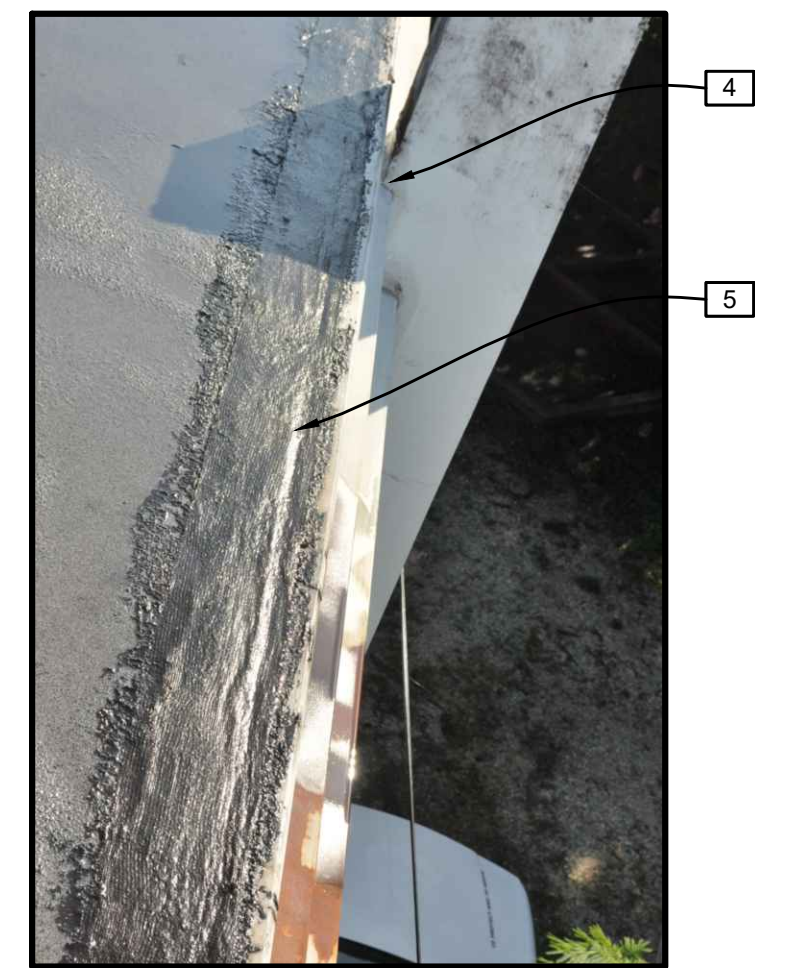




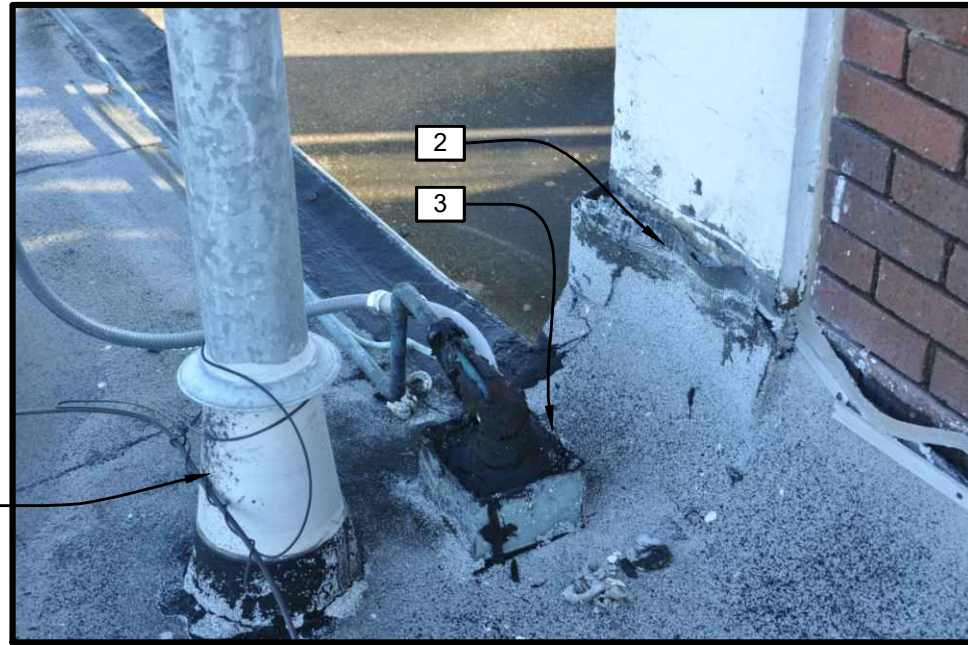
P1 B.U.R. & Cant At Tower (East)



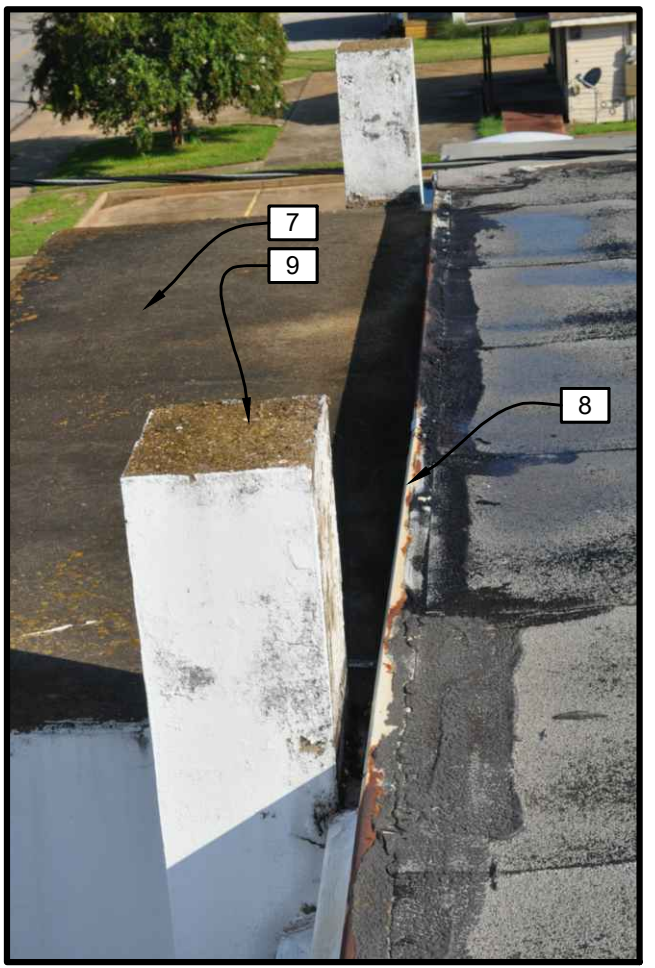
P2 B.U.R. & Cant At Tower (West)



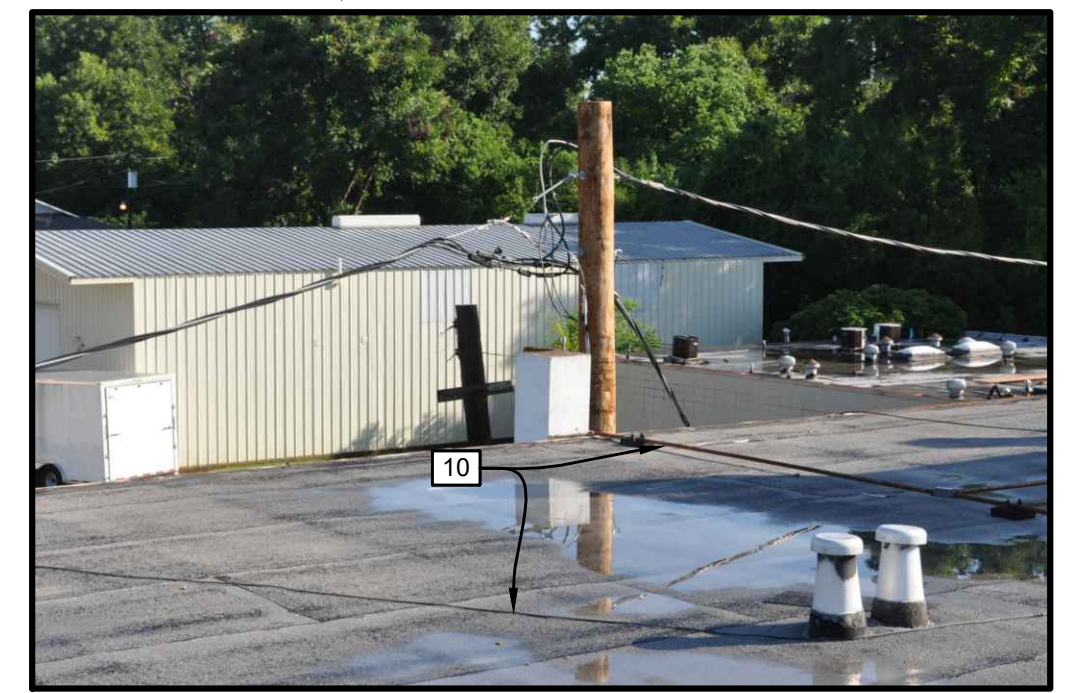
P3 Roof East Edge



P4 B.U.R. & Cant At Tower (North)



P5 Roof Edge (Texas Ave.)



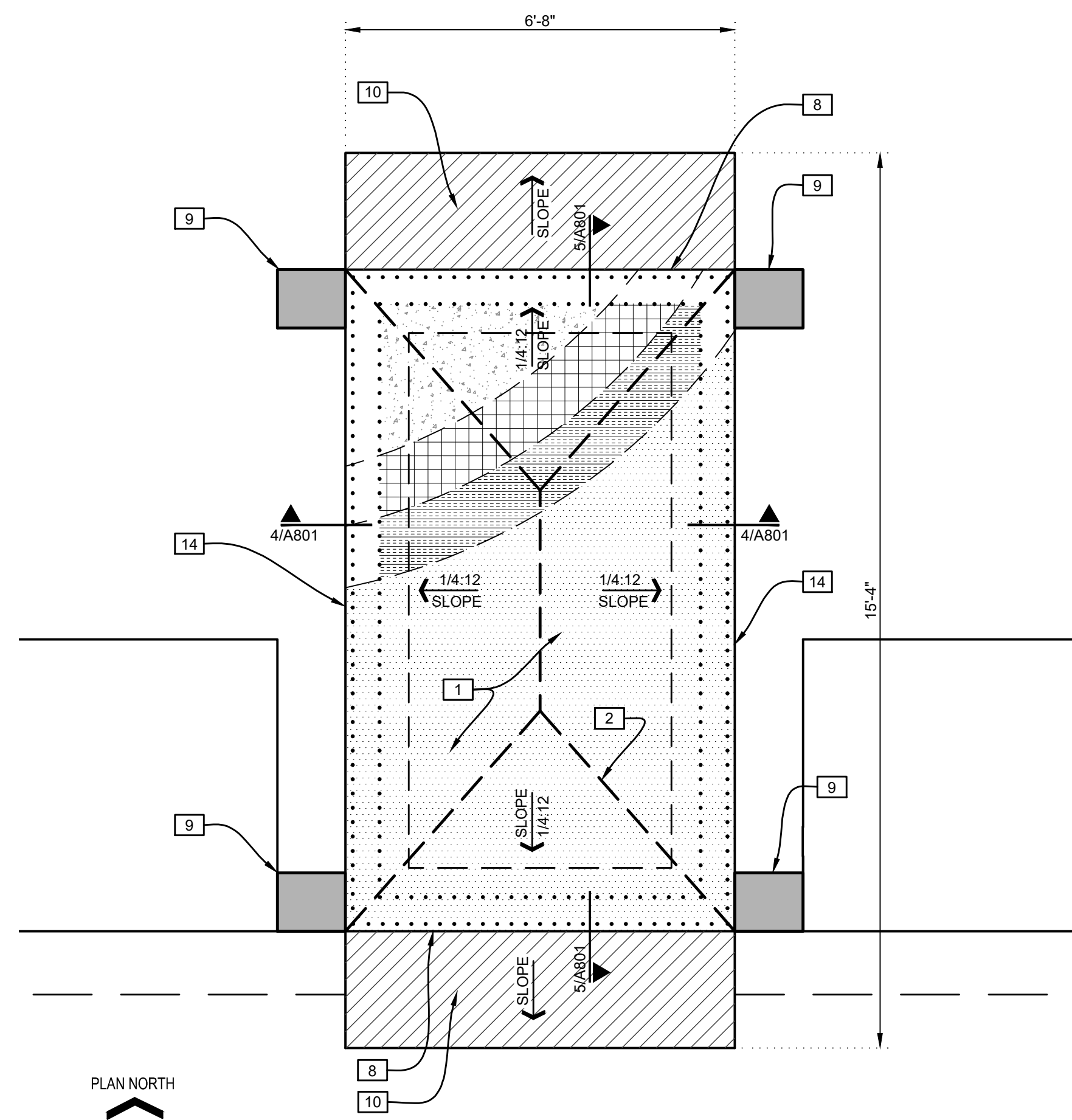
P6 Pipe Supports & Electrical Conduit



P7 Roof Drain (Looking Southeast)



P8 Roof Penetrations (Looking North To Tower)



2 Enlarged Tower Roof Plan  
SCALE 1/2" = 1'-0"

- GENERAL PROJECT NOTES**
- G1 BUILDING IS AN ACTIVE SITE FOR POLICE. COORDINATE WORK & PARKING SO AS NOT TO BLOCK VEHICLES & EXIT PATHS
  - G2 PROTECT VEHICLES & SURROUNDING SURFACES WHEN CLEANING & WATERPROOFING EXTERIOR ENVELOPE
  - G3 DO NOT INTERRUPT POWER WITHOUT 24 HOUR PRIOR NOTICE TO OWNER REPRESENTATIVE
  - G4 MAINTAIN ENTRY/EXIT OF CITY VEHICLES IN AT LEAST ONE SIDE OF BUILDING AT ALL TIMES (24 HRS./DAY). COORDINATE WITH OWNER REPRESENTATIVE
  - G5 DURING DEMOLITION PHASE, COORDINATE WITH OWNER TO DETERMINE WHICH & WHERE ROOF PENETRATIONS CAN BE ELIMINATED DUE TO NON-USE (i.e. KITCHEN HOOD EXHAUST, ORIGINAL VEHICLE EXHAUST PIPING, ETC.)

- ROOF PLAN SCHEDULE**
- VTR VENT THRU ROOF
  - EF EXHAUST FAN: REMOVE, INSTALL NEW PREFABRICATED PVC FLASHING BOOT. TERMINATE ON TOP OR INSIDE CURB. REINSTALL FAN AND SECURE WITH STAINLESS STEEL SCREW - MIN. 1 PER SIDE
  - E EXISTING ELECTRICAL CONDUIT. CLEAN & REPAINT OSHA YELLOW, TWO COATS. SUPPORT WITH EXISTING PIPE SUPPORTS. CLEAN & SET ON NEW PIPE SUPPORTS
  - SD EXISTING ROOF DRAIN: REMOVE STRAINER & CLAMPING RINGS. FLUSH DRAIN & CHECK FOR PROPER OPERATION. PROVIDE "OMG" DRAIN LINER AT DRAIN. NEW CLAMPING RING, STRAINER, & STAINLESS STEEL BOLT SET. TYPICAL 4" DRAIN.
  - GF GAS FLUE JACK

- ROOF PLAN NOTES**
- 1 MAKE CERTAIN EXPOSED CONCRETE ROOF DECK IS CLEAN & DRY PRIOR TO ANY NEW ROOF CONSTRUCTION. MOISTURE TEST FOR ADHESION OF LOW RISE ADHESIVE PRIOR TO INSTALLATION OF INSULATION BOARD.
  - 2 DOTTED LINES INDICATE 1/4" PER FOOT TAPERED EPS INSULATION OVER BASE LAYER
  - 3 NEW .040 TREATED 2x8: BOLT TO EXISTING DECK WITH EXISTING ANCHORS. PROVIDE NEW STAINLESS STEEL NUTS & WASHERS
  - 4 VERIFY WITH OWNER IF EXHAUST SYSTEM IS NEEDED. IF NOT, REMOVE AND SALVAGE FOR OWNER. PATCH ROOF PRIOR TO NEW ROOFING.
  - 5 NEW 1/4" PER FOOT TAPERED EPS INSULATION: STARTING THICKNESS AT EDGE = 1-1/4" FULLY ADHERED
  - 6 1/4" DENSDECK: FULLY ADHERED
  - 7 50 MIL. FLEECE BACK PVC MEMBRANE: FULLY ADHERED
  - 8 SOLID PVC DRIP EDGE WITH FACTORY WELDED SKIRT. FIELD WELD TO MAIN ROOF SHEET
  - 9 CONCRETE COLUMN TOPS ABOVE ROOF LINE: PROVIDE ELASTOMERIC COATING ON TOP FACE OF COLUMNS, THEN ADHERE DENSDECK CAP. NEXT, ROOF WITH PREFABRICATED FLEECE BACK PVC MEMBRANE & TRIM WITH 1-3/4" COATED METAL TERMINATION BAR & COVERS
  - 10 AFTER CHEMICAL & PRESSURE WASH CLEANING & DRYING EXISTING CONCRETE CANOPIES, PRIME COAT WITH COMPATIBLE ELASTOMERIC BASE COAT PRIMER, THEN FINISH COAT MINIMUM TWO COATS (18 MILS.) WHITE ELASTOMERIC COATING SYSTEMS
  - 11 PROVIDE NEW GALVANIZED JACK FOR GAS FLUE. INSTALL INSULATED GAS FLUE JACK BOOT FOR ROOF SYSTEM (RE:3/A302)
  - 12 AFTER FIELD VERIFICATION WITH OWNER, INSTALL NEW PVC PITCH PAN DETAIL TO SEAL ELECTRICAL CONDUIT PENETRATIONS THROUGH CONCRETE DECK. CLEAN EXISTING CONDUIT TO RECEIVE MASTIC OR OWNER TO REPLACE WITH NEW SERVICE & CONDUIT
  - 13 OWNER TO VERIFY IF CONDUIT, SERVICE IS ACTIVE. COORDINATE WITH OWNER IF NEW SERVICE IS TO BE PROVIDED. PROVIDE NEW O.M.G. PIPE SUPPORTS 36" O.C.
  - 14 TOWER ROOF ONLY, EAST & WEST SIDES: PROVIDE GRAVEL GUARD EDGE. WATER TO DRAIN NORTH & SOUTH

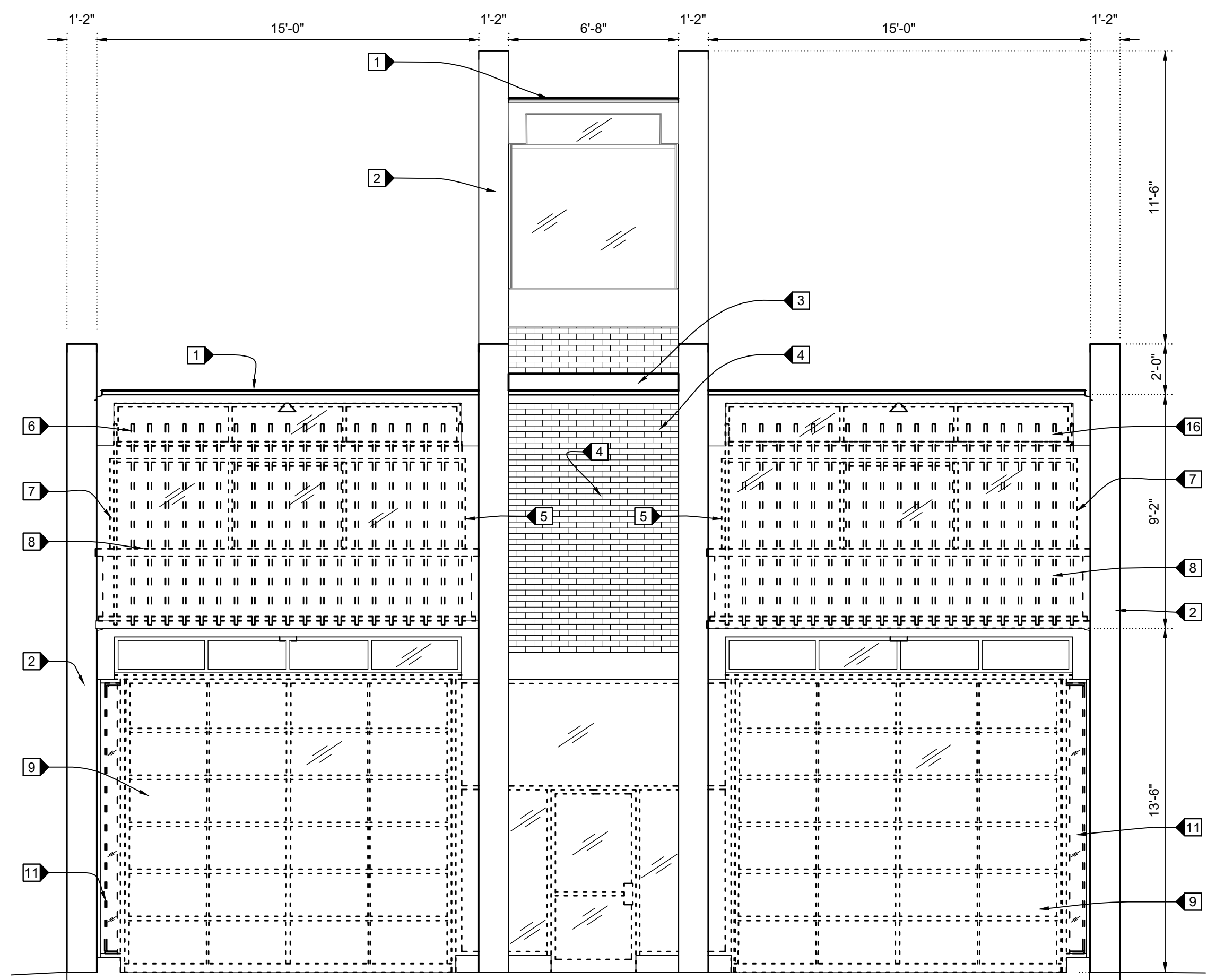
- PHOTO KEY NOTES**
- 1 REMOVE EXISTING B.U.R. FLASHING & TERMINATION FROM TOWER. POWER WIRE BRUSH & CHEMICAL CLEAN. PREP FOR NEW PVC ROOF TO WALL FLASHING WITH NEW TERMINATION BAR & GALVANIZED COUNTER FLASHING
  - 2 SIMILAR TO NOTE 1 AT CONCRETE COLUMNS AT TOWER. PREP, CLEAN, & RE-COAT CONCRETE PRIOR TO NEW ROOF INSTALLATION
  - 3 REMOVE EXISTING PITCH PAN. COORDINATE WITH OWNER REGARDING NEW ELECTRICAL RUN. INSTALL NEW PVC PITCH PAN & ELASTOMERIC FILL
  - 4 POWER WIRE BRUSH CLEAN EXISTING CONCRETE COLUMNS AT ROOF LINE. PREP FOR NEW PVC ROOF EDGE. COPE EDGE AT COLUMNS
  - 5 REMOVE EXISTING METAL TRIM, B.U.R., & WOOD NAILER AT TYPICAL ROOF EDGE. CLEAN & SEAT EXISTING ANCHOR BOLTS FOR NEW TREATED NAILER
  - 6 REMOVE EXISTING GAS FLUE JACK. INSTALL NEW INSULATED GALVANIZED ROOF JACK WITH PVC BOOT. TOP OF ROOF JACK MINIMUM 36" ABOVE ROOF
  - 7 POWER WASH & CHEMICAL CLEAN EXISTING CONCRETE CANOPY ROOF AREAS. ONCE DRY, INSTALL NEW PRIME COAT & TWO (2) FINISH COATS OF ELASTOMERIC COATING.
  - 8 REMOVE EXISTING GRAVEL GUARD, TRIM, WOOD NAILER, ETC. WITH B.U.R. PREPARE FOR NEW PVC ROOF EDGE & TAPERED INSULATION
  - 9 SEAL TOPS OF ALL COLUMNS WITH ELASTOMERIC COATING PRIOR TO INSTALLING NEW PVC CAPS & METAL TRIM
  - 10 COORDINATE WITH OWNER ALL EXISTING ROOF TOP POWER & CABLE SERVICE TO BUILDING. ELIMINATE ALL NON-REQUIRED SERVICES
  - 11 VERIFY ALL EXISTING ROOF PENETRATIONS & ELIMINATE ANY & ALL NON-WORKING OR NON-REQUIRED OPENINGS. COVER HOLES IN CONCRETE DECK WITH 16 GA. STEEL PLATE, 4" LARGER THAN OPENING IN ALL DIRECTIONS
  - 12 EXISTING LARGE SCALE VENT CAPS MAY BE LEFT FROM PREVIOUS TRUCK VENTILATION PIPING. VERIFY & REMOVE COMPLETELY. COVER & ROOF OVER IF NOT USED. V.O.I.
  - 13 SEE ROOF DRAIN NOTE AT "ROOF PLAN SCHEDULE"

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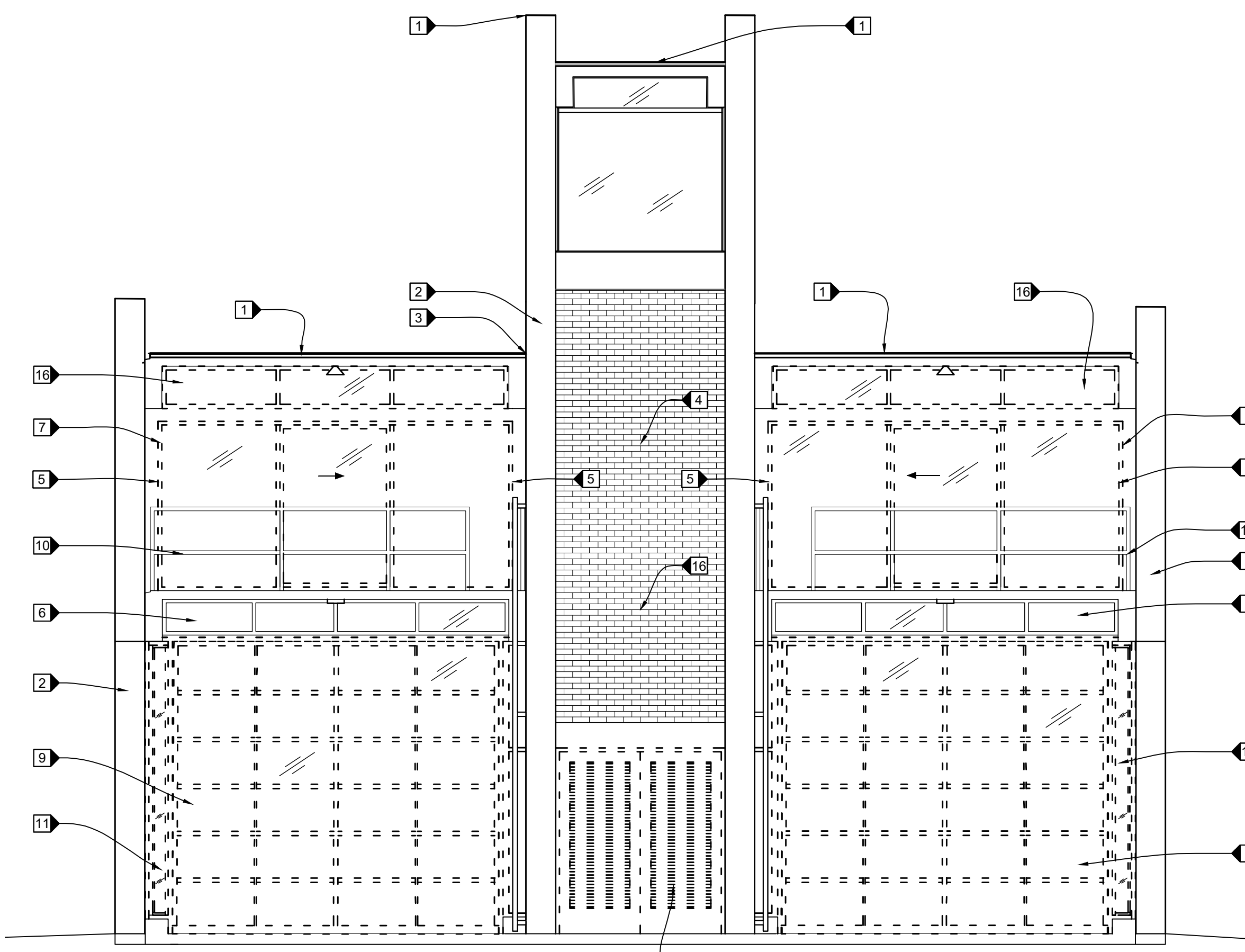
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**ROOF PLAN**  
DATE: REVISIONS:  
DECEMBER 2024  
JOB NUMBER: BC2024-01  
**A301**  
7 OF 18A

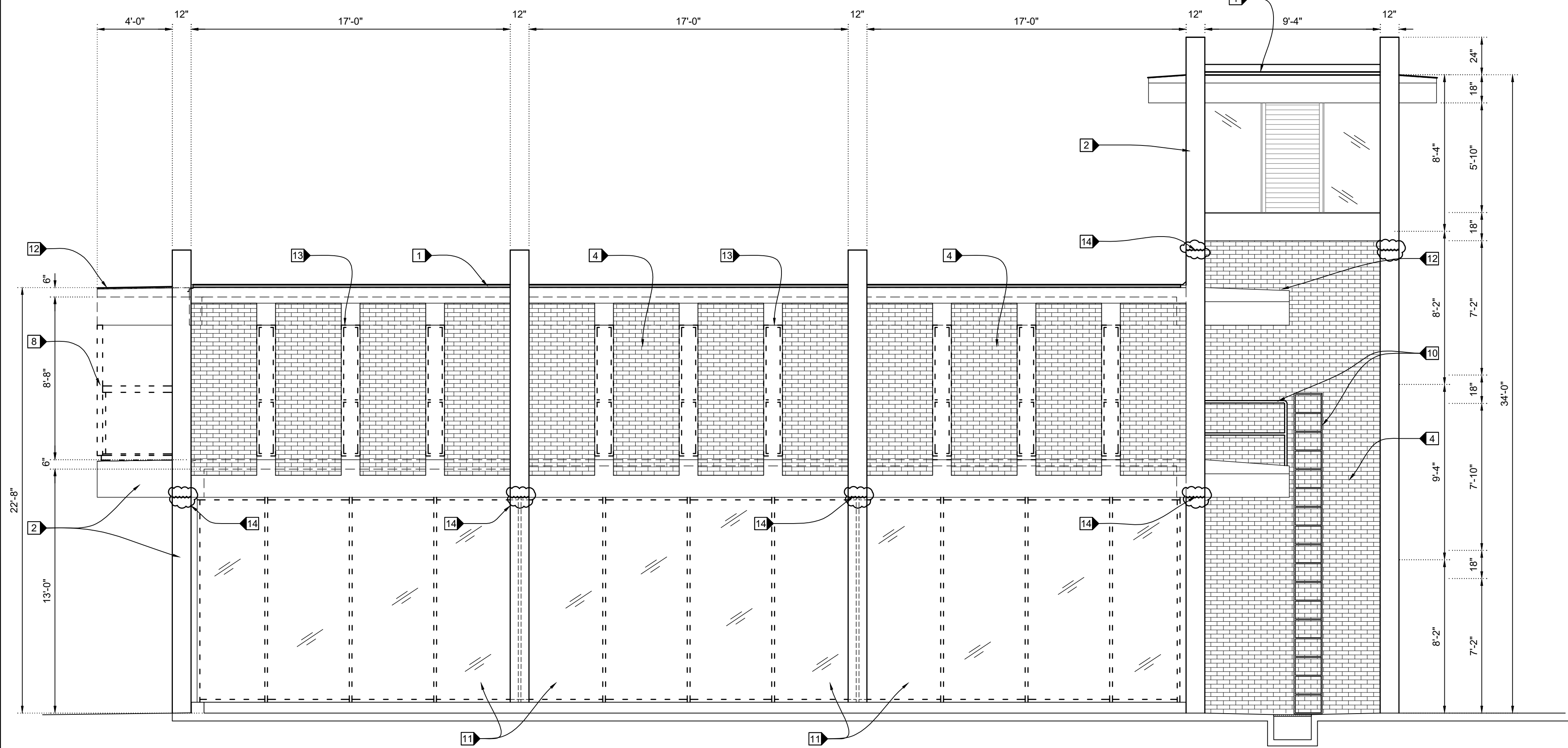




**1 Demolition Elevation** Texas Ave. (South)  
SCALE 1/4" = 1'-0"



**2 Demolition Elevation** (North)  
SCALE 1/4" = 1'-0"



**3 Demolition Elevation** (East)  
WEST SIDE MIRROR IMAGE SCALE 1/4" = 1'-0"

- DEMOLITION KEY NOTES**
- 1 REMOVE EXISTING ROOF SYSTEM COMPLETELY, DOWN TO CONCRETE DECK INCLUDING ALL GRAVEL, GUARDS, FELTS, ETC.
  - 2 POWER BRUSH, OR WATER BLAST, ALL LOOSE, AND PEELING EXTERIOR PAINT AND DEBRIS ON BUILDING'S CONCRETE FRAME
  - 3 REMOVE ALL EXISTING ROOF TO WALL BUILT UP FLASHINGS, ASPHALT, METAL TRIM, ETC.
  - 4 LOW WATER PRESSURE CLEAN ALL BRICK MASONRY. USE "SIMPLE GREEN", ETC. AS CLEANING AGENT
  - 5 REMOVE ANY DAMAGED OR ROTTEN WOOD AROUND SLIDING DOOR FRAMES. REPLACE WITH TREATED WOOD BLOCKING. PRIME & BACK PRIME PRIOR TO INSTALLATION OF NEW FRAMING SYSTEMS.
  - 6 KEEP TRANSOM WINDOWS ABOVE OVERHEAD DOORS. RESEAL INSIDE AND OUTSIDE. REPLACE ALL BROKEN GLASS.
  - 7 REMOVE SLIDING DOORS, TRACKS, FRAMES, & HARDWARE.
  - 8 REMOVE EXISTING WOOD SUN SHADES & RAILINGS FROM FRONT BALCONIES COMPLETELY
  - 9 REMOVE ALUMINUM & GLASS ROLL-UP DOORS & PREP OPENINGS FOR NEW DOORS. EXISTING ELECTRICAL/MECHANICAL COMPONENTS TO REMAIN. CLEAN MOTORS, ADJUST, & MAKE FULLY OPERABLE. TRACKS TO REMAIN IN PLACE.
  - 10 POWER WIRE BRUSH EXISTING REAR BALCONY RAILINGS & LADDERS. PREP FOR REPAINTING
  - 11 FIRST FLOOR WINDOWS (EAST, WEST SIDES & CORNERS): REMOVE GLASS & FRAMING COMPLETELY. POWER WIRE BRUSH CLEAN EXISTING CONCRETE. RE-COAT & PREP FOR NEW STOREFRONT SYSTEMS
  - 12 AT ALL BALCONY ROOFS, POWER WASH & BRUSH CLEAN ALL LOOSE, PEELING, & DAMAGED COATINGS. REMOVE METAL GUARDS, TRIMS, ETC. PREP ROOF FOR NEW ELASTOMERIC COATING
  - 13 SECOND FLOOR WINDOWS: REMOVE GLASS & FRAMING COMPLETELY. POWER WIRE BRUSH CLEAN EXISTING CONCRETE & BRICK. RE-COAT AND PREP FOR NEW WINDOWS
  - 14 WHERE CONCRETE BUILDING FRAME SHOWS SIGNS OF SPALLING, CRACKING, & WATER INTRUSION, CLEAN OUT ALL LOOSE MATERIAL. CLEAN CONCRETE & PREP AREAS FOR CONCRETE REPAIR PRIOR TO RE-COATING ENTIRE CONCRETE FRAME
  - 15 REMOVE EXTERIOR DOORS, HARDWARE, AND FRAME. PREP CONCRETE FRAME FOR NEW HOLLOW METAL FRAME, HOLLOW METAL DOOR, AND NEW HARDWARE.
  - 16 REMOVE TRANSOM GLAZING, FRAMING, ETC. AT ALL FOUR BALCONY OPENINGS. PREP FOR NEW STOREFRONT FRAMING SYSTEMS.



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**DEMOLITION ELEVATIONS**

|                  |
|------------------|
| DATE: REVISIONS: |
| DECEMBER 2024    |
| JOB NUMBER       |
| BC2024-01        |

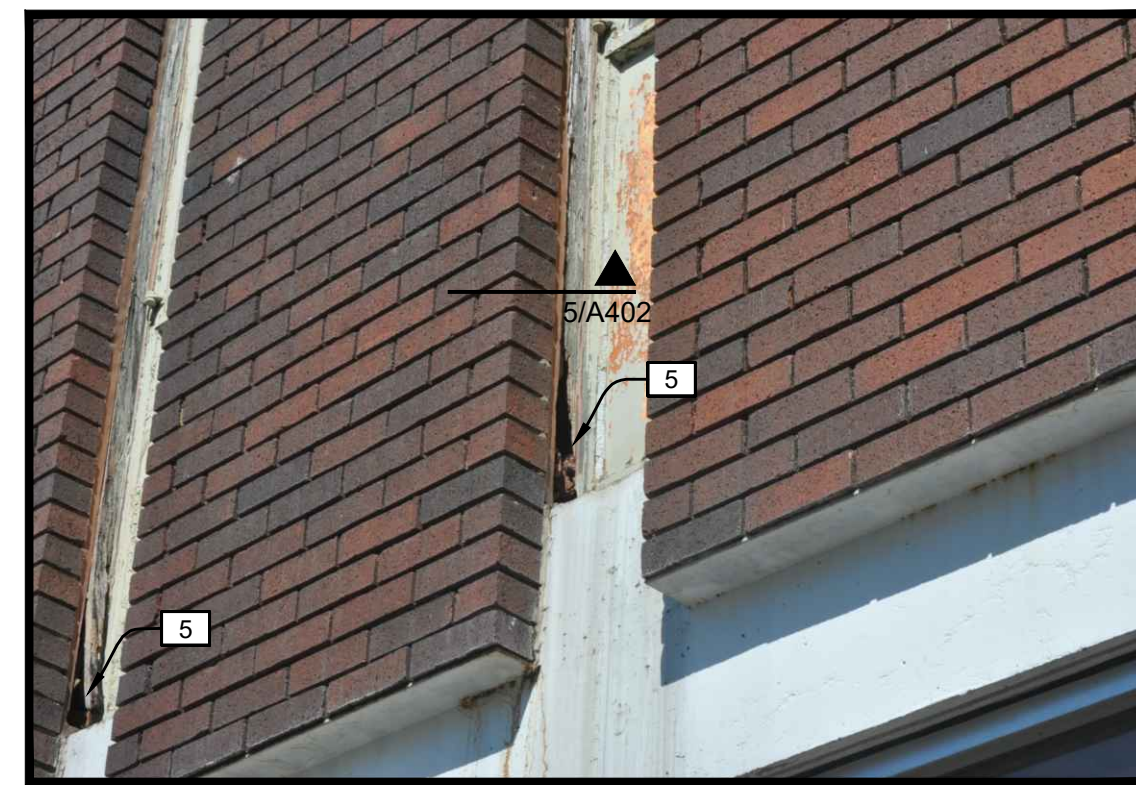




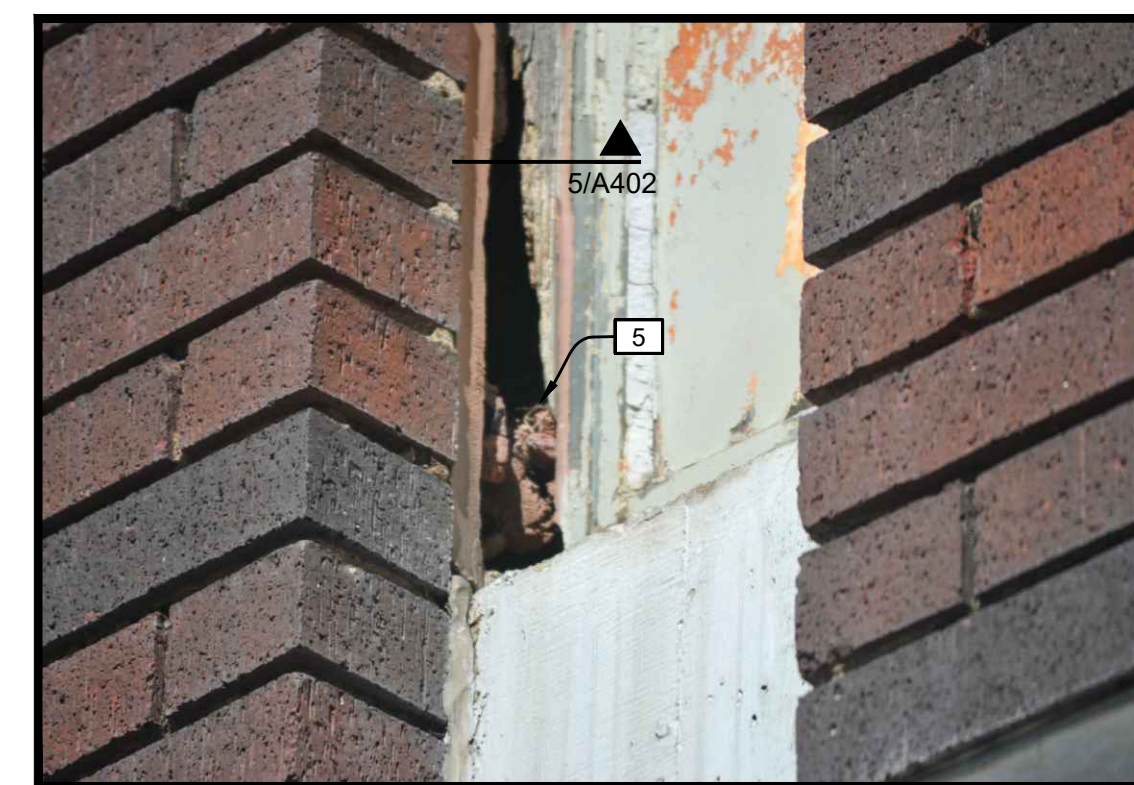
**1** Transom Window Above Roll Up Doors



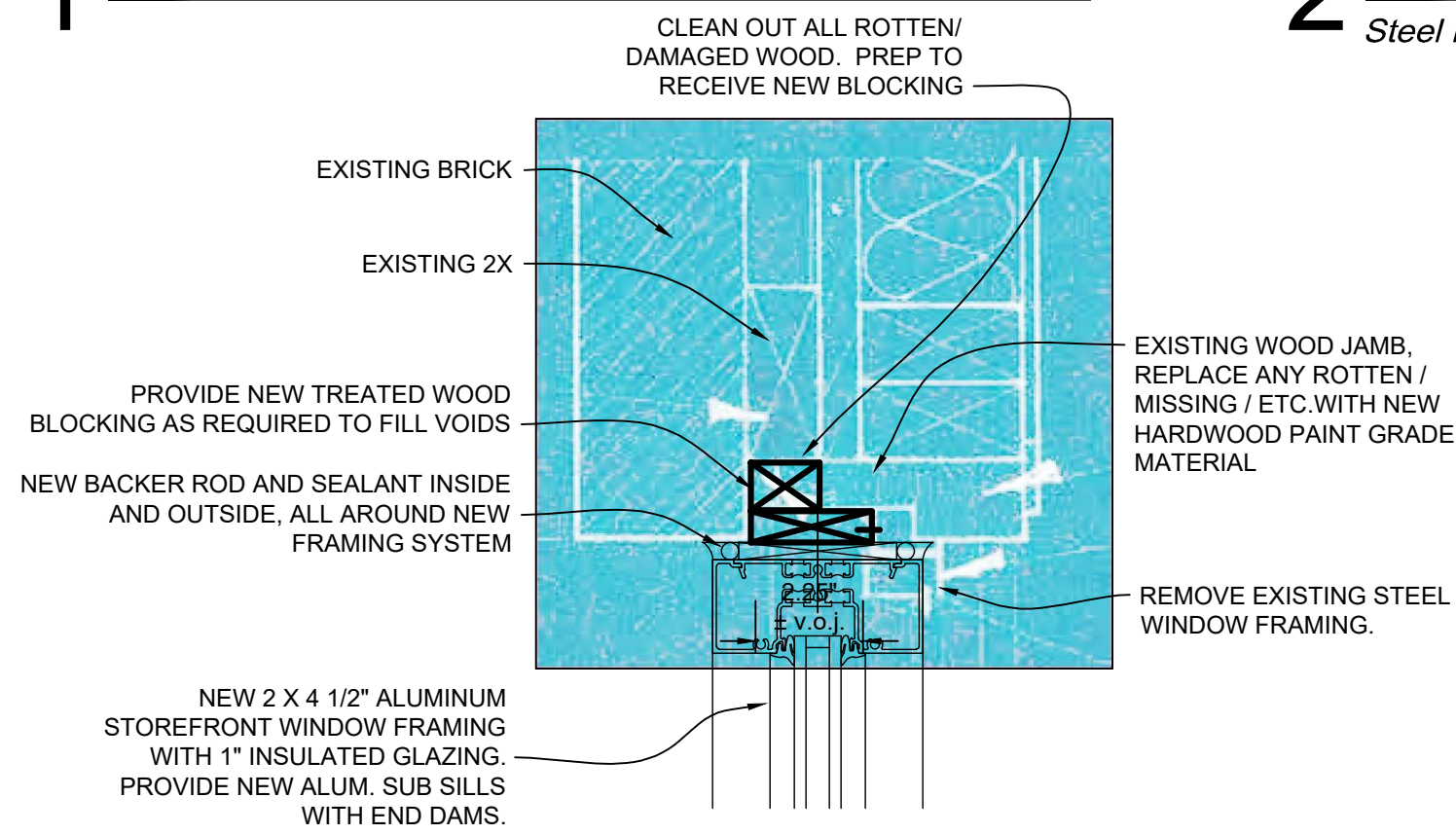
**2** Partial View of Second Story Facade  
Steel Framed Windows and Panels



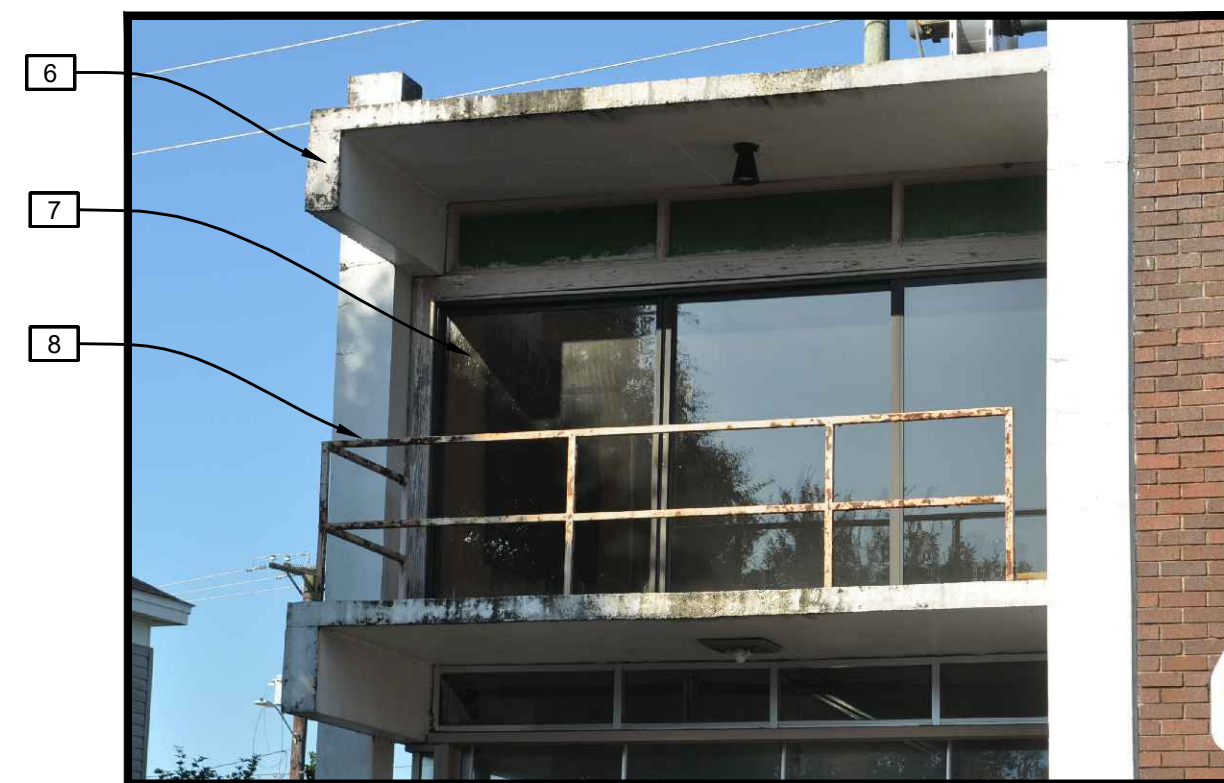
**3** Second Story Windows and Panels



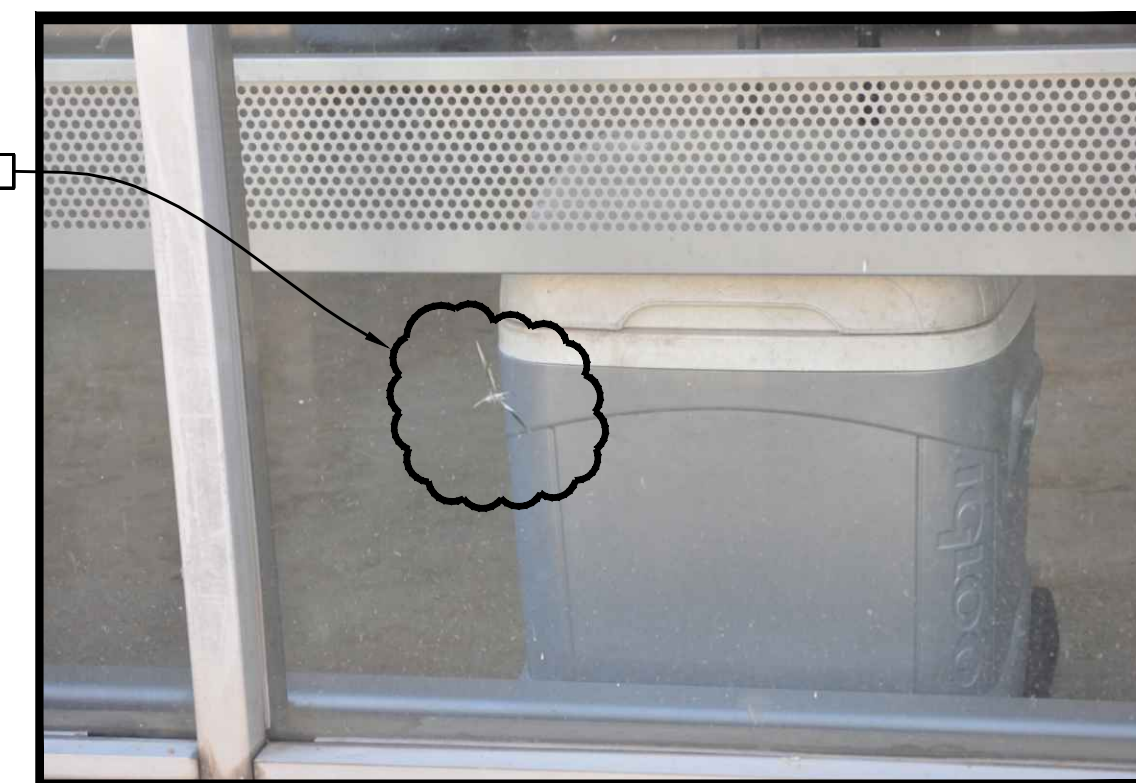
**4** Enlarged Detail of Jamb Damage



**5** 2nd Floor Window Jamb  
Repair of Rotten / Missing Wood



**6** Rear (North) Balcony Facade  
East Side of Building



**7** Bottom Floor Aluminum Framing  
Replace All Broken Or Chipped Glass where existing glazing is to remain in place : refer to elevations and details



**8** Building Corner  
South West Corner at Texas Ave.

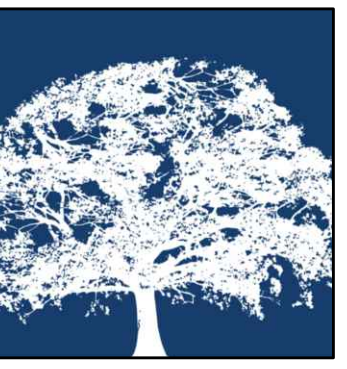


**9** Interior Door at Bottom of Tower  
New Infill with Storefront Framing



**10** Close Up of Interior Door at Bottom of Tower

- KEY NOTES**
- REMOVE & REPLACE ALL SEALANT AROUND ALUMINUM FRAMING ABOVE ALL ROLL UP DOORS INSIDE AND OUTSIDE. CHANGE OUT ALL BROKEN GLASS IN TRANSOMS.
  - REMOVE EXISTING SECOND STORY STEEL WINDOWS AND FRAMING. REPLACE ALL ROTTEN WOOD WITH GROUND CONTACT TREATED MATERIAL
  - REMOVE SPANDREL PANEL ALONG WITH FRAMING. PREP TO RECEIVE ALL NEW STOREFRONT FRAMING AND GLAZING
  - CLEAN & RESEAL ALL BRICK MASONRY WITH LIQUID, CLEAR, SILICON BASED SEALER (IE) SILOXANE, ETC.
  - EXISTING WOOD JAMBS ARE ROTTEN AND/OR MISSING IN MULTIPLE WINDOWS. ONCE EXISTING STEEL WINDOWS AND FRAMING ARE REMOVED, CLEAN OUT ROTTEN WOOD & CAULK. APPLY NEW TREATED BLOCKING, THEN INSTALL NEW ALUMINUM STOREFRONT TO ALL SECOND STORY WINDOW FRAMING (RE: 5/A402)
  - ALL EXISTING CONCRETE BUILDING FRAME: CLEAN, REPAIR CRACKS, & RE-COAT
  - REPLACE ALL SLIDING DOORS ON ALL BALCONIES ON THE SECOND FLOOR WITH NEW STOREFRONT FRAMING AND 1" GLAZING AND NEW EXIST SWING DOOR. (RE: ELEVATIONS AND OPENING SCHEDULE)
  - REAR (NORTH) BALCONIES: SAND, GRIND, POWER WIRE BRUSH CLEAN EXISTING RAILINGS & STEEL LADDERS. PRIME & FINISH COAT WITH INDUSTRIAL ENAMEL
  - INSPECT & REPLACE ALL BROKEN GLASS SCHEDULED TO REMAIN IN PLACE (RE: ELEVATIONS)
  - FIRST FLOOR WINDOWS AND FRAMING TO BE REMOVED. NEW STOREFRONT MATERIAL INSTALLED. (RE: DEMO AND RENOVATION DRAWINGS)
  - REMOVE EXISTING DOORS & FRAMES BACK TO CONCRETE. INSTALL NEW ALUMINUM STOREFRONT & ENTRY DOOR INCLUDING THRESHOLD, CLOSURE, PULL, LOCK, ETC. KEY TO BUILDING MASTER
  - SET THRESHOLD IN FULL MASTIC BED. SEAL TO CONCRETE. FASTEN WITH STAINLESS STEEL ANCHORS.



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**11** Room Finish Schedule

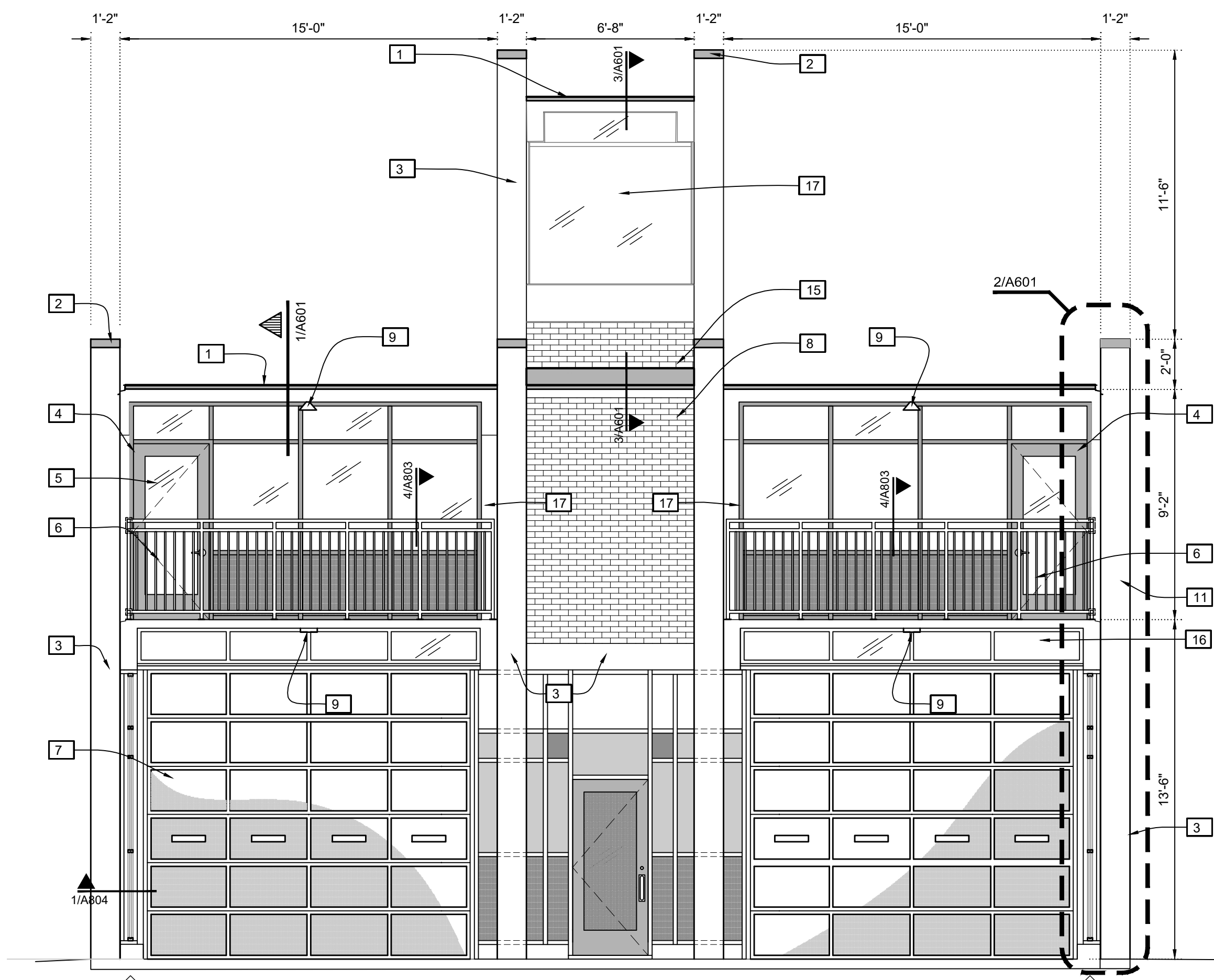
| FLOOR TYPES |  | CEILING TYPES |  |
|-------------|--|---------------|--|
| 1           | Sealed Concrete                              | 40            | Gypsum Board   |
| 2           | Ceramic Tile 2x2 (EXISTING)                  | 41            | Industrial Enamel Paint on Existing Concrete                           |
| 3           | Vinyl Composite Tile (VCT)                   | 42            |  |
| 4           |  | 43            |  |
| 5           |  | 44            |  |
| 6           |  |               |  |
| BASE TYPES  |  | CHAIR RAIL    |  |
| 10          | 4" High Rubber Cove                          | 50            |  |
| 11          | 4" Ceramic Tile                              | 51            |  |
| 12          |  | 52            |  |
| 13          |  |               |  |
| WALL TYPES  |  | REMARKS       |  |
| 20          | Industrial Enamel Paint on Gypsum Board      | 1             | SEAL ALL HOLES IN GYP. BD. PAINT CLOSET INTERIOR WHITE                 |
| 21          | Industrial Enamel Paint on Existing CMU      | 2             | TILE OVER TILE APPLICATION UP TO EXIST. WAINSCOT - RE-ELEVATIONS       |
| 22          | Industrial Enamel Paint on Existing Concrete | 3             | PROVIDE FIRE RATED PLY. WD. ON SOUTH WALL - PAINTED                    |
| 23          | 4X4 Ceramic Tile                             | 4             | SALVAGE & CAP OFF PROPERLY. EXISTING PLUMBING FOR (FUTURE) ICE MACHINE |

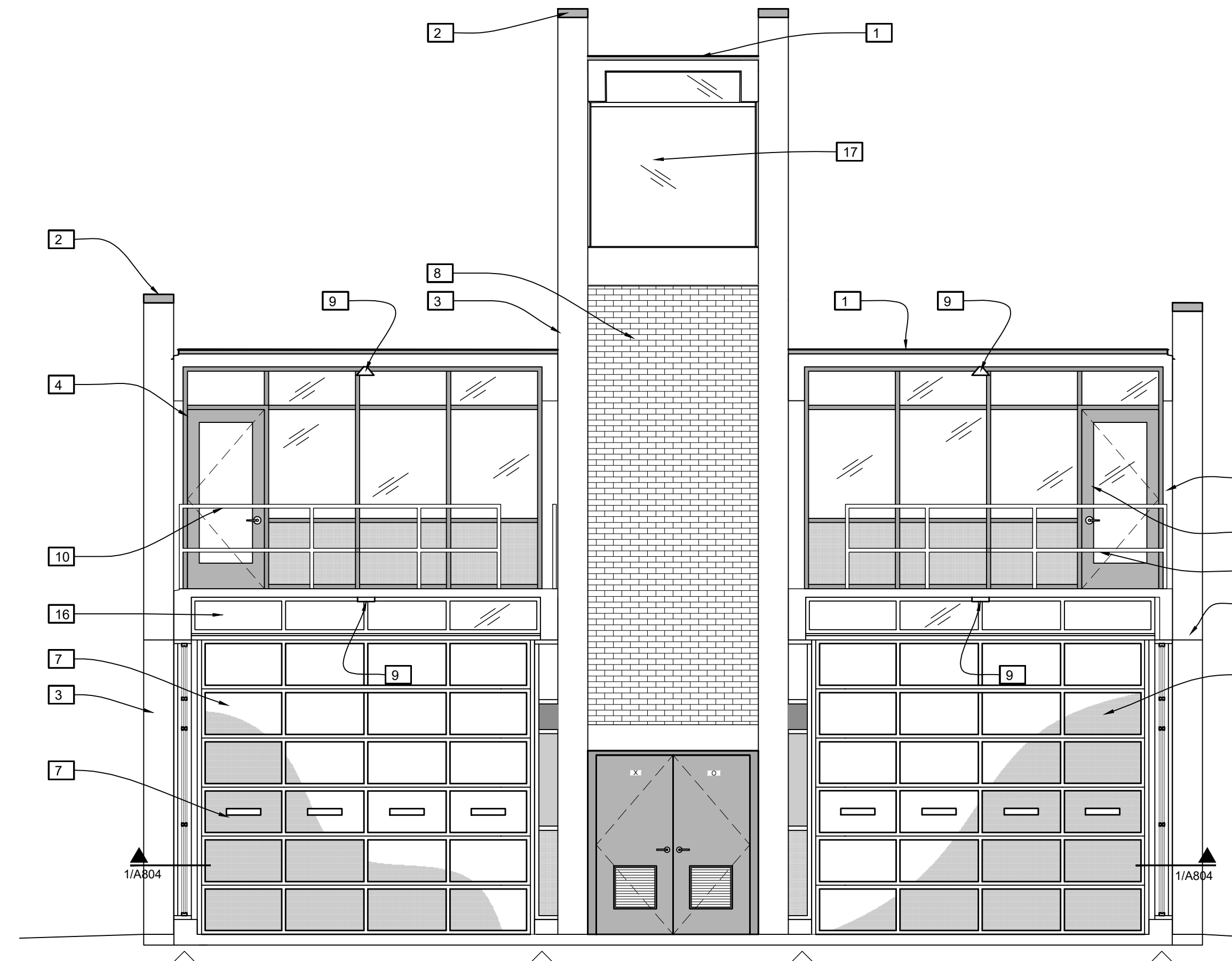
| RM # | DESIGNATION          | FLOOR | BASE | NORTH WALL | SOUTH WALL | EAST WALL | WEST WALL | WAINSCOT TYPE | WAINSCOT HEIGHT | CHAIR RAIL | CEILING TYPE | CEILING HEIGHT | REMARKS |
|------|----------------------|-------|------|------------|------------|-----------|-----------|---------------|-----------------|------------|--------------|----------------|---------|
| A101 | ENGINE BAY           | 1     | 10   | 20         | 20         | 20        | 20        |               |                 |            | 41           | EXIST          |         |
| A102 | STORAGE              | 1     | 10   | 20         | 20         | 20        | 20        |               |                 |            | 40           | EXIST          |         |
| A103 | TOILET               | 1     | 10   | 20         | 20         | 20        | 20        |               |                 |            | 40           | EXIST          |         |
| A104 | SECURE STORAGE       | 1     | 10   | 20         | 20         | 20        | 20        |               |                 |            | 40           | DECK HGT       |         |
| A201 | STARWELL             | 1     |      | 22         | 22         | 22        | 22        |               |                 |            | 41           | EXIST          |         |
| A202 | TACTICAL PLANNING    | 3     | 10   | 20         | 20         | 20        | 20        |               |                 |            | 40           | EXIST          | 1       |
| A203 | HVAC CLOSET          | 3     | 10   | 20         | 20         | 20        | 20        |               |                 |            | 40           | EXIST          |         |
| A204 | TOILET               | 2     | 11   | 23         | 23         | 23        | 23        |               |                 |            | 40           | EXIST          | 2       |
| A205 | HVAC CLOSET          | 3     | 10   | 20         | 20         | 20        | 20        |               |                 |            | 40           | EXIST          | 1       |
| A206 | OFFICE               | 3     | 10   | 20         | 20         | 20        | 20        |               |                 |            | 40           | EXIST          |         |
| A207 | COMMUNICATION CLOSET | 3     | 10   | 20         | 20         | 20        | 20        |               |                 |            | 40           | EXIST          | 3       |
| A208 | CORRIDOR             | 3     | 10   | 20         | 20         | 20        | 20        |               |                 |            | 40           | EXIST          |         |
| A209 | UTILITY ROOM         | 3     | 10   | 20         | 20         | 20        | 20        |               |                 |            | 40           | EXIST          | 4       |
| A210 | BREAK ROOM           | 3     | 10   | 20         | 20         | 20        | 20        |               |                 |            | 40           | EXIST          |         |
| A211 | LOUNGE               | 3     | 10   | 20         | 20         | 20        | 20        |               |                 |            | 40           | EXIST          |         |
| A212 | CORRIDOR             | 3     | 10   |            |            | 20        | 20        |               |                 |            | 40           | EXIST          |         |

EXTERIOR PHOTOS, DETAIL, & ROOM FINISH SCHED.  
DATE: REVISIONS:  
DECEMBER 2024  
JOB NUMBER  
BC2024-01

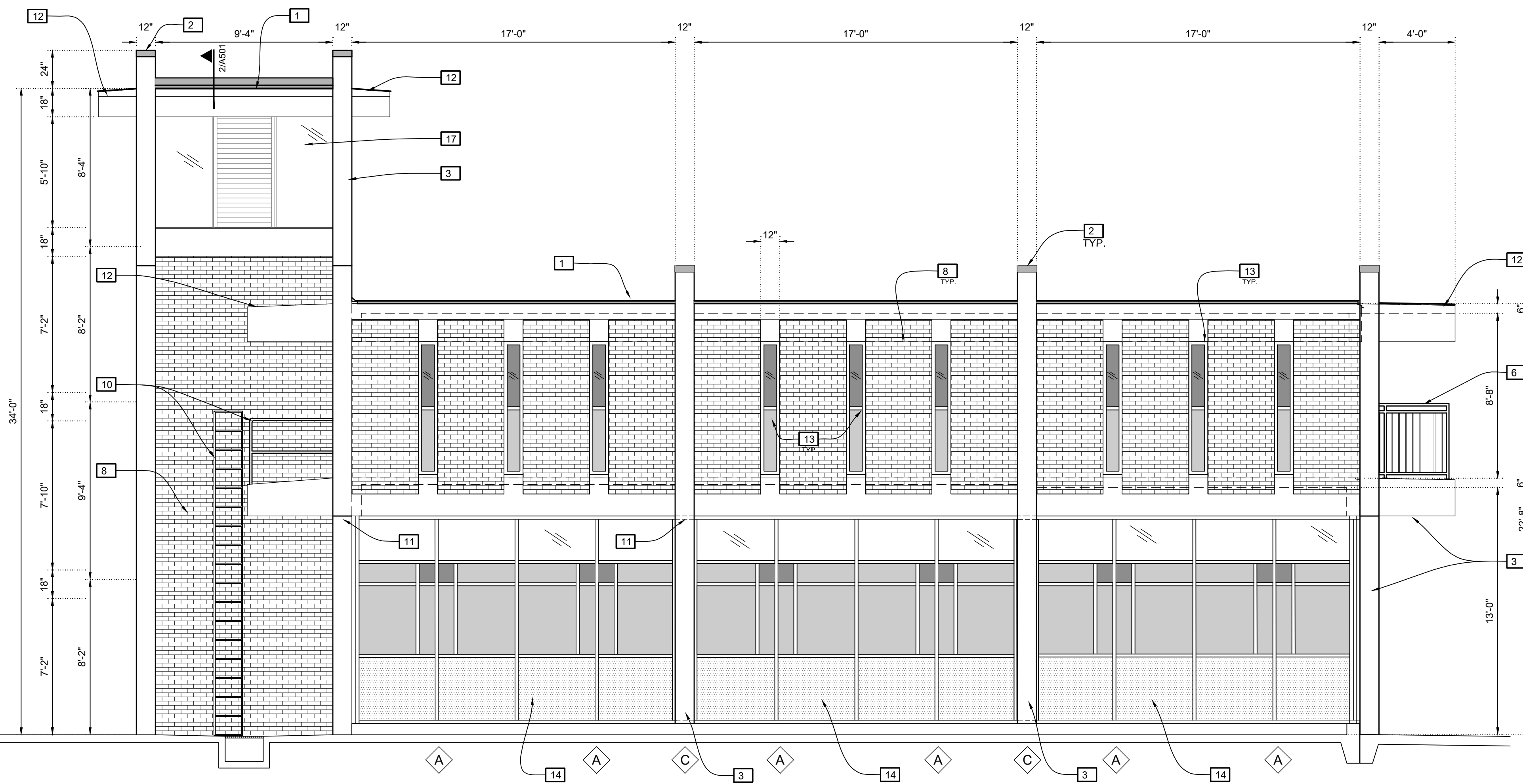




**1 Exterior Elevation** Texas Ave. (South)  
SCALE 1/4" = 1'-0"



**2 Exterior Elevations** (North)  
SCALE 1/4" = 1'-0"



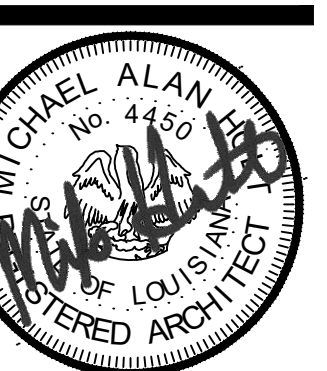
**3 Exterior Elevations** (East)  
WEST SIDE MIRROR IMAGE SCALE 1/4" = 1'-0"

**KEY NOTES**

- 1 NEW 50 MIL. FLEECE BACK PVC ROOF MEMBRANE, FULLY ADHERE TO CLEAN, DRY, CONCRETE DECK. AFTER COMPLETE, TEAR OFF AND REMOVAL OF ASPHALT AND ROLL B.U.R. MATERIALS
- 2 CAP ALL COLUMN TOPS IN NEW ROOF SYSTEM. TERMINATE WITH 1 3/4" "KYNAR" COATED METAL COVERS AND TERMINATION BAR. TYPICAL ALL COLUMNS
- 3 GRIND CLEAN, WATER BLAST, OR OTHERWISE CLEAN OFF ALL LOOSE, DAMAGED CONCRETE COATINGS FROM ALL EXISTING CONCRETE BUILDING FRAMING. PATCH & REPAIR CRACKS, CHIPS, & EXPOSED BRICKS. RE-COAT WITH PRIMER AND TWO (2) FINISH COATS CONCRETE PAINT
- 4 REPLACE EXISTING EXTERIOR WOOD CASINGS AND TRIM WITH NEW 4/4 CEMENTITIOUS TRIM BY "JAMES HARDI" OR EQUAL. PRIME, BACK PRIME AND FINISH COAT MIN. 2 COATS ENAMEL PAINT.
- 5 REPLACE EXISTING SLIDING DOORS WITH NEW STOREFRONT SYSTEMS. REPLACE ALL DAMAGED OR ROTTEN WOOD BLOCKING WITH TREATED WOOD. PRIME & BACK PRIME PRIOR TO INSTALLATION OF NEW STOREFRONT. (TYPICAL ALL FOUR (4) BALCONIES)
- 6 NEW ALUMINUM FRONT BALCONY RAILINGS (RE: DETAILS). ALL RAILINGS POWDER COATED. SEPARATE ATTACHMENTS TO CONCRETE SURFACES WITH PVC MEMBRANE
- 7 (TYPICAL) REPLACE ALUMINUM & GLASS ROLL-UP SECTIONAL DOORS. PREP OPENINGS FOR NEW INSULATED SECTIONAL ROLL UP DOORS. ELECTRICAL/MECHANICAL COMPONENTS TO REMAIN. CLEAN TRACKS & MOTORS. ADJUST & MAKE FULLY OPERABLE FOR NEW DOORS.
- 8 EXISTING BRICK VENEER: PRESSURE WASH & CHEMICAL CLEAN (SIMPLE GREEN). RE-POINT ANY MISSING OR DAMAGED MORTAR JOINTS THEN SEAL WITH LOW PRESSURE (HAND PUMP) "SILOXANE". COAT & RE-COAT UNTIL REFUSAL
- 9 EXISTING LIGHT FIXTURES - BALCONIES: REPLACE ALL EIGHT (8) LIGHTS WITH NEW LED CAN DOWN LIGHTS
- 10 BACK BALCONY RAILINGS AND LADDERS: SAND BLAST, POWER WIRE BRUSH, OR OTHERWISE REMOVE ALL LOOSE, SCALING PAINT, & RUST. SAND & PREP FOR RE-COATING. REPLACE ANY MISSING OR LOOSE ANCHORS WITH 1/4" STAINLESS STEEL CHEMICAL ANCHORS
- 11 CONCRETE STRESS CRACKS: CLEAN OUT ALL LOOSE, CRACKED OR BROKEN MATERIAL. APPLY CONCRETE BONDING AGENT THEN PERFORM CONCRETE REHABILITATION ON THESE AREAS PRIOR TO FINISH COATS OF CONCRETE PAINT
- 12 AFTER CLEANING & REMOVING ALL LOOSE MATERIAL, GRIND OR POWER WIRE BRUSH CLEAN THE BALCONY ROOFS TO PREP FOR NEW COATING. APPLY PRIMER & TWO (2) FINISH COATS OF ELASTOMERIC COATING TO BALCONY ROOFS (WHITE)
- 13 SECOND STORY WINDOWS: REPLACE EXISTING WINDOWS WITH NEW STOREFRONT. REPLACE ALL DAMAGED OR ROTTEN WOOD FRAMES WITH TREATED WOOD. PRIME & BACK PRIME PRIOR TO INSTALLATION OF NEW STOREFRONT. (TYPICAL ALL SECOND FLOOR EAST & WEST WINDOWS)
- 14 NEW 2X4-1/2" THERMALLY BROKEN STOREFRONT GLAZING SYSTEM. CLEAR ANODIZED WITH 1" INSULATED GLASS AS SCHEDULED. PROVIDE 1" INSULATED MAPES PANELS WHERE SHOWN
- 15 PROVIDE NEW ROOF TO WALL PVC FLASHING & GALVANIZED METAL COUNTER FLASHING AT TOWER. (RE: 2/A701)
- 16 EXISTING TRANSOM FRAMING AND GLAZING ABOVE ROLL UP DOORS TO REMAIN: RESEAL ALL FRAMING. CHANGE OUT ALL BROKEN OR CRACKED GLASS.
- 17 GLASS FRAMING IN TOWER: ALL GLASS AND FRAMING IN TOWER IS TO REMAIN IN PLACE. RESEAL AROUND ALL FRAMING MEMBERS INSIDE AND OUT. CHANGE OUT ALL BROKEN OR CRACKED GLASS.



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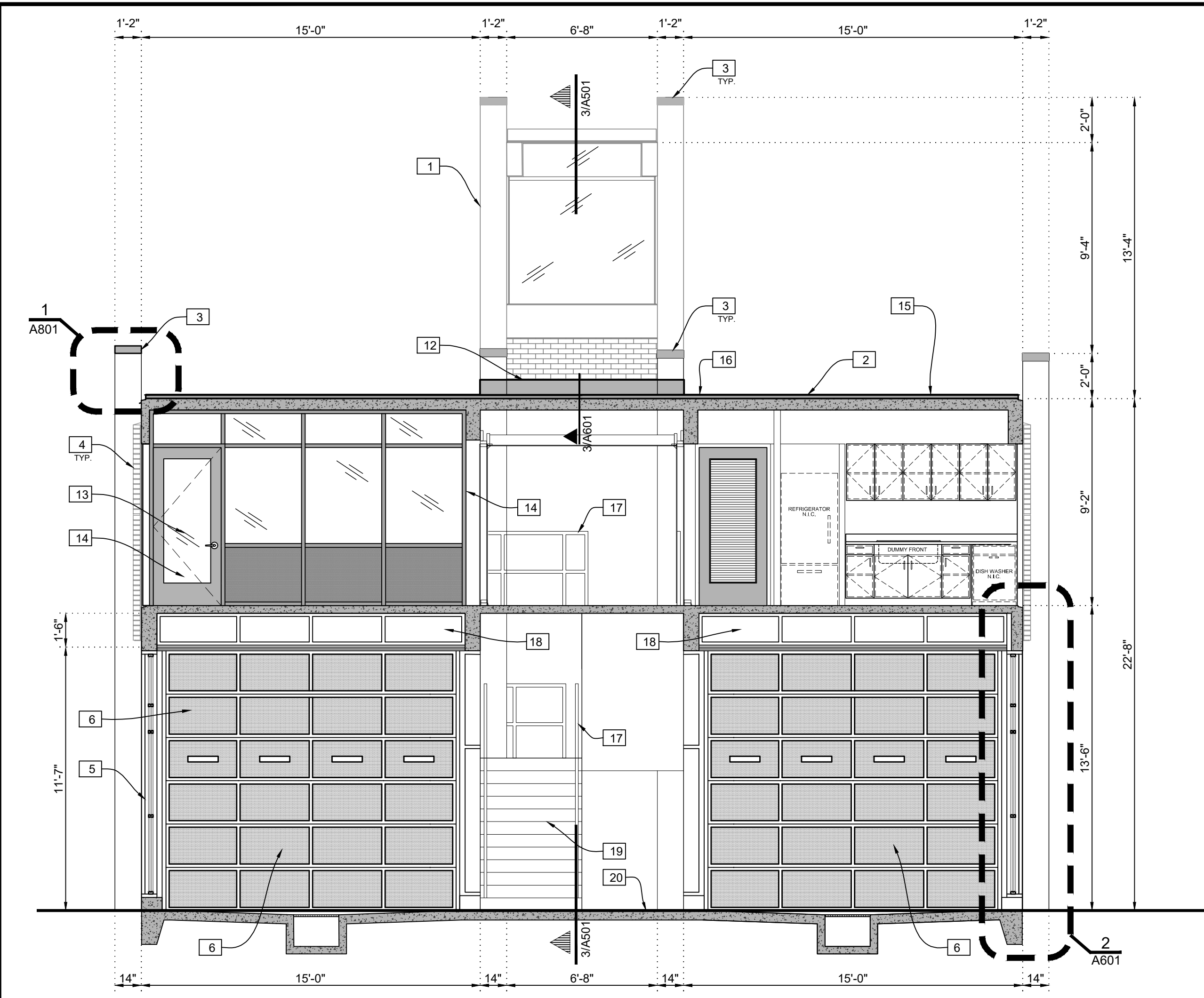


**RE-BID 2024 Building Renovations**  
**City of Alexandria SWAT Building**  
City of Alexandria - Owner  
1237 Texas Ave., Alexandria, Louisiana

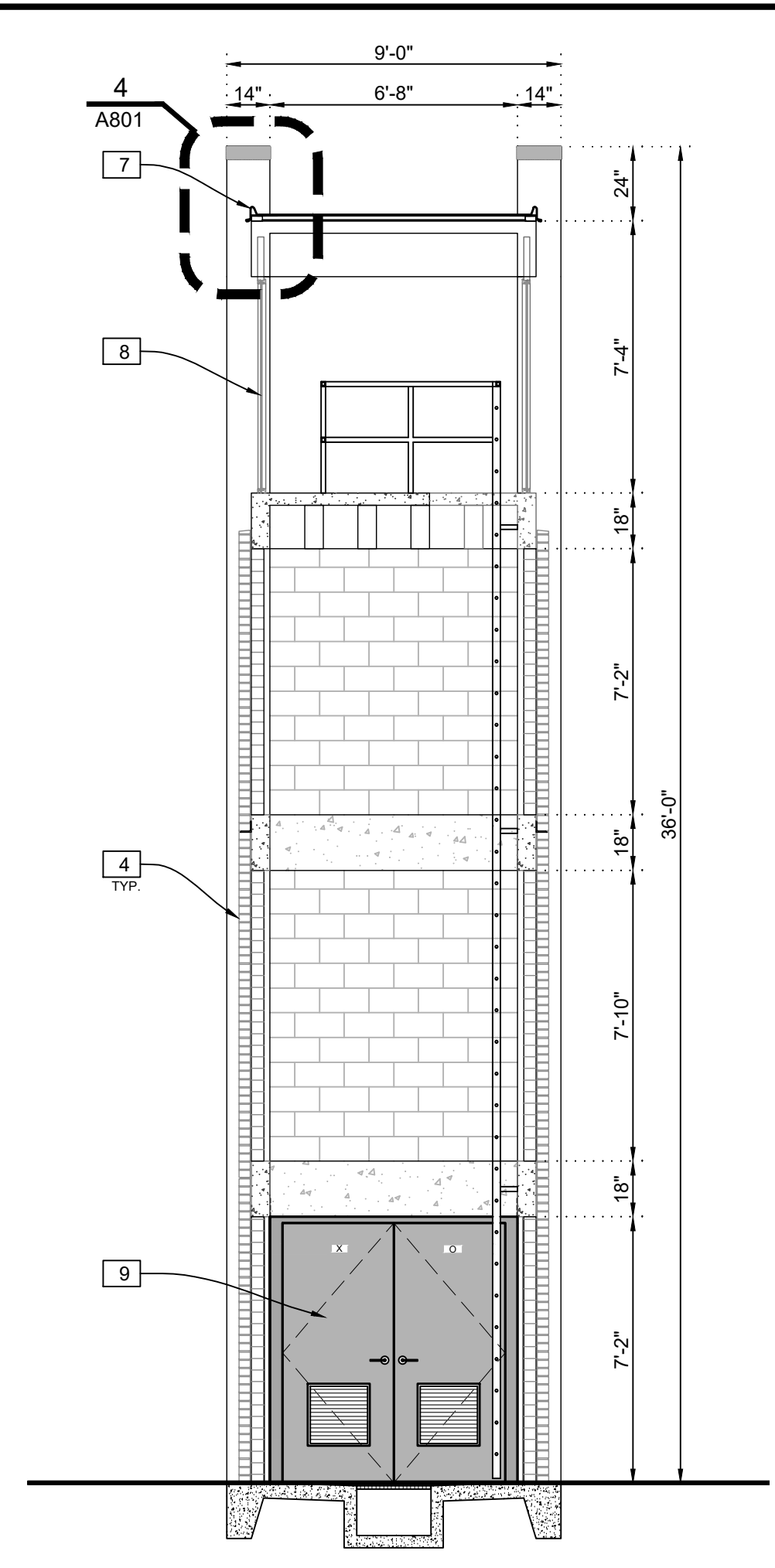
|                         |            |
|-------------------------|------------|
| NEW EXTERIOR ELEVATIONS |            |
| DATE:                   | REVISIONS: |
| DECEMBER 2024           |            |
| JOB NUMBER              |            |
| BC2024-01               |            |

**A403**  
10 OF 18A

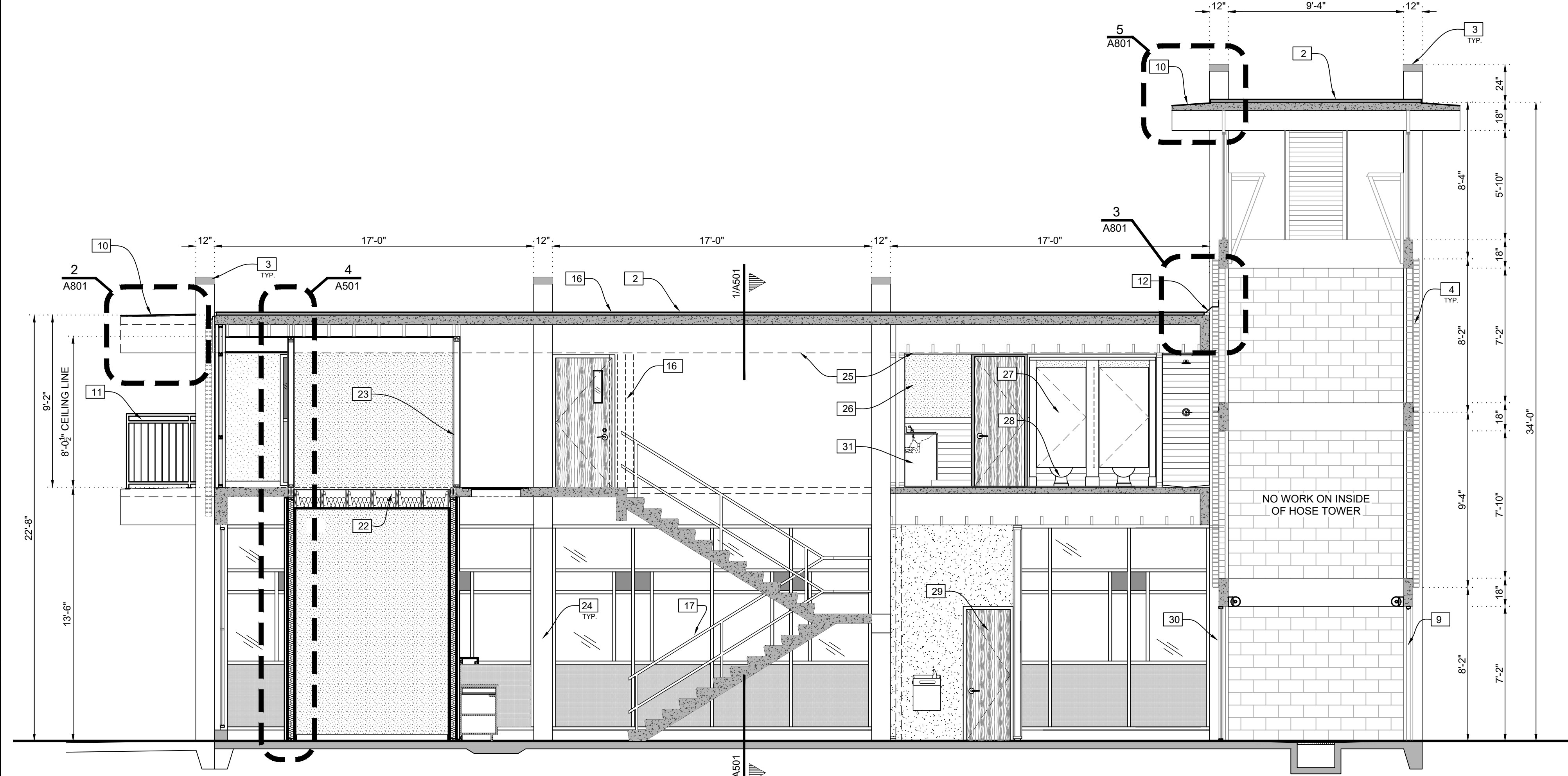




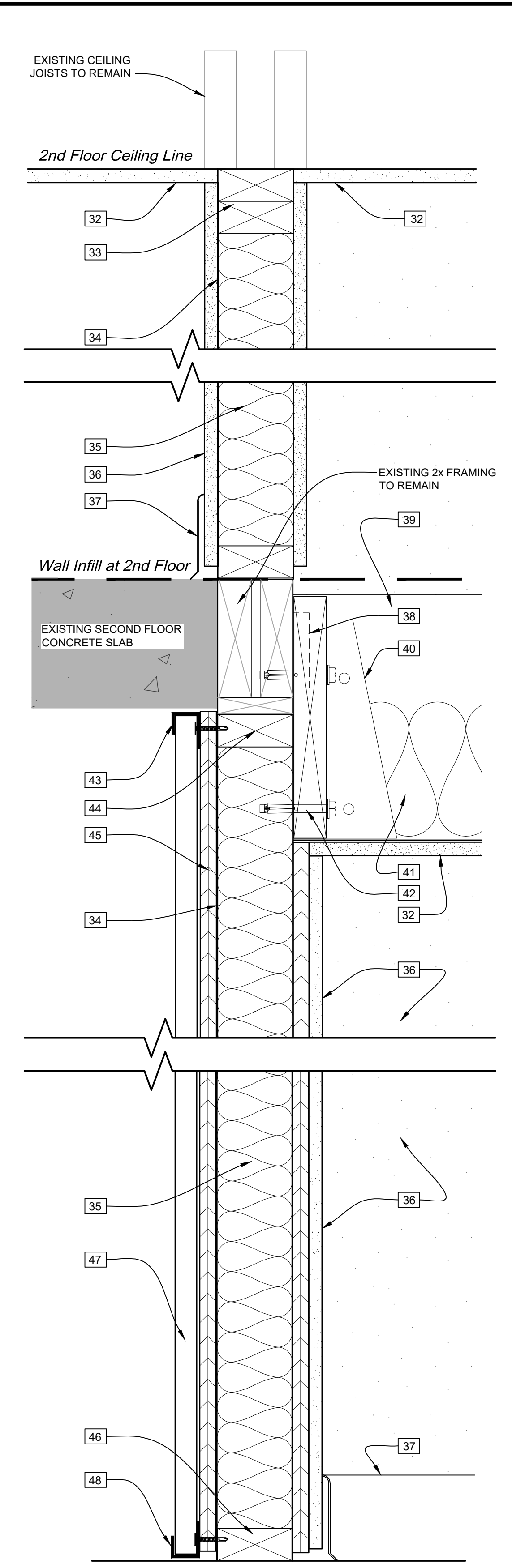
**1 Cross Section (Texas Ave.)**  
SCALE 1/4" = 1'-0"



**2 Tower Cross Section**  
SCALE 1/4" = 1'-0"



**3 Longitudinal Section**  
SCALE 1/4" = 1'-0"



**4 Wall Section (Secure Storage at First Floor)**  
SCALE 3" = 1'-0"

- KEY NOTES**
- PRESSURE WASH CLEAN, REPAIR, & RECOAT CONCRETE BUILDING FRAME MEMBERS (TYPICAL OVER ENTIRE EXTERIOR)
  - REMOVE ALL B.U.R. DOWN TO CONCRETE DECK. REROOF IN E.P.S. INSULATION & FULLY ADHERED PVC MEMBRANE SYSTEM
  - CAP ALL CONCRETE COLUMNS WITH NEW PVC ROOF MEMBRANE (RE: 4/A701)
  - PRESSURE WASH CLEAN & SEAL EXISTING BRICK
  - ALL NEW 2 X 4 1/2" STOREFRONT GLAZING ON GROUND FLOOR. SEAL INSIDE & OUT. (RE: PLAN 1/A203, WINDOW ELEVATIONS A804, & DETAILS A804)
  - PROVIDE NEW 2" THICK, TWO (2) SKIN FOAM INSULATED, ROLL-UP DOORS IN PANEL SIZES THAT MATCH EXISTING SIX (6) HORIZONTAL SECTIONS. INCLUDE NEW ROLLERS, LATCHES, ETC. REUSE EXISTING GUIDES, MOTORS, & DRIVES. PROVIDE 3" HIGH VIEW LITES IN SECTIONS, AS SHOWN. FOUR (4) PER DOOR
  - PROVIDE GRAVEL GUARD EDGES ON LONG SIDES (NORTH & SOUTH) OF TOWER ROOF. WATER TO DRAIN EAST & WEST
  - HOSE TOWER: REPLACE ALL CRACKED OR BROKEN GLASS. RE-PUTTY ALL EXTERIOR GLAZING. WATER PROOF
  - NEW PAIR OF 3-0 X 7-0 EXTERIOR GRADE HOLLOW METAL DOORS IN NEW OVERSIZE FRAME TO FIT 6'-8" WIDE OPENING. PRIME & BACK PRIME FRAME PRIOR TO INSTALLATION
  - CLEAN & COAT CONCRETE BALCONY ROOF EXTENSIONS WITH ELASTOMERIC COATING
  - NEW POWDER COATED ALUMINUM RAILINGS ON BOTH FRONT BALCONIES, TEXAS AVE. SIDE (RE: A803)
  - ONCE CLEAN OF EXISTING ROOFING & FLASHINGS, PROVIDE NEW PVC ROOF TO WALL FLASHINGS & TERMINATIONS WITH NEW 4" ALUMINUM COUNTER FLASHING TRIM, SET TO BRICK & CONCRETE
  - NEW STOREFRONT GLAZING WITH WIDE STILE EXIT DOOR ONTO ALL FOUR (4) BALCONIES
  - AT BALCONY OPENINGS, REPLACE EXISTING WOOD TRIM WITH "HARDIE-TRIM" CEMENTITIOUS TRIM BOARDS. PRIME & BACK PRIME PRIOR TO INSTALLATION
  - REMOVE EXISTING HOOD EXHAUST VENT JACK & FLASHING FROM ROOF, PRIOR TO RE-ROOFING
  - REMOVE & PATCH ROOF OPENING WHERE ORIGINAL EXHAUST VENT PIPING IS LOCATED FROM ROOF DOWN TO TRUCK BAYS
  - CLEAN BY WIRE BRUSH & CHEMICALS, EXISTING STAIR RAILINGS. PRIME & COAT MINIMUM TWO (2) COATS URETHANE ENAMEL (OSHA YELLOW)
  - REPLACE ANY & ALL BROKEN GLASS ABOVE ROLL-UP DOOR SECTIONS WITH 1/4" SAFETY GLASS
  - POWER WASH & CHEMICAL CLEAN EXISTING CONCRETE STAIRS. WIRE BRUSH ANY BUILT UP MATERIALS
  - WHERE 12 X 12 TILES WERE REMOVED ON FIRST FLOOR, GRIND CONCRETE TO CLEAN SURFACE. PREP TO SEAL
  - NEW 3 1/2" STUD FRAMING 16" O.C. TIGHT TO BOTTOM OF SECOND FLOOR CONCRETE DECK. INSULATE WITH 3 1/2" R-15 UNFACED INSULATION. SHEATH WITH 5/8" GYPSUM BOARD WATER & MOLD RESISTANT (GREEN BOARD). TAPE, FLOAT, & FINISH
  - FRAME VOID IN FLOOR WITH 2 X 12 JOISTS 16" O.C. & AROUND PERIMETER OF OPENING. INSTALL 5/8" GYPSUM BOARD ON BOTTOM SIDE OF JOISTS. INSULATE WITH 6" UNFACED INSULATION. TAPE, FLOAT, & FINISH STORE ROOM CEILING
  - SIMILAR WALL CONSTRUCTION AS NOTE 21 EXCEPT INFILL WALLS WHERE EXISTING GLASS IS REMOVED, EAST & WEST WALLS ON SECOND FLOOR VOID SPACE
  - TYPICAL ALL CONCRETE FRAME & PAINTED SUPERSTRUCTURE. PATCH, REPAIR, & REPAINT ALL CONCRETE FRAMING, INSIDE & OUTSIDE
  - WHERE EXISTING GYP. BOARD CEILINGS REMAIN, PATCH, REPAIR, & PRIME WITH TWO (2) COATS KILZ & FINISH PAINT TWO (2) COATS SEMI-GLOSS ENAMEL
  - TOILET/SHOWER ROOM TO GET TILE OVER TILE APPLICATION ON WALLS. SHOWER TO GET COMPLETE TILE OVER TILE FINISH. FLOORS TO BE STEAM CLEANED & RE-GROUTED
  - NEW STAINLESS STEEL TOILET PARTITIONS TO REPLACE EXISTING. SAME SIZE & LOCATION
  - (TYPICAL) PROJECT GETS NEW TOILETS, URINALS, & TRIM. (RE: A203 & A701) FOR NEW SINKS & LAVATORIES
  - NEW HOLLOW METAL DOOR IN EXISTING PAINTED, WOOD FRAME. SEE DOOR SCHEDULE
  - NEW 2 X 4 1/2" INSULATED STOREFRONT ENTRY SYSTEM WITH WIDE STILE, FULL GLASS DOOR & INSULATED SIDE LITES
  - NEW PLASTIC LAMINATE CLAD VANITY WITH DOUBLE LAVATORIES. SEE PLAN & ELEVATION
  - 1/2" GYP. BOARD. TAPE, FLOAT, & FINISH. PROVIDE "J" MOULD ENDS WHERE EXPOSED EDGES OCCUR
  - DOUBLE 2 X 4 TOP PLATES. STAGGER JOINTS 32" MIN.
  - WALL FRAMING: 2 X 4 STUDS 16" O.C.
  - FILL WALL CAVITY WITH 3 1/2" R-15 UNFACED INSULATION
  - 1/2" GYP. BOARD SHEATHING. TAPE, FLOAT, & FINISH
  - 4" RUBBER BASE, AS SCHEDULED
  - (DEMO) REMOVE EXISTING 1" TRIM ALL AROUND OPENING
  - 2 X 12 JOISTS 16" O.C. (RECESS 3/4" DOWN FROM SECOND FLOOR LINE)
  - USE JOIST HANGERS TO INSTALL 2 X 12 JOISTS
  - INSTALL 6" UNFACED FIBERGLASS INSULATION BETWEEN JOISTS
  - PROVIDE 2 X 12 STRINGER ALL AROUND OPENING. GLUE & LAG BOLT TO WALL FRAMING, 16" O.C., TOP & BOTTOM WITH 3/8" X 4" LAG BOLTS.
  - 24 GA. HEMMED TOP PANEL TRIM. COLOR TO MATCH COLOR PANELS
  - 2 X 4 TOP PLATE
  - EITHER SIDE OF FRAMING: SHEATH WALL IN 3/4" PLYWOOD. GLUE & SCREW TO FRAMING
  - DYNA-BOLT BOTTOM PLATE TO CONCRETE FLOOR. LIQUID NAIL GLUE DOWN, AS WELL
  - METAL WALL PANELS (VERTICAL) MCELROY MARQUEE-LOK. PROVIDE 3" WIDE, 24 GA., HEMMED CORNER TRIM. 26 GA. MINIMUM PANEL THICKNESS
  - SIMILAR TRIM AS NOTE 43 EXCEPT BOTTOM TRIM



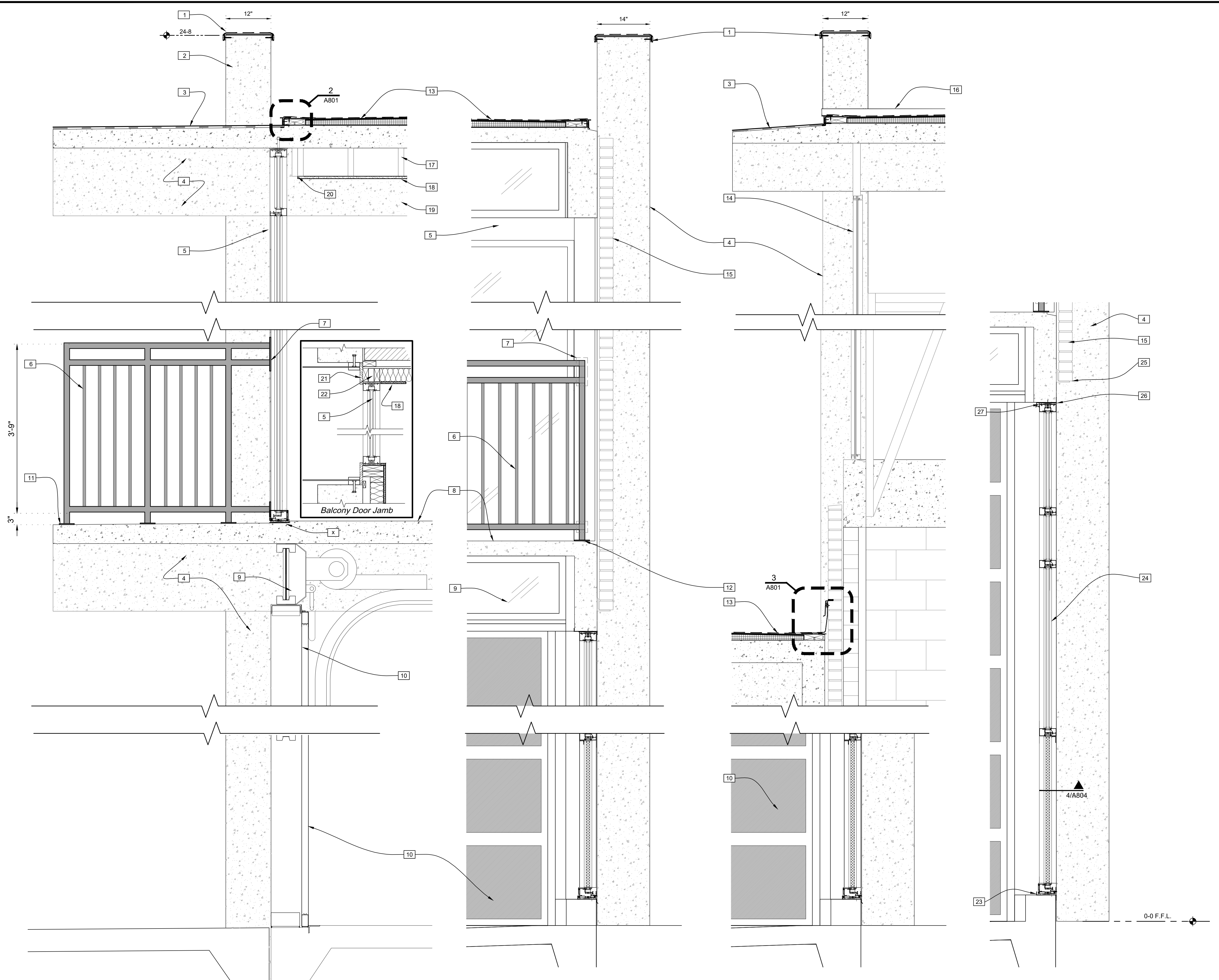
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**RE-BID 2024 Building Renovations**  
**City of Alexandria SWAT Building**  
City of Alexandria - Owner  
1237 Texas Ave., Alexandria, Louisiana

**BUILDING & WALL SECTIONS**  
DATE: REVISIONS:  
DECEMBER 2024  
JOB NUMBER: BC2024-01





**1** Section Through Building At Roll Up Door  
SCALE 1" = 1'-0"

**2** Section  
SCALE 1" = 1'-0"

**3** Tower Section  
SCALE 1" = 1'-0"

**4** Window Wall  
SCALE 1" = 1'-0"

**KEY NOTES**

- 1 CAP ALL CONCRETE COLUMNS IN PVC (RE: 4 & 5/A801)
- 2 CLEAN, REPAIR, & RE-COAT COLUMNS PRIOR TO RE-ROOFING
- 3 CANOPY ROOF OVERHANGS (TYPICAL): CLEAN, PRIME, & APPLY MINIMUM TWO (2) COATS OF ELASTOMERIC COATING (WHITE)
- 4 CONCRETE BUILDING FRAME & SUPERSTRUCTURE (TYPICAL): POWER WASH, REMOVE LOOSE, SPALLED, DISCOLORED MATERIAL. REPAIR CRACKS, VOIDS, ETC. PRIME & FINISH COAT MINIMUM TWO (2) COATS
- 5 NEW 2x4 1/2" STOREFRONT ALUMINUM GLAZING SYSTEMS WITH WIDE STILE DOORS. 1" INSULATED "GRAY LIGHT" DARK GRAY GLASS WITH 1" INSULATED CLEAR GLASS TRANSOMS
- 6 NEW POWDER COATED ALUMINUM WELDED BALCONY RAILINGS ON FRONT BALCONIES. 1 1/2" SQUARE RAILS & STILES WITH 5/8" SQUARE PICKETS, 4" O.C. MAXIMUM. SPACE EVENLY ACROSS RAILING (RE: A803)
- 7 SECURE RAILING TOP TO EXISTING WOOD FRAME. USE TWO (2) 1/4" x 3" LAG BOLTS & LOCK WASHERS THROUGH BRACKET. (RE: 5/A803)
- 8 PRESSURE WASH THEN SEAL EXISTING CONCRETE BALCONY FLOORS. CLEAN DRAIN HOLES
- 9 CAULK & RESEAL ALL TRANSOM ALUMINUM FRAMING ABOVE OVERHEAD DOORS, FRONT & BACK. REPLACE ANY BROKEN GLASS
- 10 NEW 2" THK. POWDER COATED INSULATED OVERHEAD SECTIONAL DOOR PANELS SIZED TO FIT IN EXISTING OPENING & TRACKS. PROVIDE NEW WEATHER STRIPPING TO SEAL DOOR OPENINGS
- 11 TYPICAL STILE BASE PLATE 1/4" x 2 1/2" x 4" ALUMINUM. ANCHOR TO CONCRETE WITH 1/4" DIA. CHEMICAL ANCHORS & LOCK WASHERS. PROVIDE PVC MEMBRANE SEPARATOR BETWEEN PLATE & CONCRETE
- 12 SIMILAR TO NOTE 11 EXCEPT CORNER PLATE SIZE 1/4" X 4" X 4". (RE: 5/A803)
- 13 AFTER REMOVING EXISTING ROOF SYSTEM DOWN TO CONCRETE DECK & DRYING OUT CONCRETE, INSTALL NEW FULLY ADHERED PVC MEMBRANE SYSTEM OVER TAPERED EPS INSULATION. PROVIDE NEW 2 x 6 TREATED, CONTINUOUS, PERIMETER BLOCKING, FASTENED TO EXISTING ANCHOR BOLTS
- 14 HOSE TOWER GLASS FRAMING: REPLACE EXISTING PLASTIC GLAZING STOPS IN EXISTING ALUMINUM FRAMING WITH NEW NEOPRENE STOPS
- 15 CLEAN & SEAL EXISTING BRICK MASONRY (TYPICAL FOR BUILDING)
- 16 PROVIDE PVC WELDED GRAVEL GUARD EDGES ON SIDES OF TOWER ROOF TO LIMIT WATER RUN-OFF TO NORTH & SOUTH ENDS
- 17 EXISTING 2X8 JOISTS: SCAB NEW JOISTS ONTO WATER DAMAGED MEMBERS
- 18 1/2 INCH GYP. BD.: TAPE, FLOAT, AND FINISH. WHITE SATIN SHEEN
- 19 CLEAN OFF ALL EXISTING ASPHALT, DIRT, DEBRIS, ETC. FROM ALL CONCRETE WORK. COVER IN OIL BASED "KILZ" OR OTHER APPROVED. SEAL COAT, THEN FINISH PAINTING.
- 20 PROVIDE FINISHED J MOLD ENDS AT EXPOSED ENDS OF GYPSUM BOARD CEILINGS
- 21 PROVIDE NEW 1X HARDIE-TRIM AROUND ALL EXTERIOR WINDOW FRAMING ON BALCONIES. PRIME & PAINT. CAULK SEAL ALL NAILS AND JOISTS
- 22 REPLACE ANY WATER DAMAGED, ROTTEN OR MISSING WOOD BLOCKING WITH "GROUND CONTACT" GRADE TREATED WOOD BLOCKING.
- 23 PROVIDE ALUM. SUBSILLS, SET IN FULL SILICON MASTIC BED COAT, INCLUDE THRESHOLD IN SUBSILL INSTALL
- 24 NEW 2X4 1/2" STOREFRONT GLAZING SYSTEM, WITH 1" INSULATED "MAPES" AND 1" INSULATED GLASS. RE: ELEVATIONS.
- 25 POWER WIRE BRUSH CLEAN EXISTING STEEL LINTEL ANGLES. PRIME WITH EXTERIOR RUST INHIBITOR PRIMER. FINISH COAT MINIMUM 2 COATS. OIL BASED ENAMEL. SEAL ALL JOINTS, CORNERS, AND CONNECTIONS.



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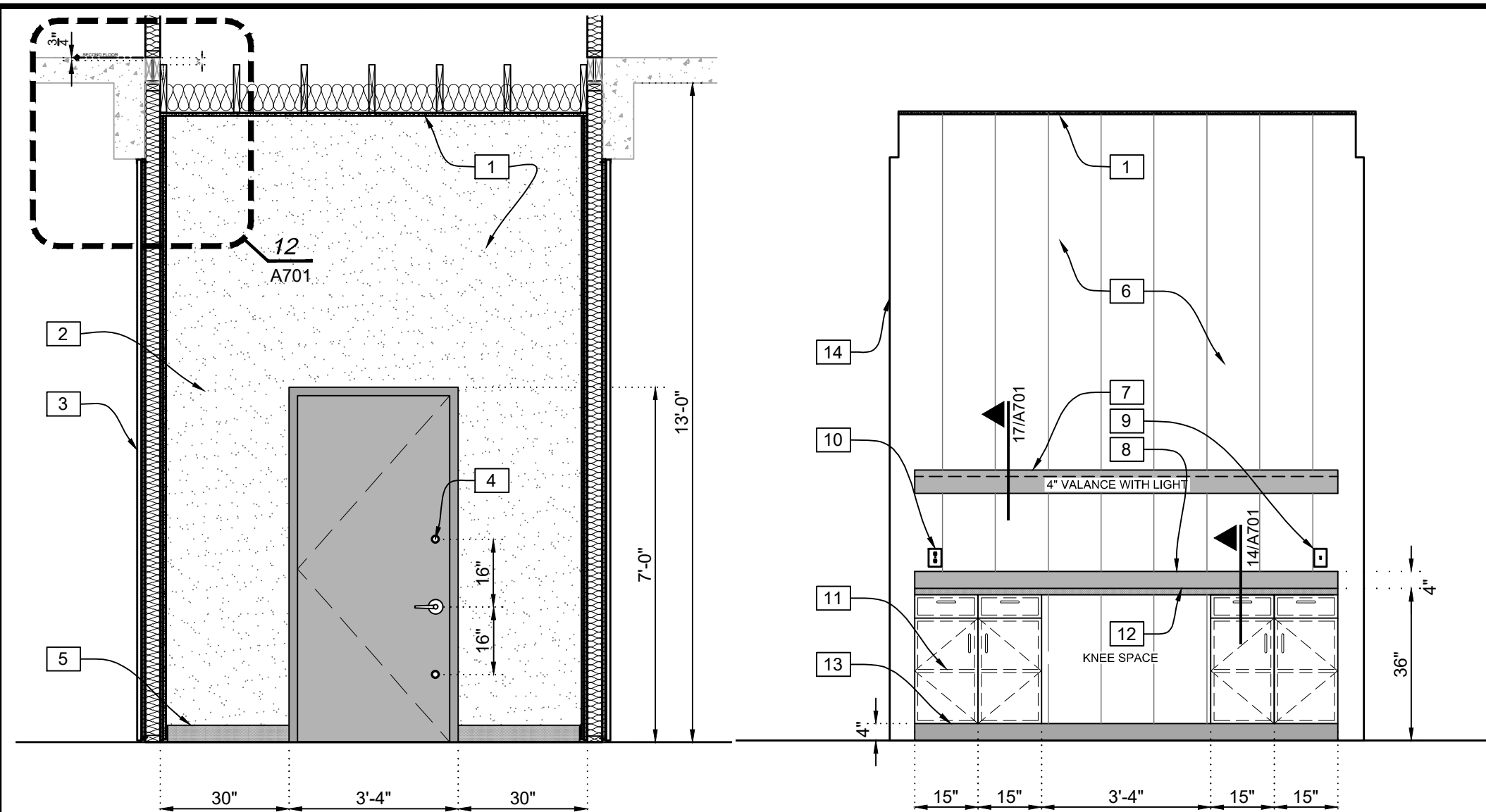


**RE-BID 2024 Building Renovations**  
**City of Alexandria SWAT Building**  
 1237 Texas Ave., Alexandria, Louisiana  
 City of Alexandria - Owner

|               |                  |
|---------------|------------------|
| WALL SECTIONS | DATE: REVISIONS: |
|               | DECEMBER 2024    |
|               | JOB NUMBER       |
|               | BC2024-01        |

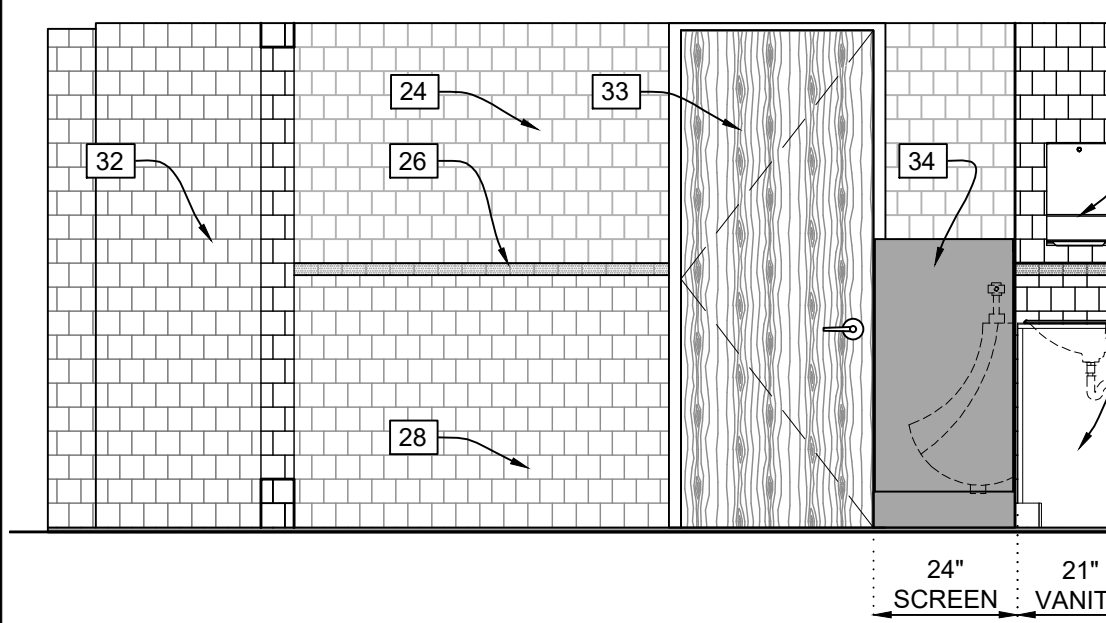
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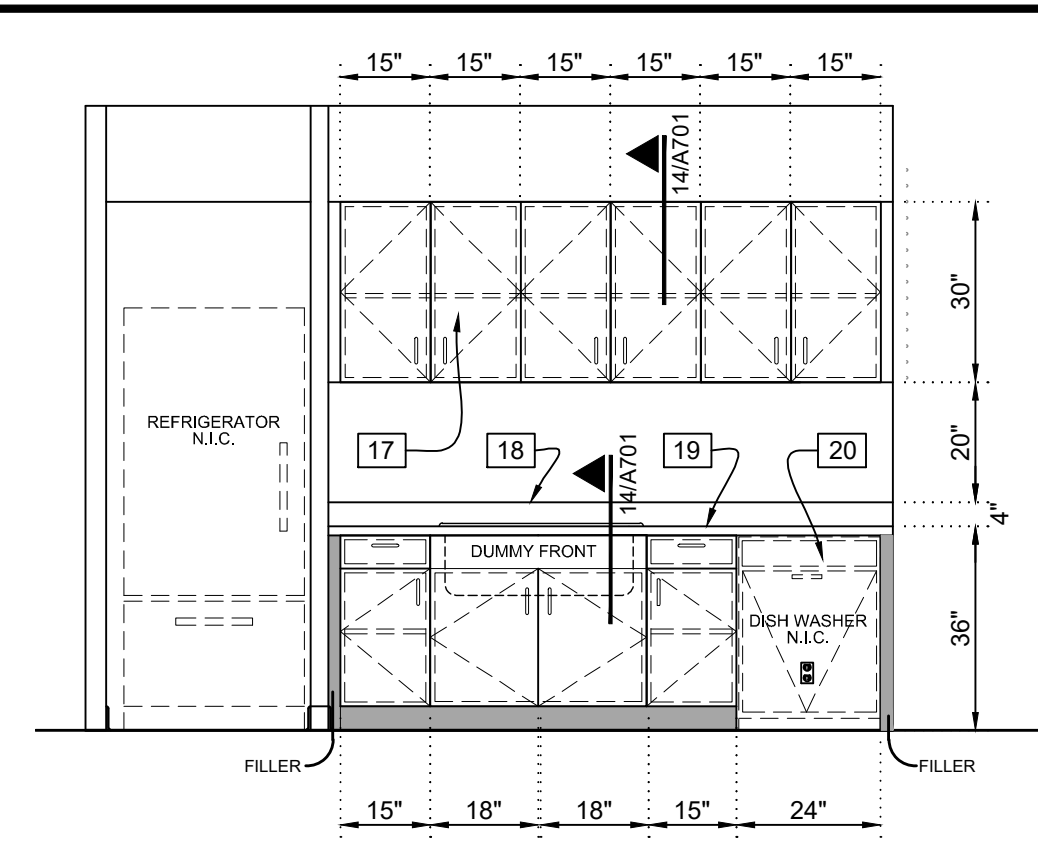
**1 Storage** Room 104  
SCALE 3/8" = 1'-0"

**2 Storage** Room 104  
SCALE 3/8" = 1'-0"



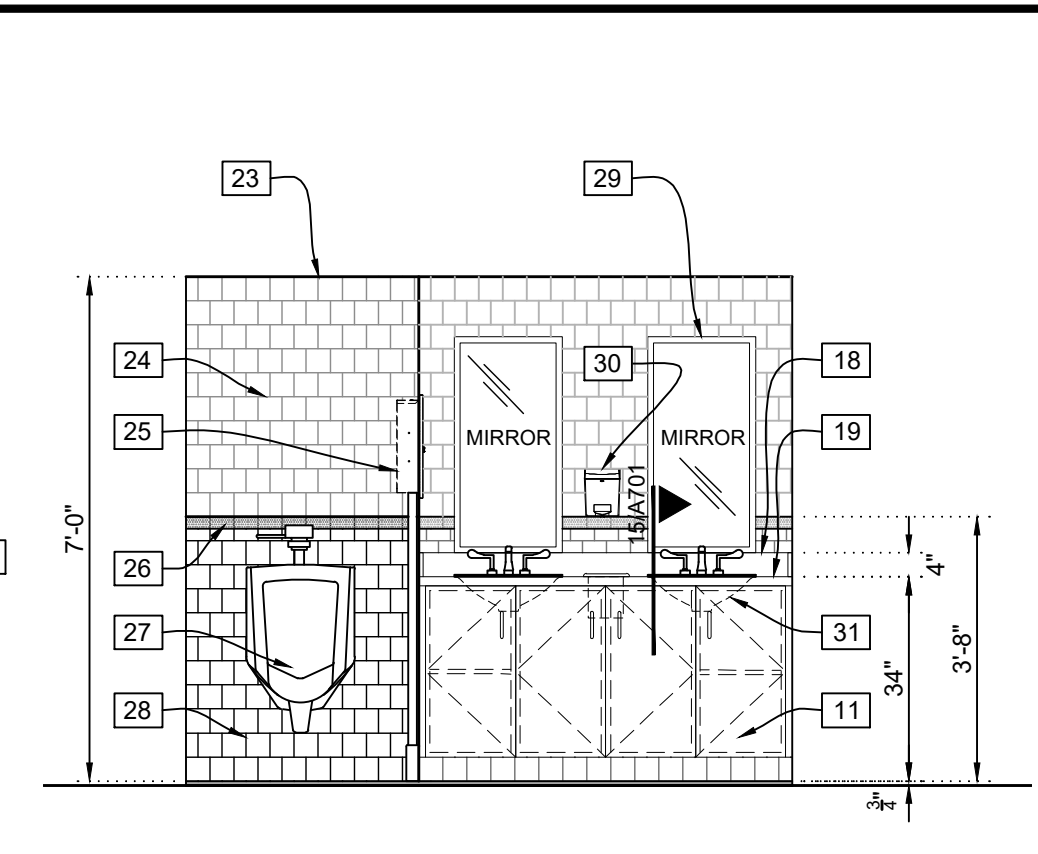
**6 Toilet** Room 204  
SCALE 3/8" = 1'-0"

**7 Toilet** Room 204  
SCALE 3/8" = 1'-0"

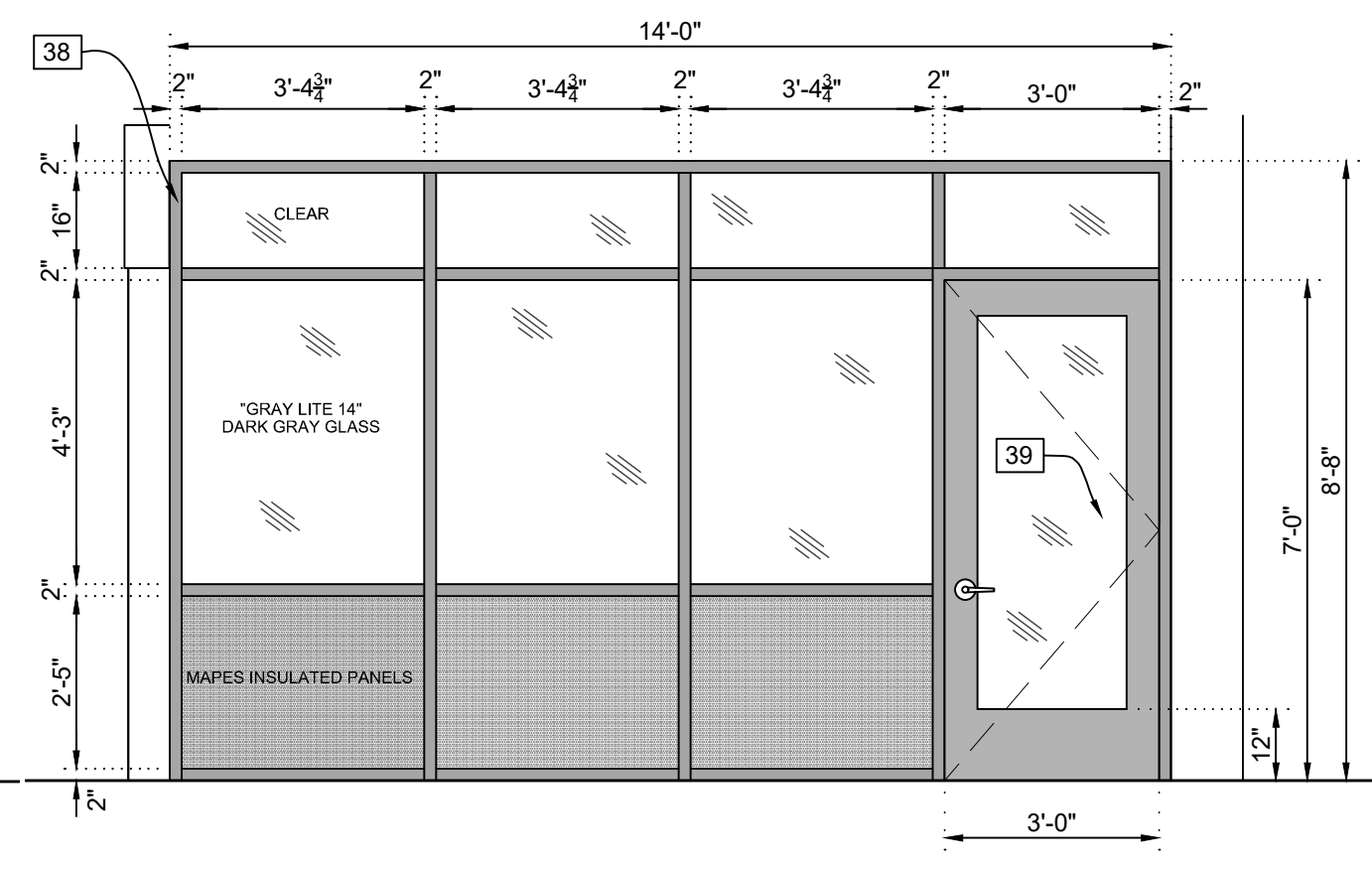


**3 Break Room** Room 210  
SCALE 3/8" = 1'-0"

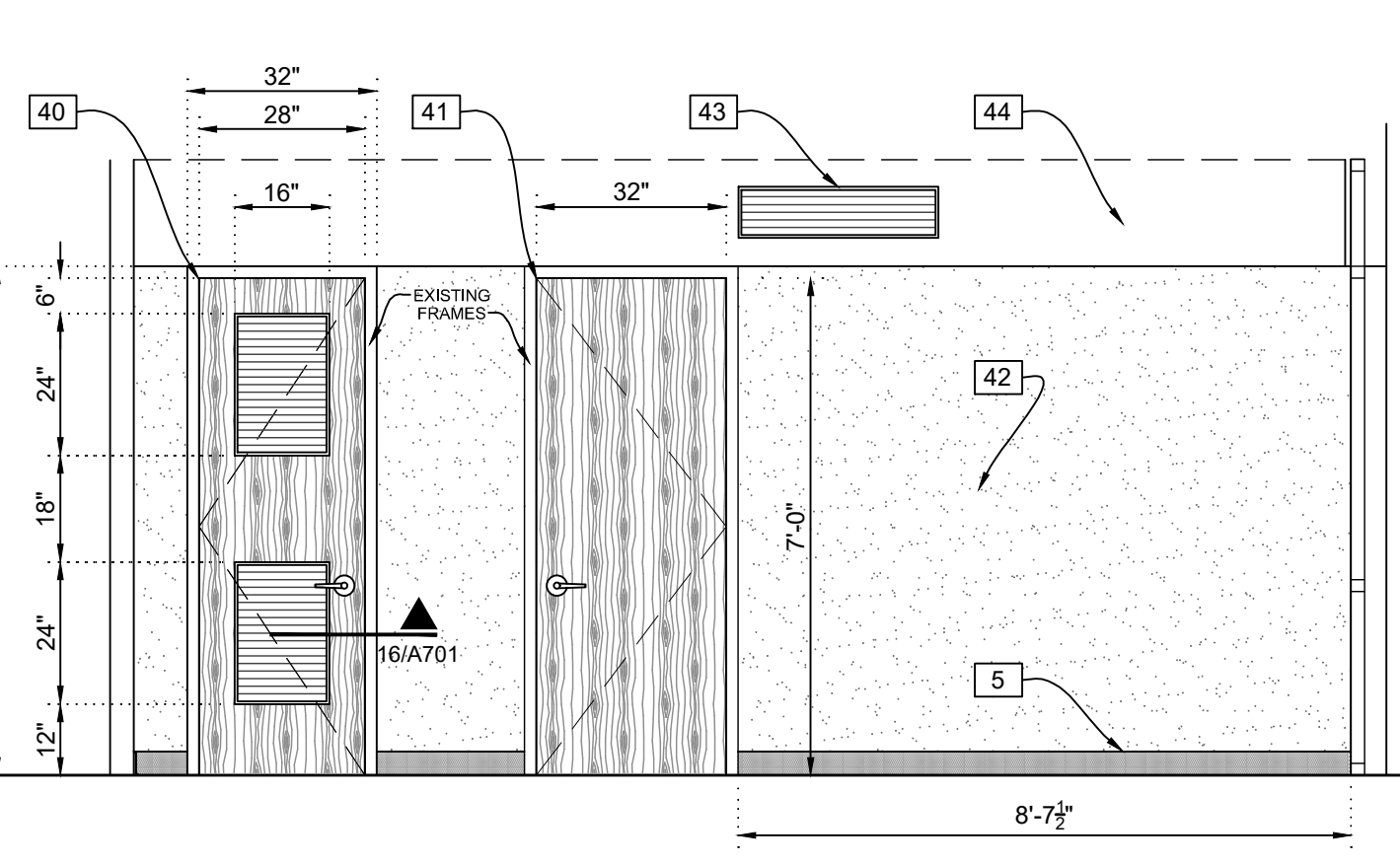
**4 Break Room Island**  
SCALE 3/8" = 1'-0"



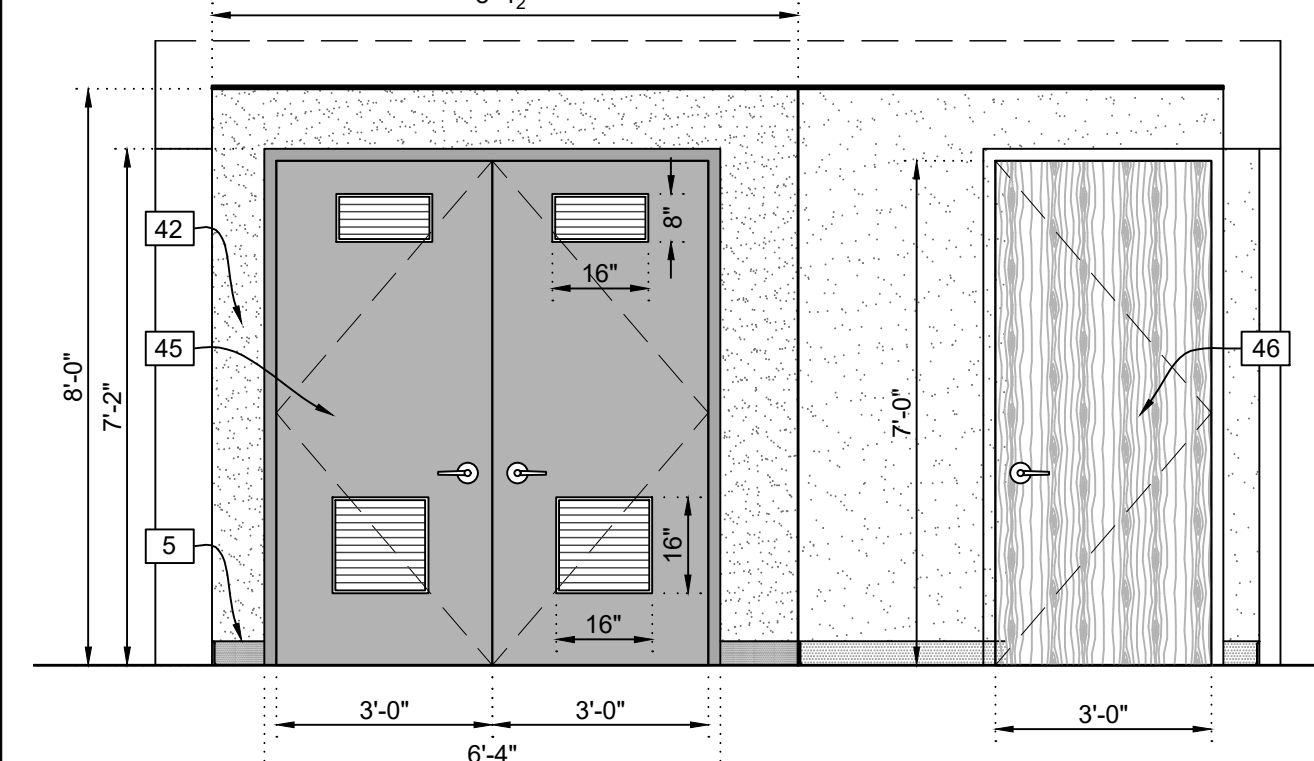
**5 Toilet** Room 204  
SCALE 3/8" = 1'-0"



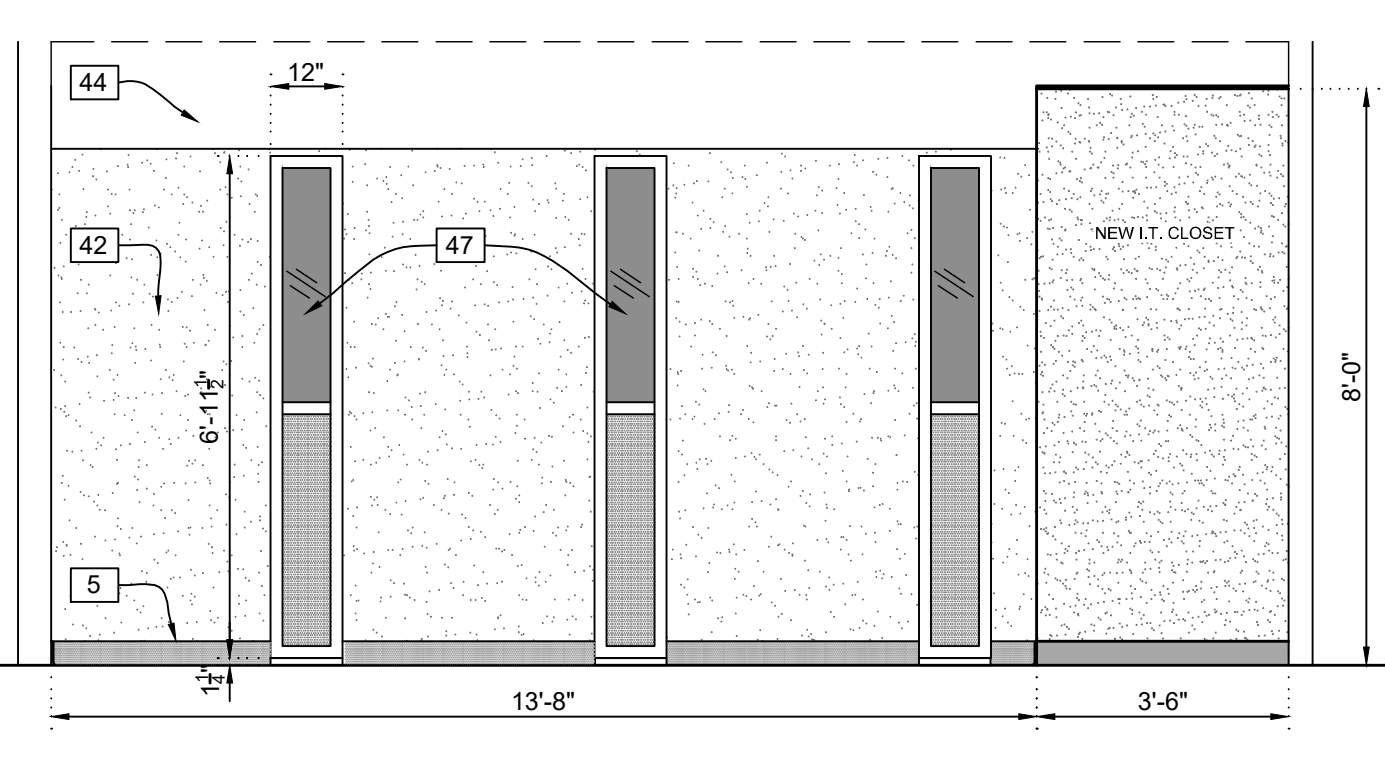
**8 Office** Room 206  
SCALE 3/8" = 1'-0"



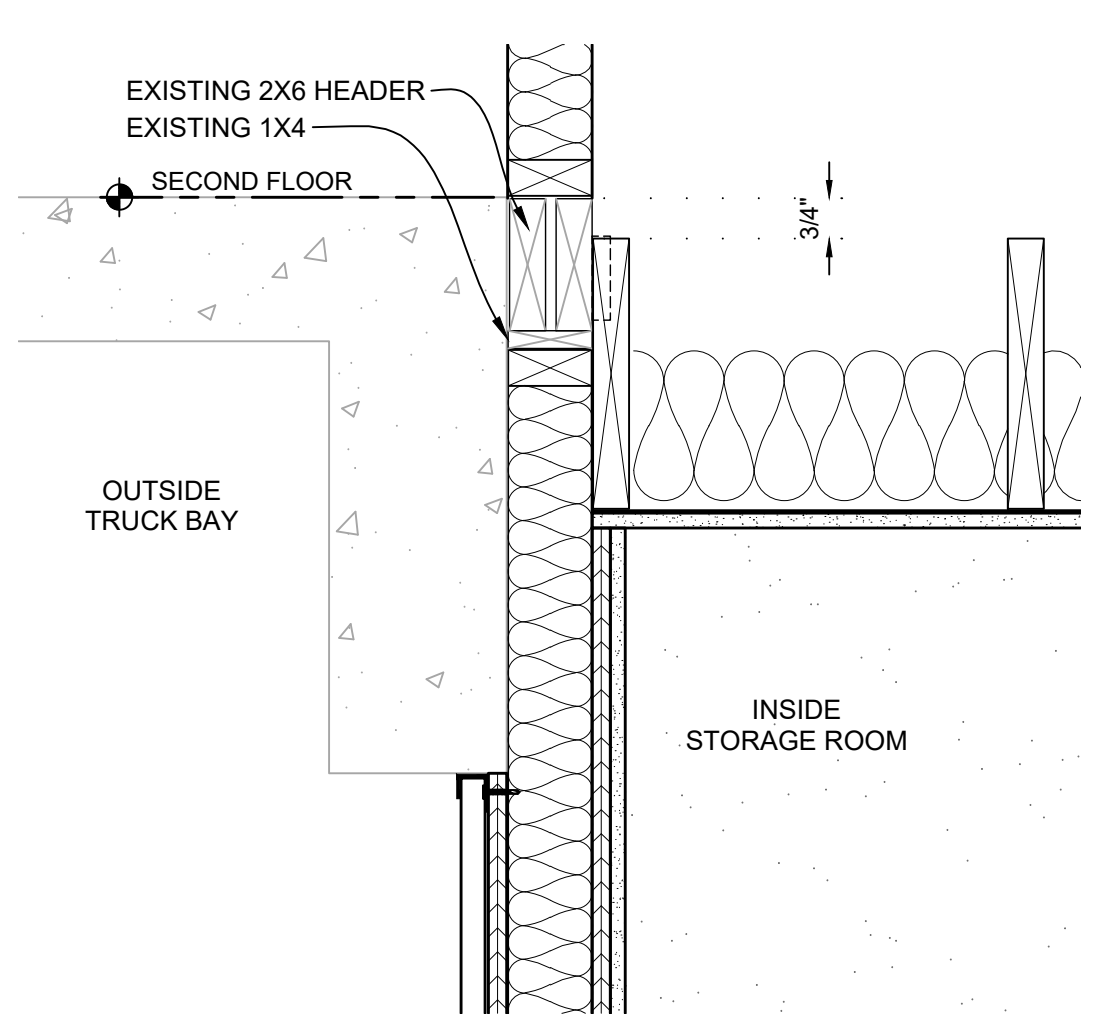
**9 Office** Room 206  
SCALE 3/8" = 1'-0"



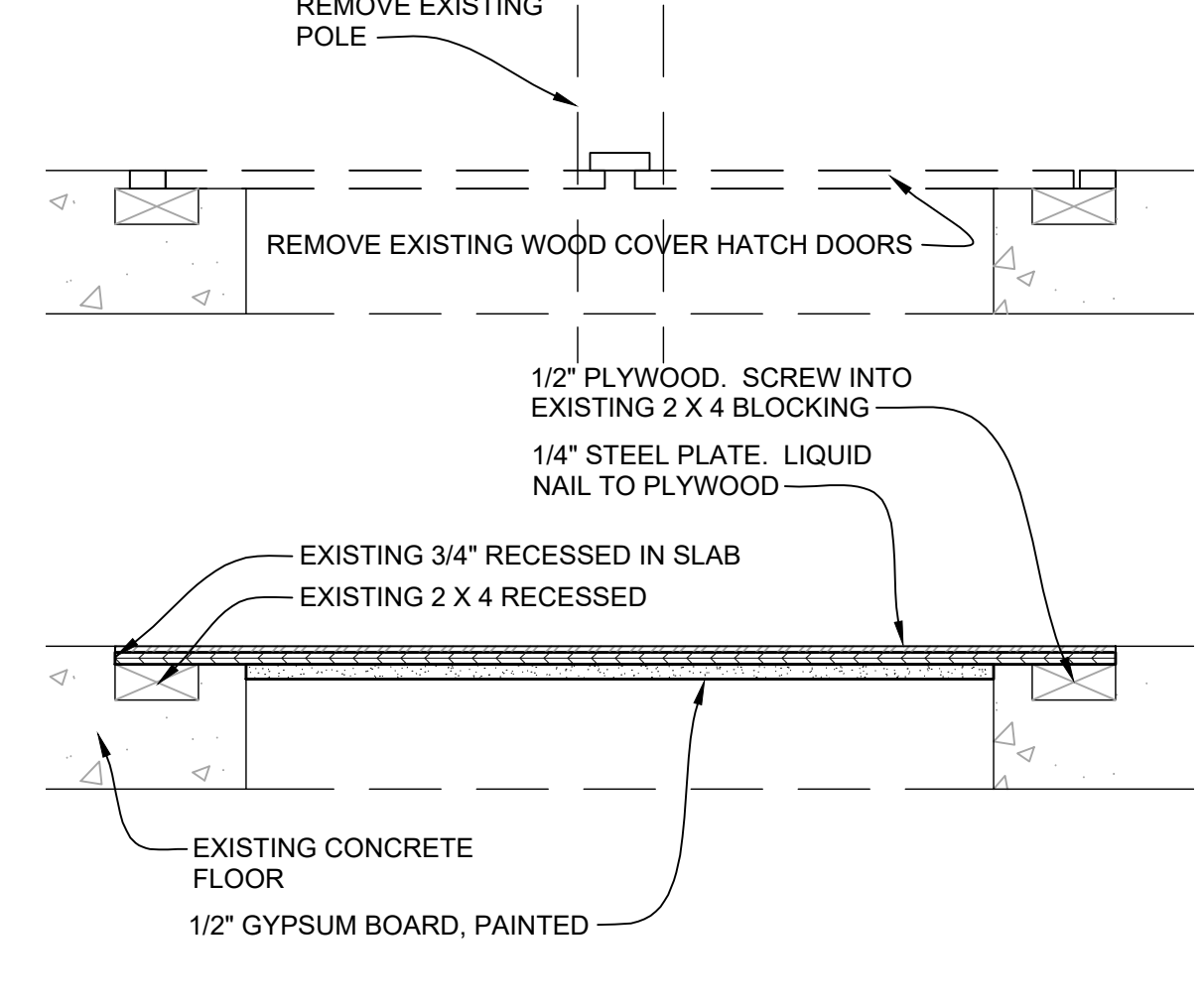
**10 Office** Room 206  
SCALE 3/8" = 1'-0"



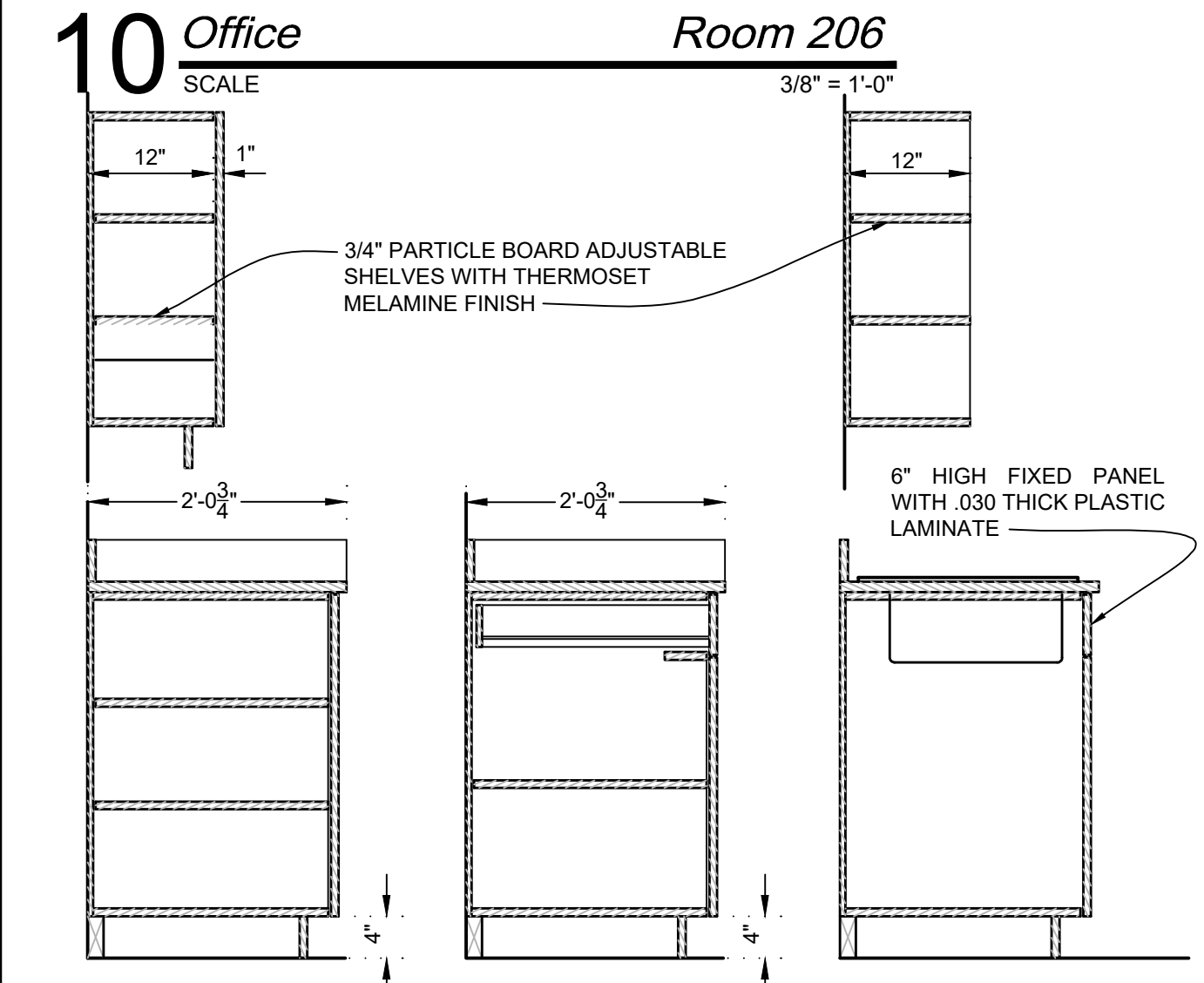
**11 Office** Room 206  
SCALE 3/8" = 1'-0"



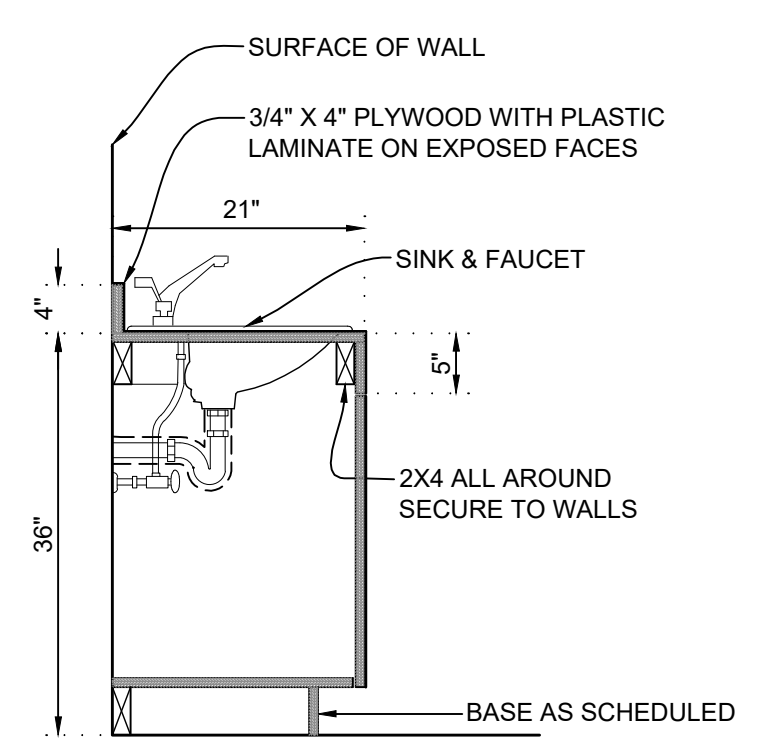
**12 Storage Rm. 104**  
SCALE 1 1/2" = 1'-0"



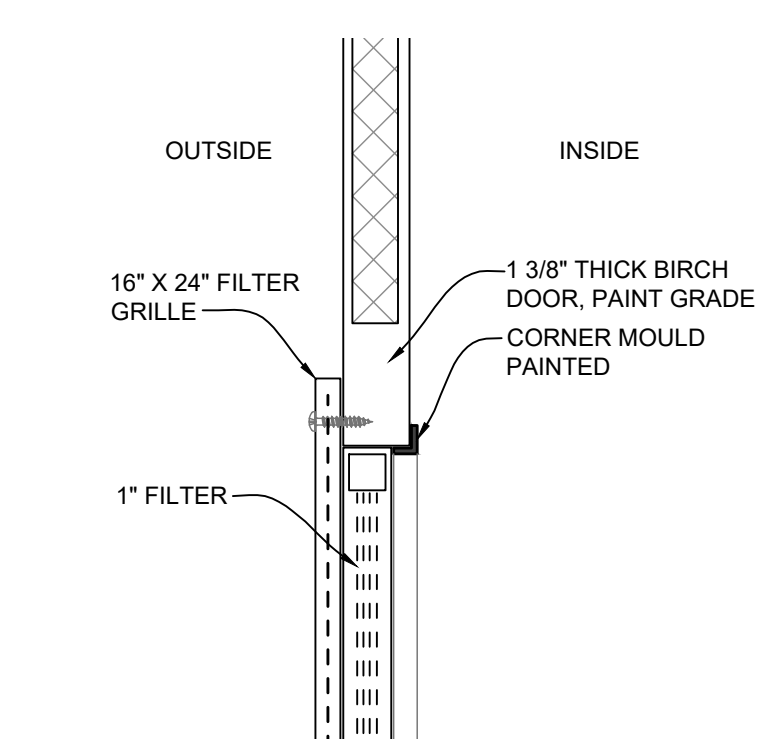
**13 Infill Existing Safety Hatch (Fire Pole)**  
SCALE 1 1/2" = 1'-0"



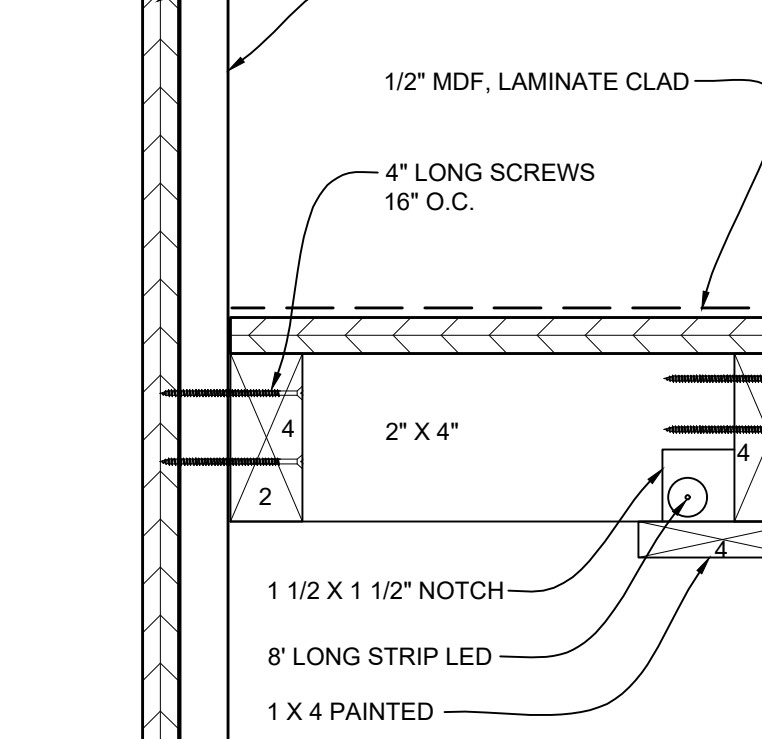
**14 Typical Cabinet Construction**  
SCALE 3/4" = 1'-0"



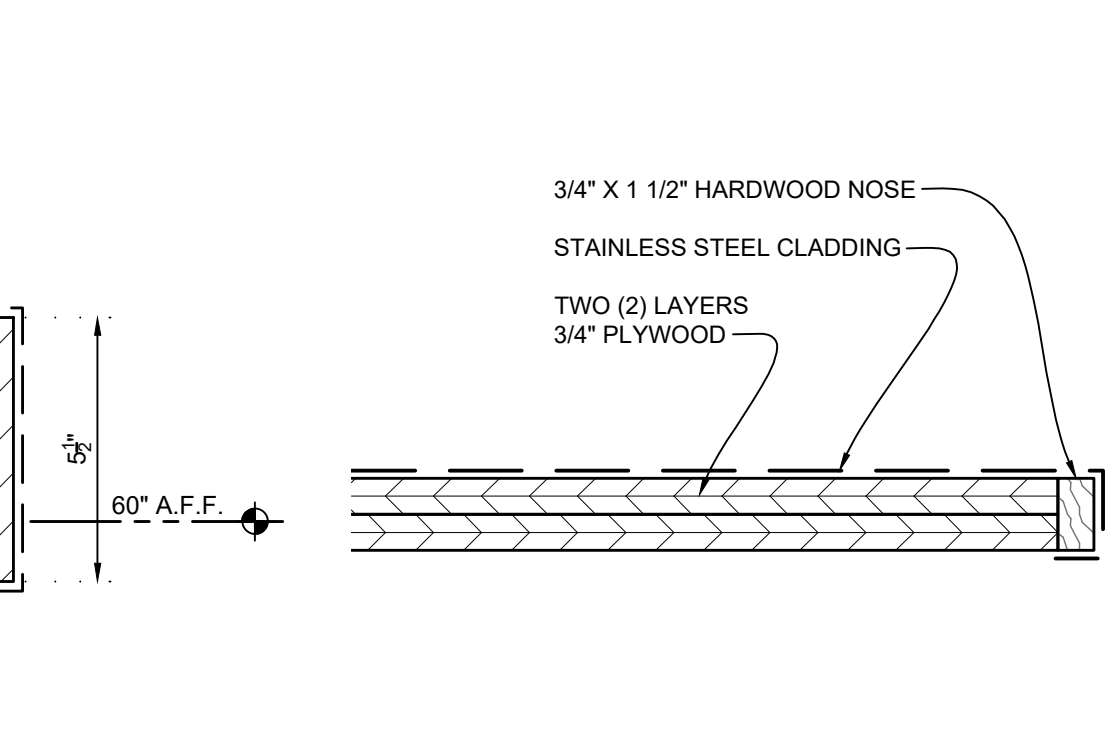
**15 Vanity Detail**  
SCALE 3/4" = 1'-0"



**16 HVAC Door Trim Detail**  
SCALE 3" = 1'-0"



**17 Shelf Detail**  
SCALE 3" = 1'-0"



**18 Counter Top Detail**  
SCALE 3" = 1'-0"

- KEY NOTES**
- NEW CEILING FRAMING: 2X12'S, 16" O.C. RECESS 3/4" BELOW SECOND FLOOR LINE. HANG JOISTS WITH JOIST HANGERS ON 2X12 STRINGERS. (RE: 12/A701)
  - FINISH INTERIOR OF STORE ROOM IN TYPE X GYP. BOARD, PAINTED
  - SECURE STORAGE REINFORCED WALL (RE: 12/A701)
  - HEAVY DUTY STEEL DOOR & FRAME: 14 GA. DOOR & FRAME. PROVIDE LOCKSET & TWO (2) DEADBOLTS, KEYPED OUTSIDE, THUMB TURN INSIDE
  - 4" RUBBER BASE AS SCHEDULED.
  - EXTERIOR OF SECURE STORAGE TO BE CLAD IN 26 GA. METAL PANELS (McElroy MARQUEE-LOK 12" PANEL WITH ONE (1) PENCIL RIB) 1" PANEL THICKNESS
  - PLASTIC LAMINATE CLAD SHELF WITH LIGHT VALANCE (RE: 15/A701)
  - 1X4 PAINTED BACK SPLASH, POPLAR
  - LIGHT SWITCH FOR SHELF LIGHT: 48" C OF SWITCH
  - DUPLEX RECEPTACLE, 48" C OF OUTLET
  - PLASTIC LAMINATE CLAD BASE CABINETS: CLAD ALL EXPOSED ENDS
  - COUNTER TOP: TWO (2) LAYERS 3/4" PLYWOOD CLAD IN 16 GA. TYPE 304 STAINLESS STEEL, INCLUDING NOSING (RE: 16/A701)
  - BASE FOR CABINETS: 2X4 GROUND CONTACT TREATED BASE FRAMING. PRIME & PAINT PRIOR TO INSTALLATION
  - FINISH OUTSIDE CORNERS OF METAL CLADDING IN 3", 26 GA. ANGLED TRIM. HEM BOTH SIDES. FASTEN WITH STAINLESS STEEL RIVETS
  - EXISTING ALCOVE WALLS FOR REFRIGERATOR TO REMAIN. PATCH & REFINISH.
  - PATCH & REPAIR WALLS WITH 1/2" GYP. BD.
  - 12" DEEP PLASTIC LAMINATE CLAD CABINETS: PROVIDE ONE (1) ADJUSTABLE MELAMINE CLAD SHELF. LAMINATE CLAD BOTTOM FACE
  - 1X4 PLASTIC LAMINATE CLAD BACK SPLASH
  - 1 1/2" THICK PLASTIC LAMINATE CLAD TOP
  - PROVIDE POWER, WATER, & DRAIN PATH FOR DISHWASHER (DISHWASHER N.I.C.)
  - CLAD ALL EXPOSED SURFACES INCLUDING BACK, SIDE, & ENDS
  - PROVIDE CLAD TOE KICK ON THREE (3) SIDES
  - NEW GYP. BOARD CEILINGS (WHITE)
  - TILE OVER GYP. BD. FROM EXISTING BULLNOSE TO CEILING, +/- 36" HIGH AROUND TOILET ROOM
  - PAPER TOWEL DISPENSER (RECESSED)
  - TILE OVER TILE EXISTING BULLNOSE.
  - NEW PLUMBING FIXTURES & TRIM
  - TILE OVER TILE (WALLS)
  - NEW 18 X 36" STAINLESS STEEL RIM MIRRORS
  - NEW SURFACE MOUNT SOAP DISPENSER
  - TWO (2) STAINLESS STEEL RIMMED LAVATORIES
  - EXISTING TILE SHOWER: TILE OVER TILE APPLICATION. (RE-TILE WALLS AND CEILING)
  - NEW PAINT GRADE BIRCH SOLID CORE DOOR IN EXISTING FRAME, NEW HARDWARE.
  - NEW STAINLESS STEEL URINAL SCREEN, 48" H. WALL BRACED, FLOOR MOUNT
  - NEW STAINLESS STEEL TOILET PARTITIONS
  - PROVIDE NEW STAINLESS STEEL SHOWER ROD & COMMERCIAL GRADE CURTAIN ON STAINLESS STEEL HANGERS
  - PROVIDE NEW SHOWER CONTROLS, (DELTA OR EQUAL) SINGLE KNOB WATER CONTROL AND RAIN SHOWER HEAD
  - NEW BALCONY OPENING: 2 X 4 1/2 STOREFRONT FRAMING WITH INSULATED GLAZING. SET IN FULL SUB-SILLS
  - NEW WIDE STILE DOORS: PROVIDE CYLINDER LOCK SETS, THRESHOLDS, WEATHER STRIPPING. DOOR STOPS ON EXTERIOR, PAIR 1/2 HINGES
  - NEW PAINT GRADE SOLID CORE BIRCH VENEER WOOD DOOR WITH TWO (2) 16 X 24" FILTER GRILLES IN DOOR (RE:16/A701). DOOR PREPARED FOR EXISTING WOOD FRAME
  - PAINT GRADE, SOLID CORE, BIRCH VENEER WOOD DOOR. PREP FOR EXISTING WOOD FRAME
  - RE-SKIN WALLS IN 1/2" GYP. BOARD. TAPE, FLOAT, & FINISH
  - REMOVE EXISTING HVAC GRILLES. STEAM & CHEMICAL CLEAN. CLEAN DUCTWORK PRIOR TO HVAC REINSTALLATION
  - PATCH AND REPAIR CONCRETE FINISH. REPAIR BEAMS
  - I.T. DOORS: NEW HOLLOW METAL DOORS & FRAME. PROVIDE LOUVERS, AS SHOWN. PAINT DOOR & FRAME
  - NEW SOLID CORE, BIRCH VENEER DOOR IN NEW HOLLOW METAL FRAME. PAINT
  - NEW STOREFRONT FRAMING WITH DARK GRAY GLASS OVER MAPES PANELS (GRAY LITE #14)
  - CHEMICAL & STEAM CLEAN EXISTING TILE FLOORS. RE-GROUT VOID SPACES. CHECK SHOWER DRAIN & CONNECTIONS FROM ROOM BELOW, PRIOR TO NEW



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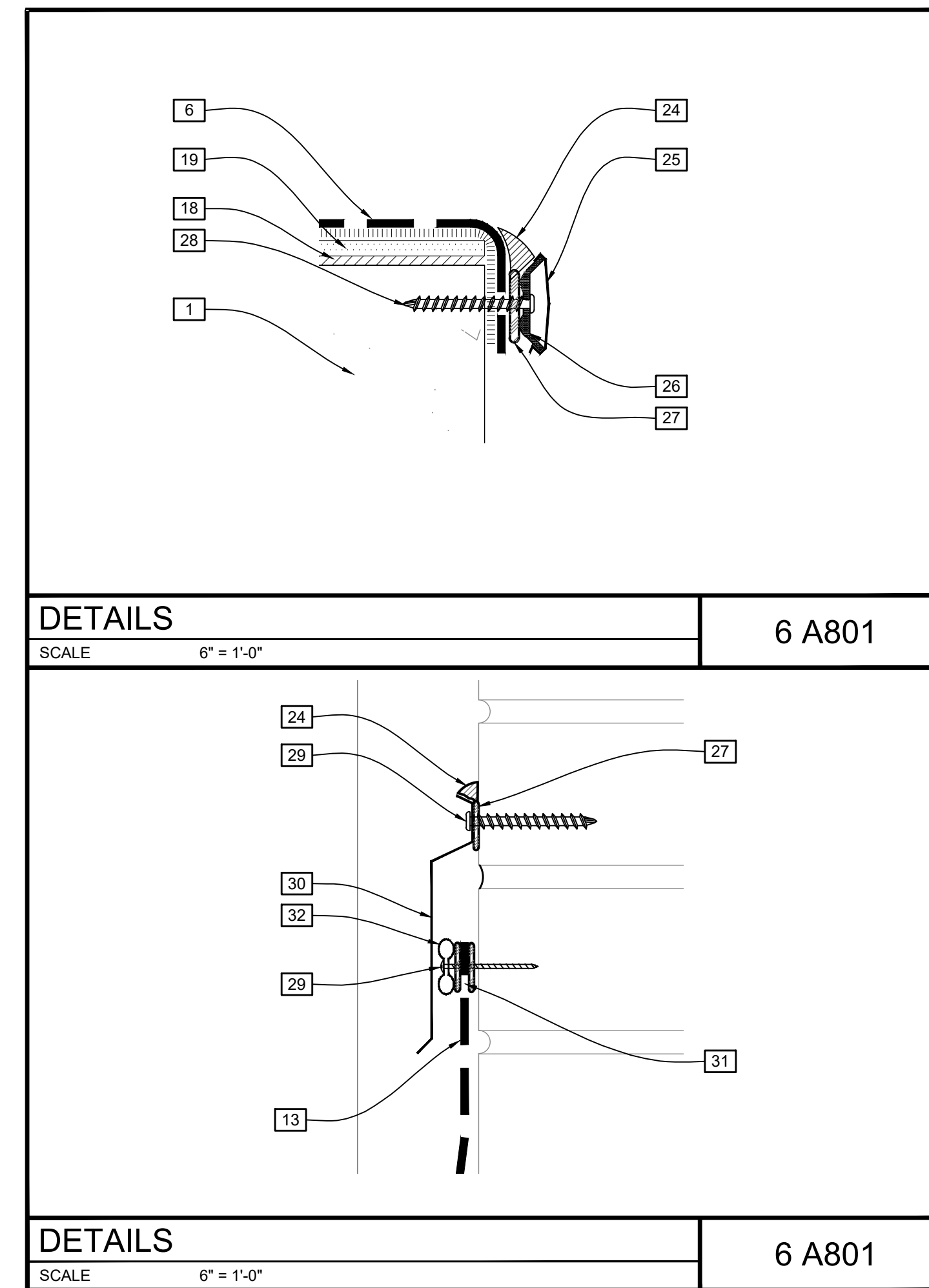
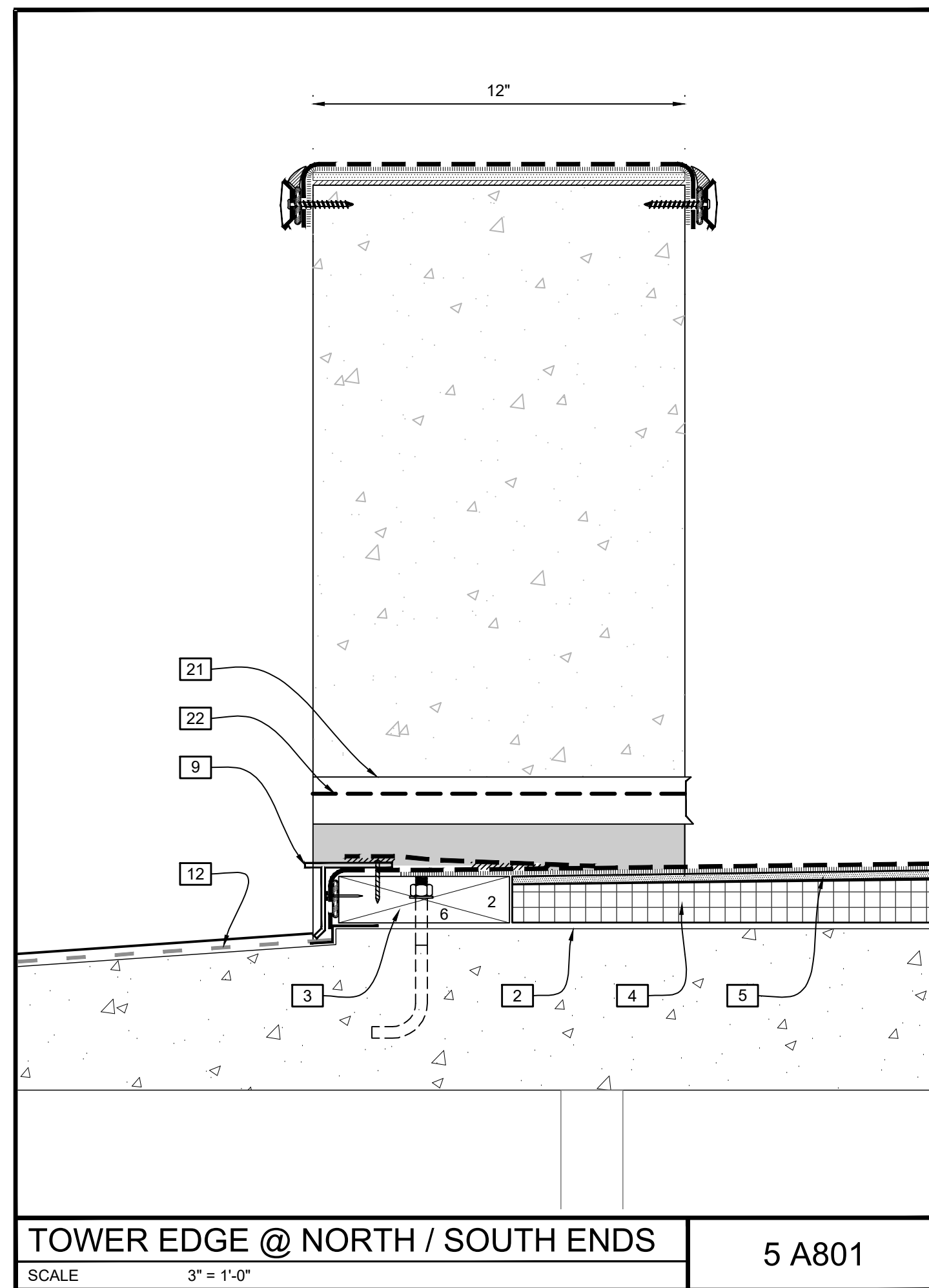
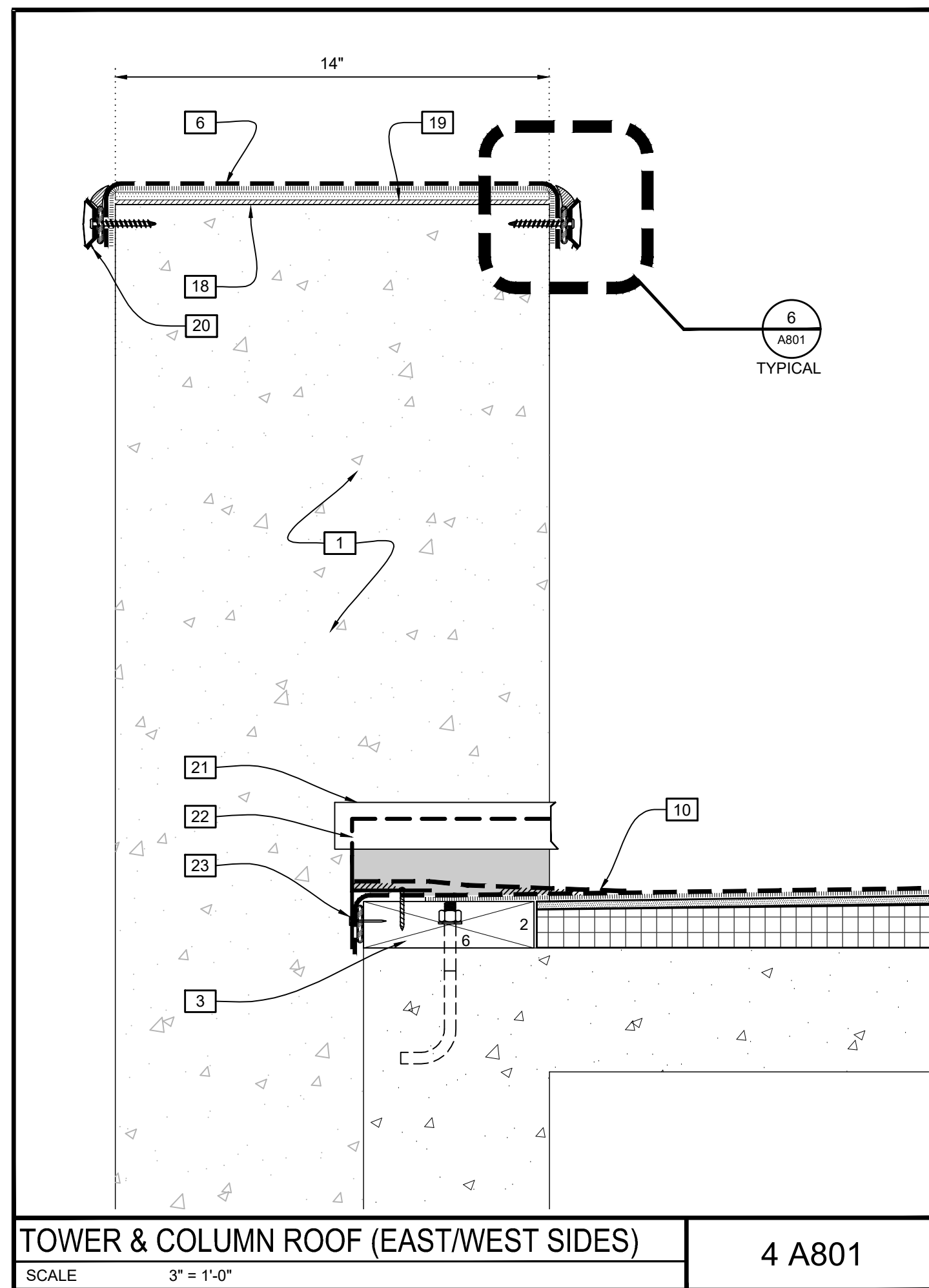
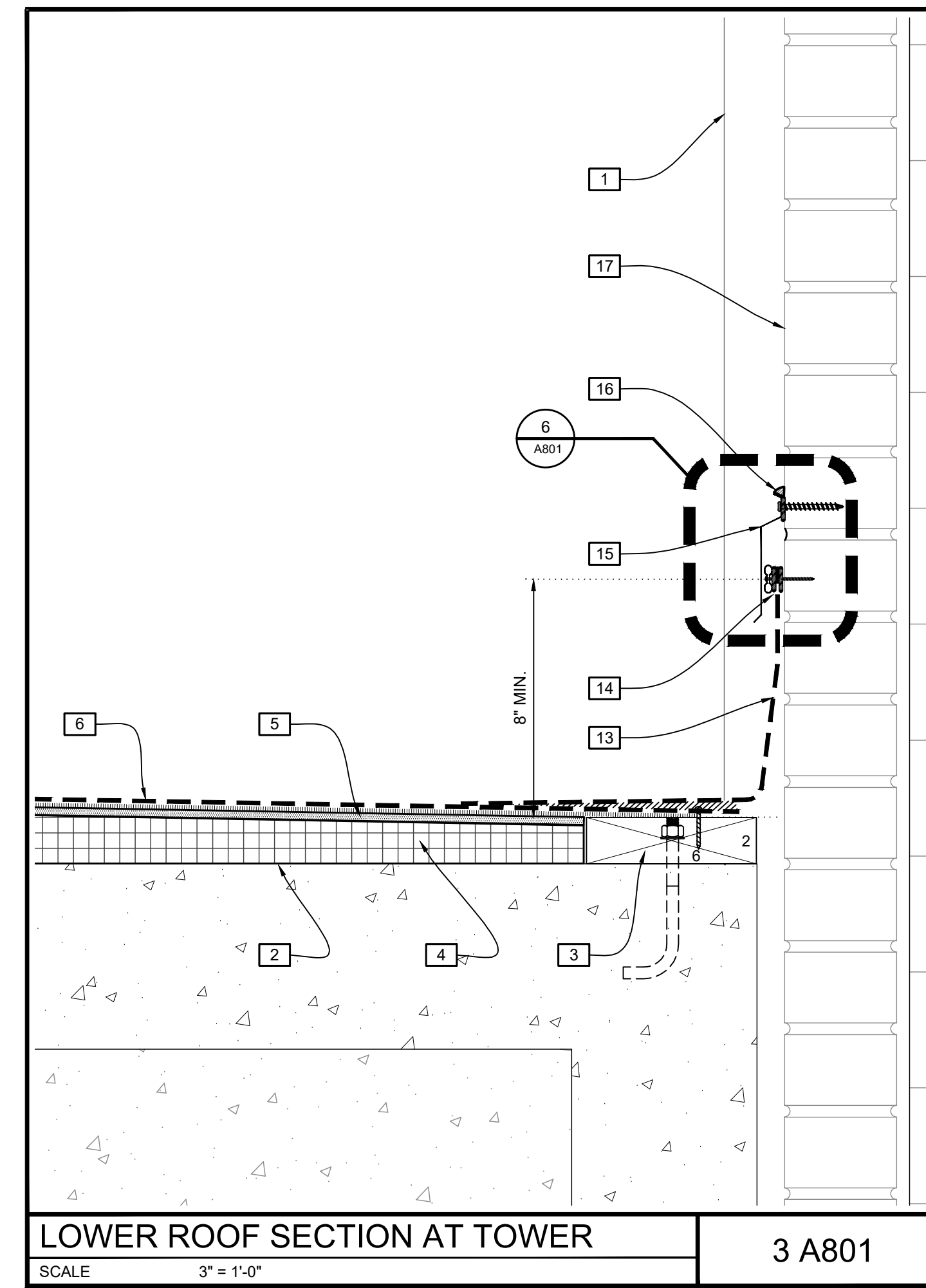
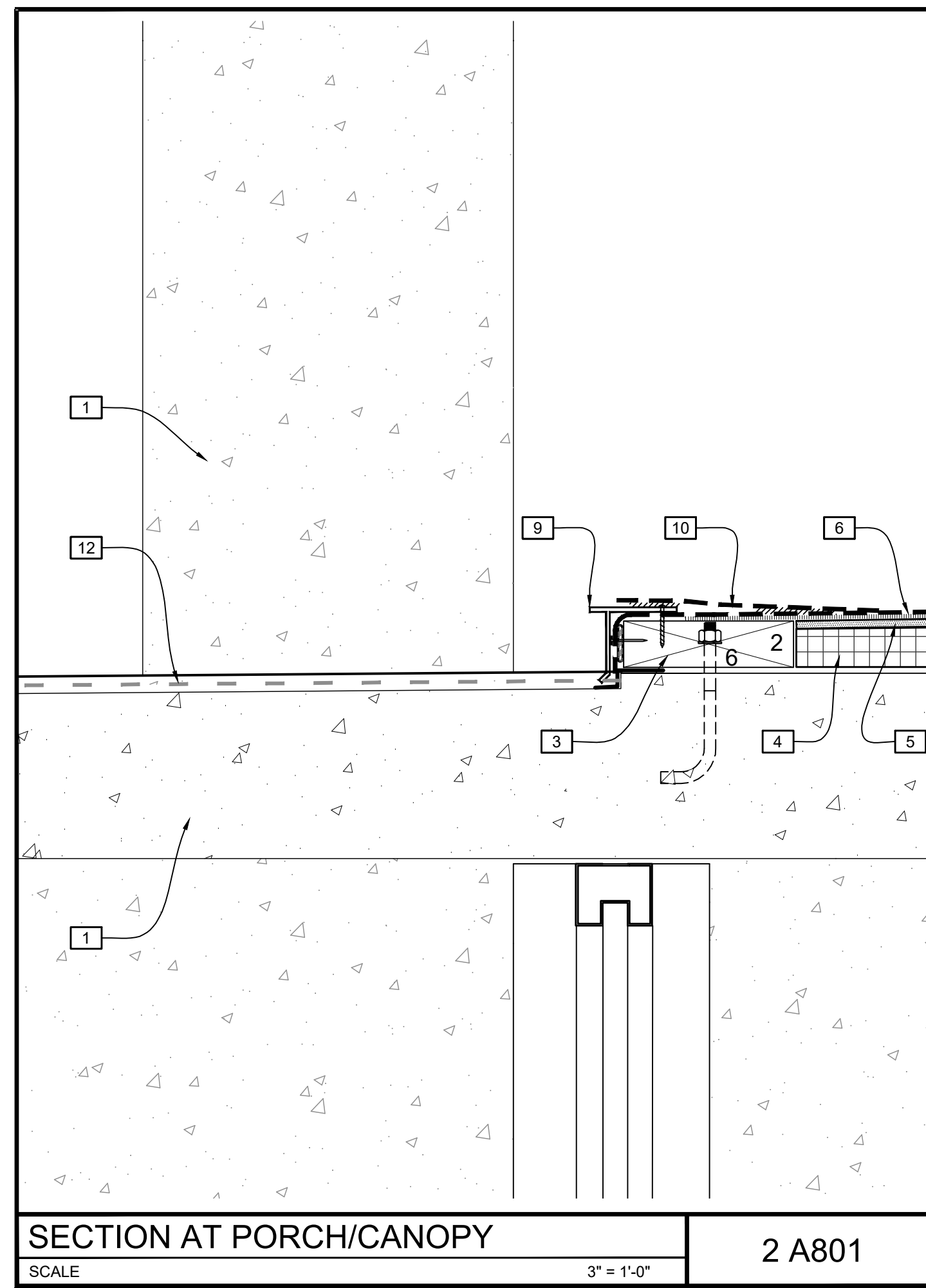
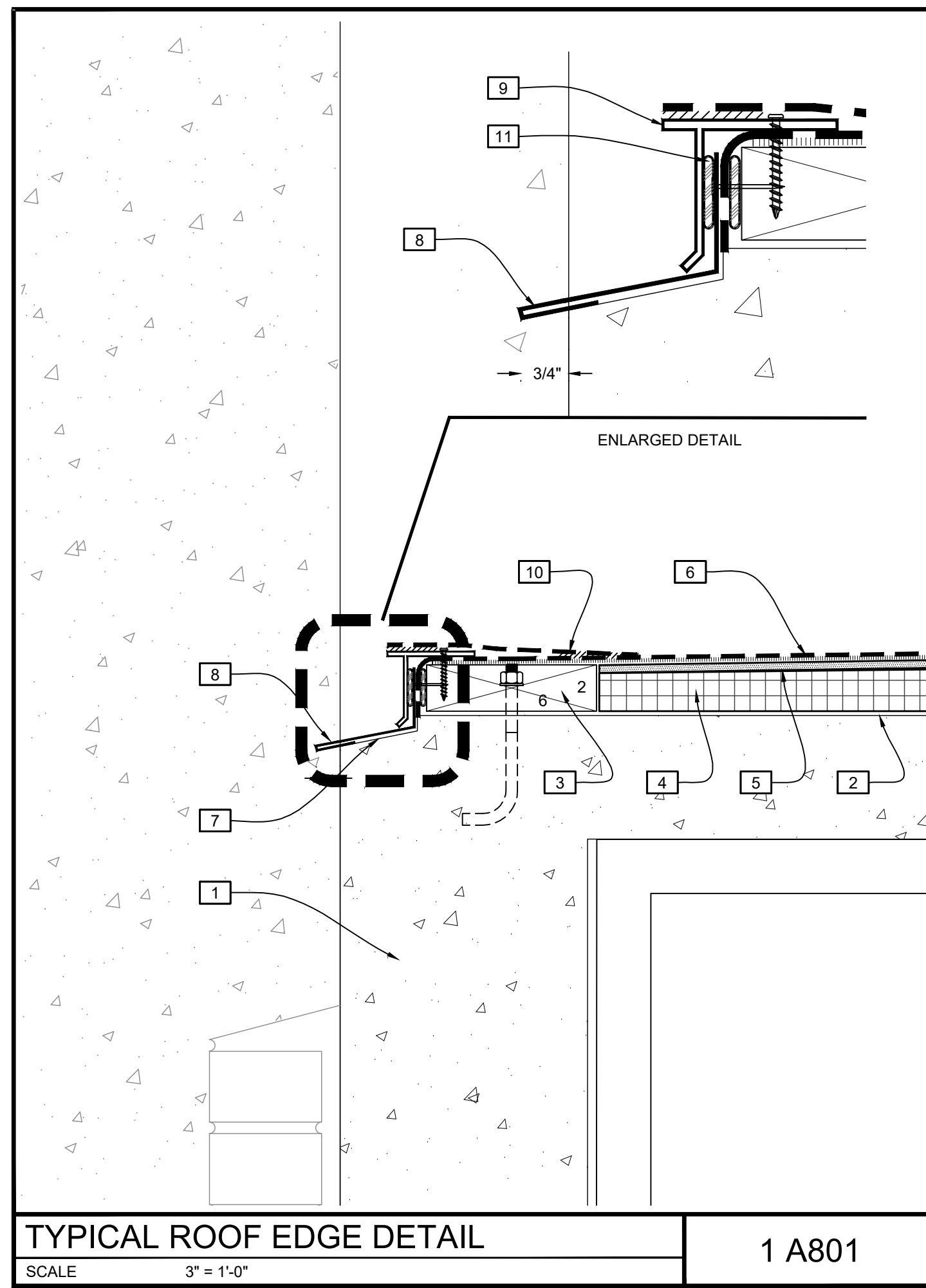
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**City of Alexandria SWAT Building**  
City of Alexandria - Owner  
1237 Texas Ave., Alexandria, Louisiana

**INTERIOR ELEVATIONS & DETAILS**

|               |            |
|---------------|------------|
| DATE          | REVISIONS: |
| DECEMBER 2024 |            |
| JOB NUMBER    |            |
| BC2024-01     |            |

**A701**  
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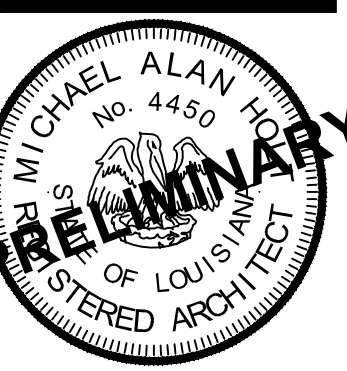




- KEY NOTES**
- 1 EXISTING CONCRETE FRAME & COLUMNS: CLEAN, REPAIR, & RECOAT
  - 2 EXISTING CONCRETE ROOF DECK: AFTER EXISTING ROOF REMOVAL TO DECK, ALLOW CONCRETE TO DRY PRIOR TO NEW ROOF INSTALLATION
  - 3 PROVIDE NEW 2x6 MATERIAL BOLTED TO EXISTING ANCHORS. PROVIDE NEW NUTS & WASHERS
  - 4 1.5 LB. EPS INSULATION TAPERED. GLUE DOWN TO EXISTING CONCRETE. STARTING THICKNESS 1 1/4"
  - 5 1/4" DENSDECK: GLUE TO EPS. STAGGER JOINTS
  - 6 50 MIL. FLEECE BACK PVC: FOAM ADHESIVE, SPLATTER PATTERN. FULLY ADHERE TO DENSDECK
  - 7 POWER WIRE BRUSH CLEAN CONCRETE LEDGE AROUND PERIMETER, THEN COAT WITH ELASTOMERIC COATING PRIOR TO ALUMINUM TRIM INSTALL
  - 8 PROVIDE MINIMUM .062" ALUMINUM BREAK METAL TRIM. EXTEND 3/4" BEYOND CONCRETE EDGE
  - 9 SOLID PVC TEE EDGE WITH FACTORY WELDED SKIRT. FASTEN TO BLOCKING 6" O.C. WITH SCREWS. No. 8 x 1 1/4"
  - 10 WELD SKIRT TO ROOF SHEET 12" OUT FROM EDGE
  - 11 PROVIDE 3/4" WIDE BUTYL TAPE SEAL AS SHOWN ON BOTH SIDES OF PVC MEMBRANE
  - 12 AT ALL CANOPY ROOF EXTENSIONS, CLEAN EXISTING CONCRETE & DRY THOROUGHLY. PRIME & COAT WITH TWO (2) COATS OF ELASTOMERIC COATING (WHITE)
  - 13 50 MIL. ROOF TO WALL FLASHING: HEAT WELD TO ROOF SHEET. PRE-FORM CORNERS AROUND CONCRETE COLUMNS AT TOWER EDGES
  - 14 TERMINATE WALL FLASHING A MINIMUM OF 8" ABOVE LOW ROOF. USE TERMINATION BAR & SEALANT (RE: 3/A801)
  - 15 24 GA. GALVANIZED ALUMINUM BREAK METAL COUNTER FLASHING 4" HIGH WITH SEALANT TOP LIP (RE: 3/A801)
  - 16 CONTINUOUS BEAD OF SEALANT
  - 17 CLEAN & SEAL BRICK MASONRY
  - 18 CLEAN, DRY, & SEAL TOPS OF ALL CONCRETE COLUMNS WITH ELASTOMERIC COATING
  - 19 FOAM ADHESIVE ADHERE DENSDECK TO TOP OF EACH COLUMN
  - 20 TRIM COLUMN OUT IN 1 3/4" FASCIA BAR WITH COATED METAL CAP. TYPICAL (RE: 6/A801)
  - 21 3" HIGH, .062" ALUMINUM COUNTER FLASHING TRIM WITH CAULK BEAD TOP LIP. FASTEN TO CONCRETE 6" O.C. WITH STAINLESS STEEL FASTENERS
  - 22 50 MIL. FLEECE BACK ROOF/WALL FLASHING. FOAM ADHESIVE TO CONCRETE. 4" HIGH. HEAT WELD TO ROOF SHEET. CAULK TOP EDGE OF MEMBRANE PRIOR TO COUNTER FLASHING
  - 23 SOLID PVC GRAVEL STOP EDGE TRIM WITH FACTORY WELDED PVC SKIRT. FASTEN TO BLOCKING 6" O.C. WITH STAINLESS STEEL SCREWS
  - 24 FILL TOP EDGE WITH MANUFACTURER'S CAULK BEAD, CONTINUOUS
  - 25 KYNAR COATED 1 3/4" METAL CAP TRIM BY MANUFACTURER
  - 26 SOLID VINYL TERMINATION BAR. FASTEN 6" O.C.
  - 27 CONTINUOUS BUTYL TAPE SEALANT
  - 28 PRE-DRILL CONCRETE THEN FASTEN TERMINATION BAR WITH STAINLESS STEEL CONCRETE SCREWS, 6" O.C.
  - 27 SIMILAR TO NOTE 28 EXCEPT BRICK MASONRY
  - 30 24 GA. GALVALUME BREAK METAL COUNTER FLASHING, 4" HIGH, WITH TOP EDGE CAULK BEAD. FORM TO COVER TERMINATION
  - 31 SANDWICH PVC FLASHING BETWEEN TWO (2) BEADS OF BUTYL TAPE
  - 32 SOLID PVC TERMINATION BAR. FASTEN 6" O.C.
  - 33 3/8" STAINLESS STEEL BAND SET IN MASTIC MEMBRANE FLASHING SET IN BUTYL TAPE SEAL. SEAL TOP EDGE IN MFG. SEALANT



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**COLUMN/ROOF DETAILS**

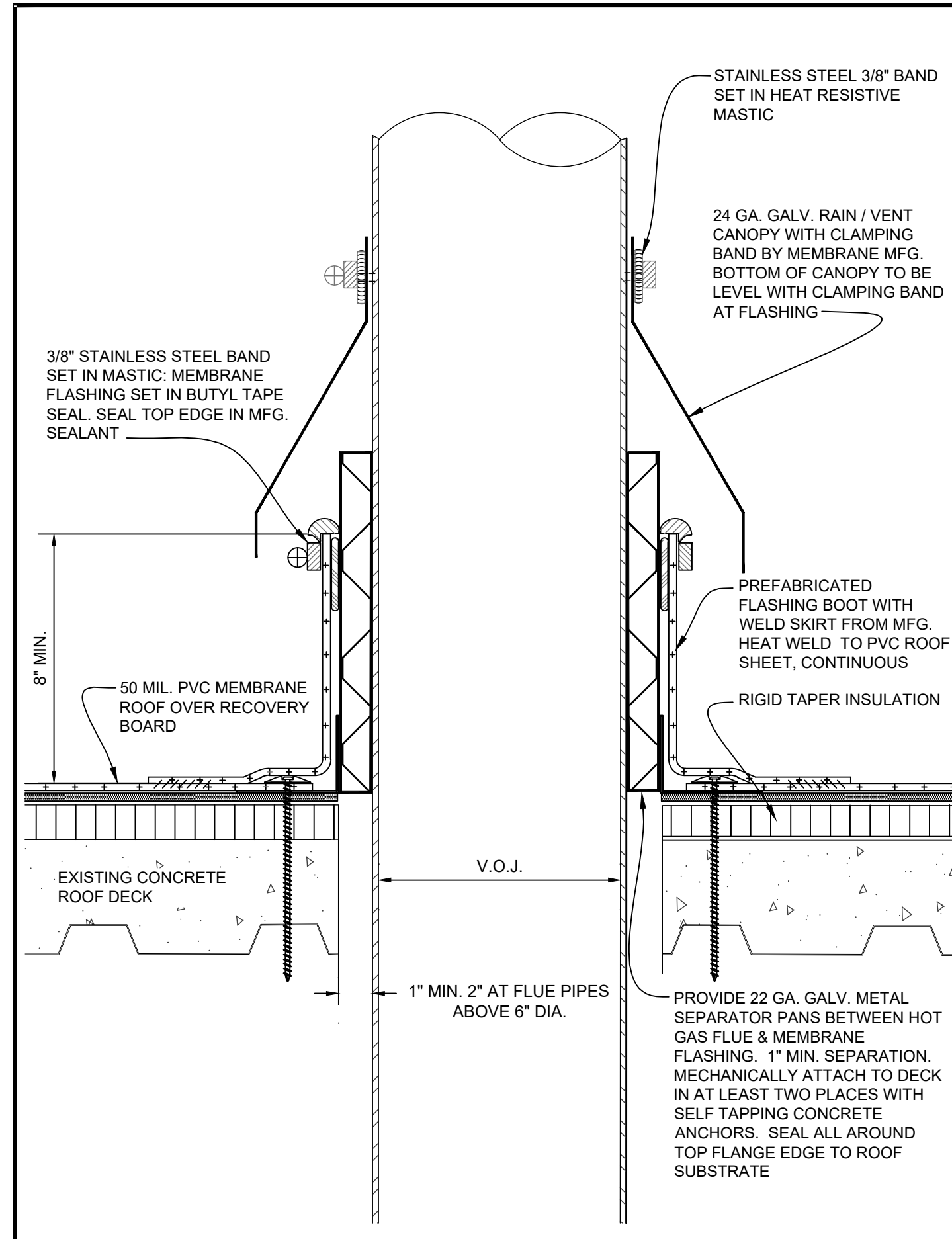
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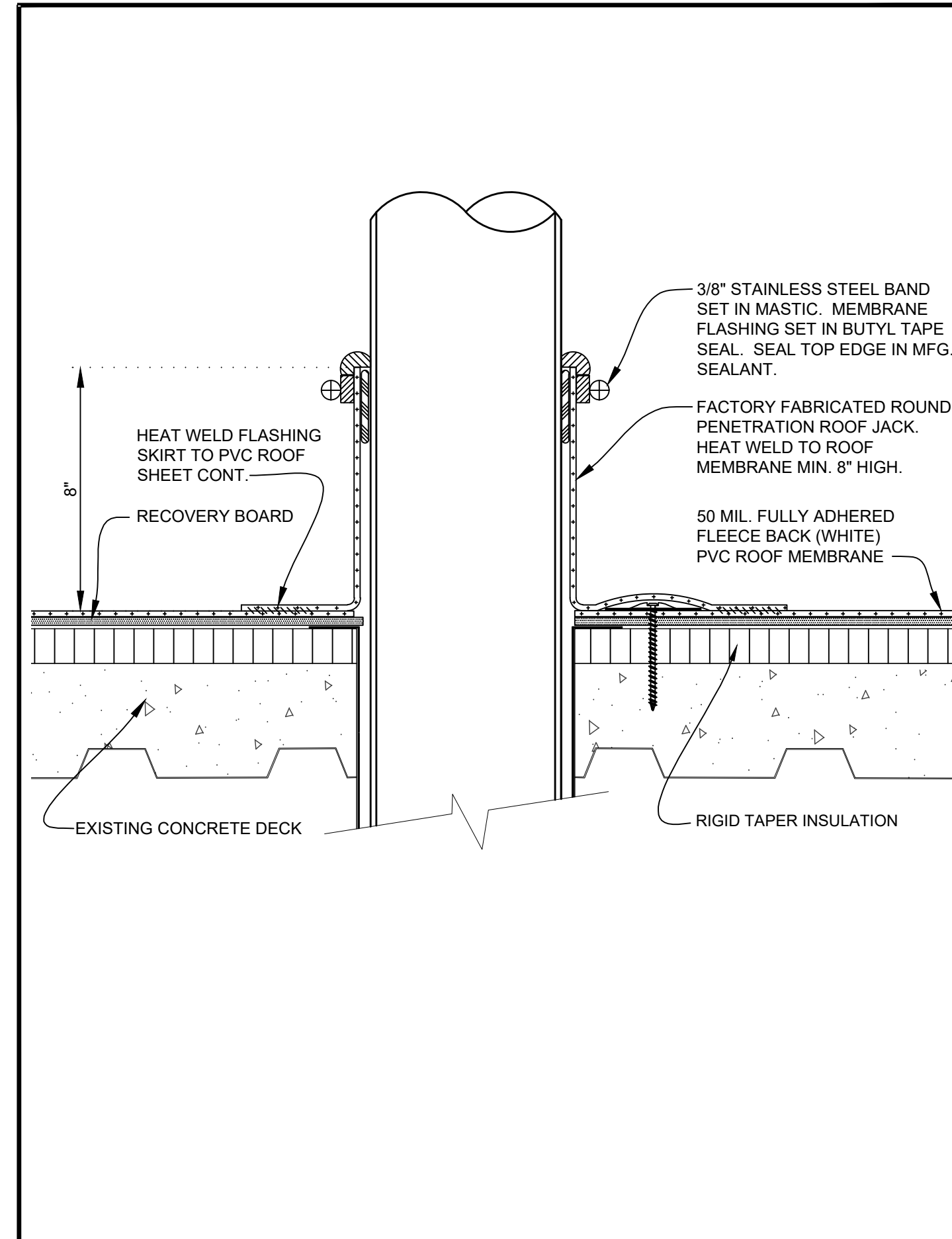
**A801**

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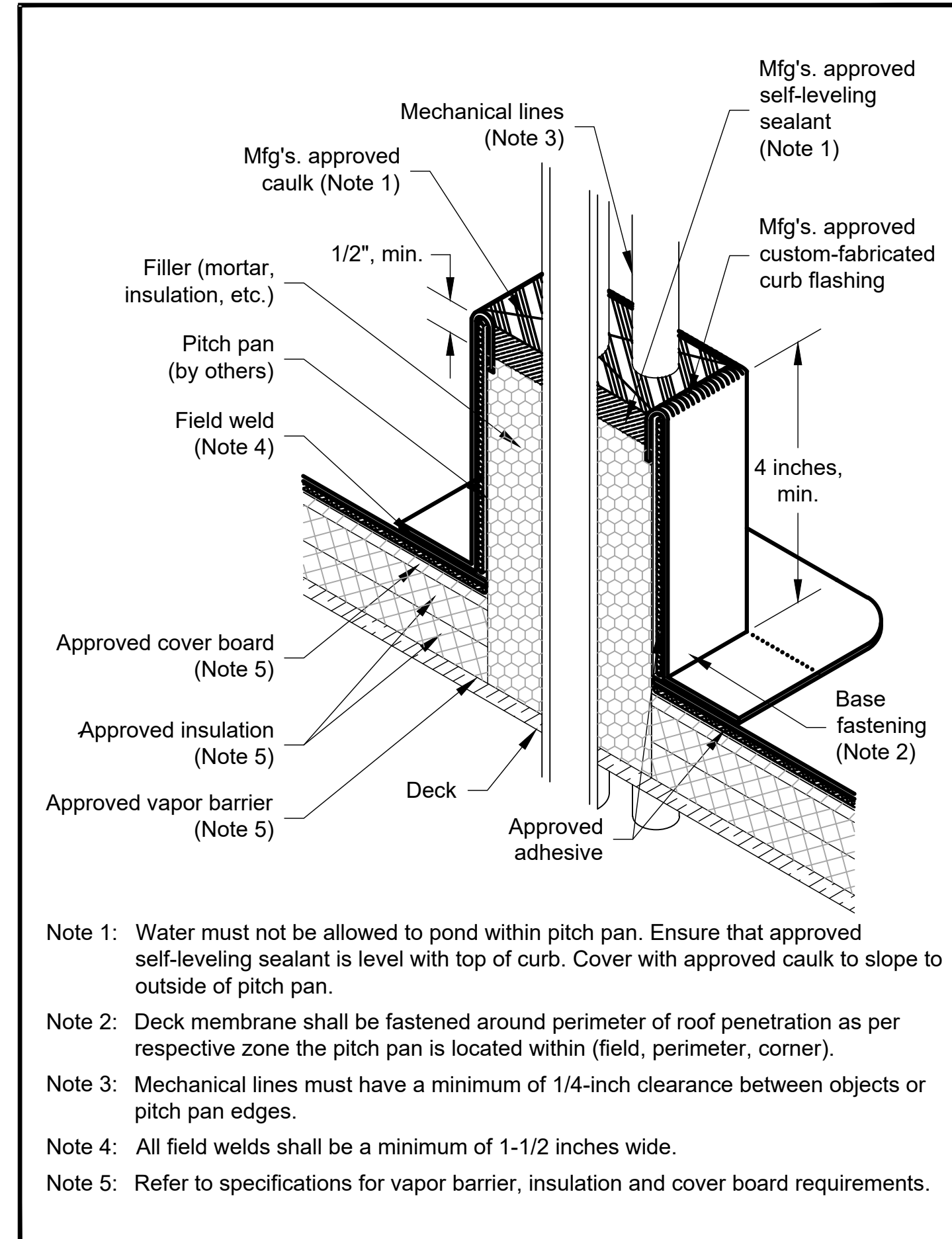




**HOT FLUE JACK** 1 A802  
SCALE 3" = 1'-0"

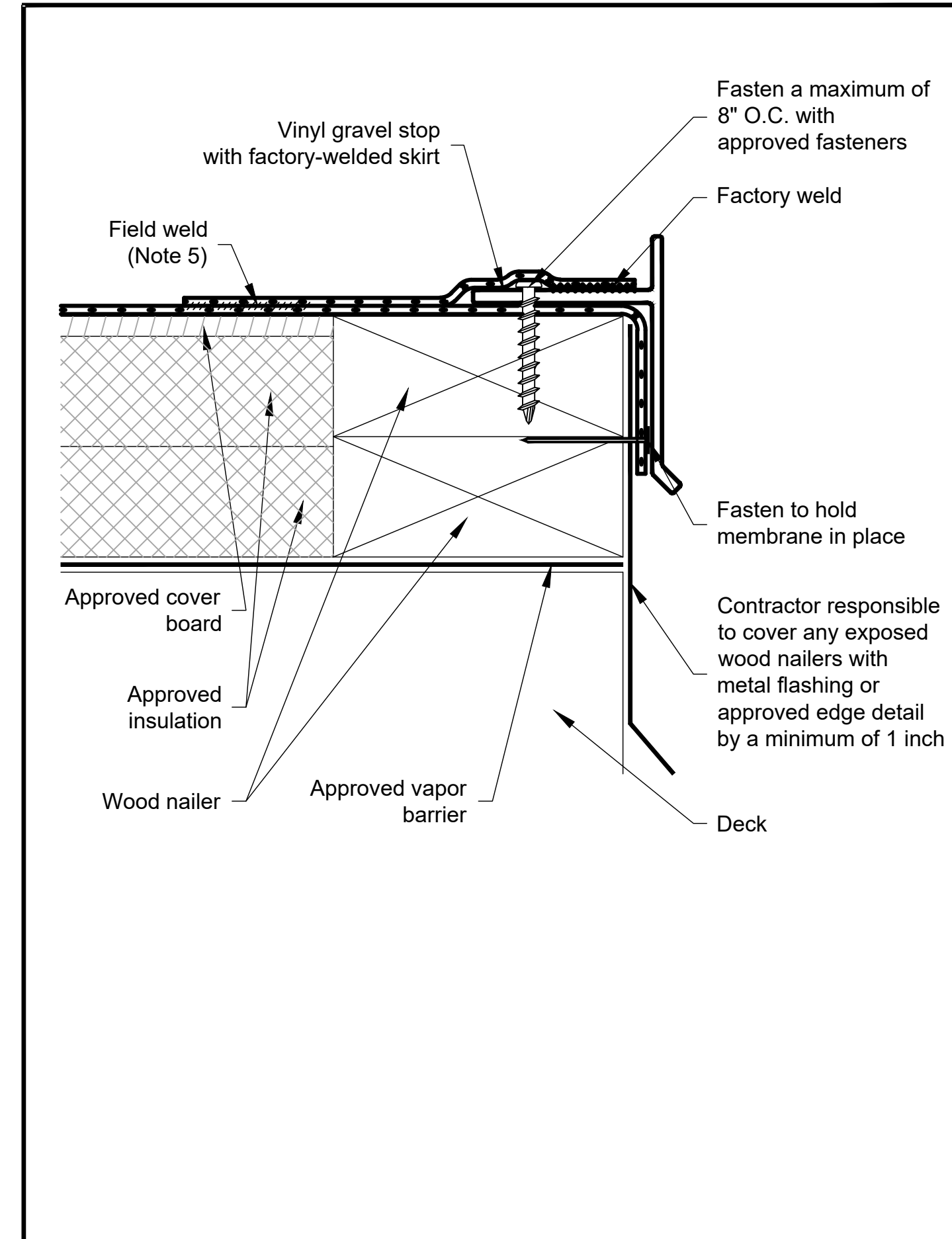


**ROUND PIPE PENETRATION** 2 A802  
SCALE 3" = 1'-0"

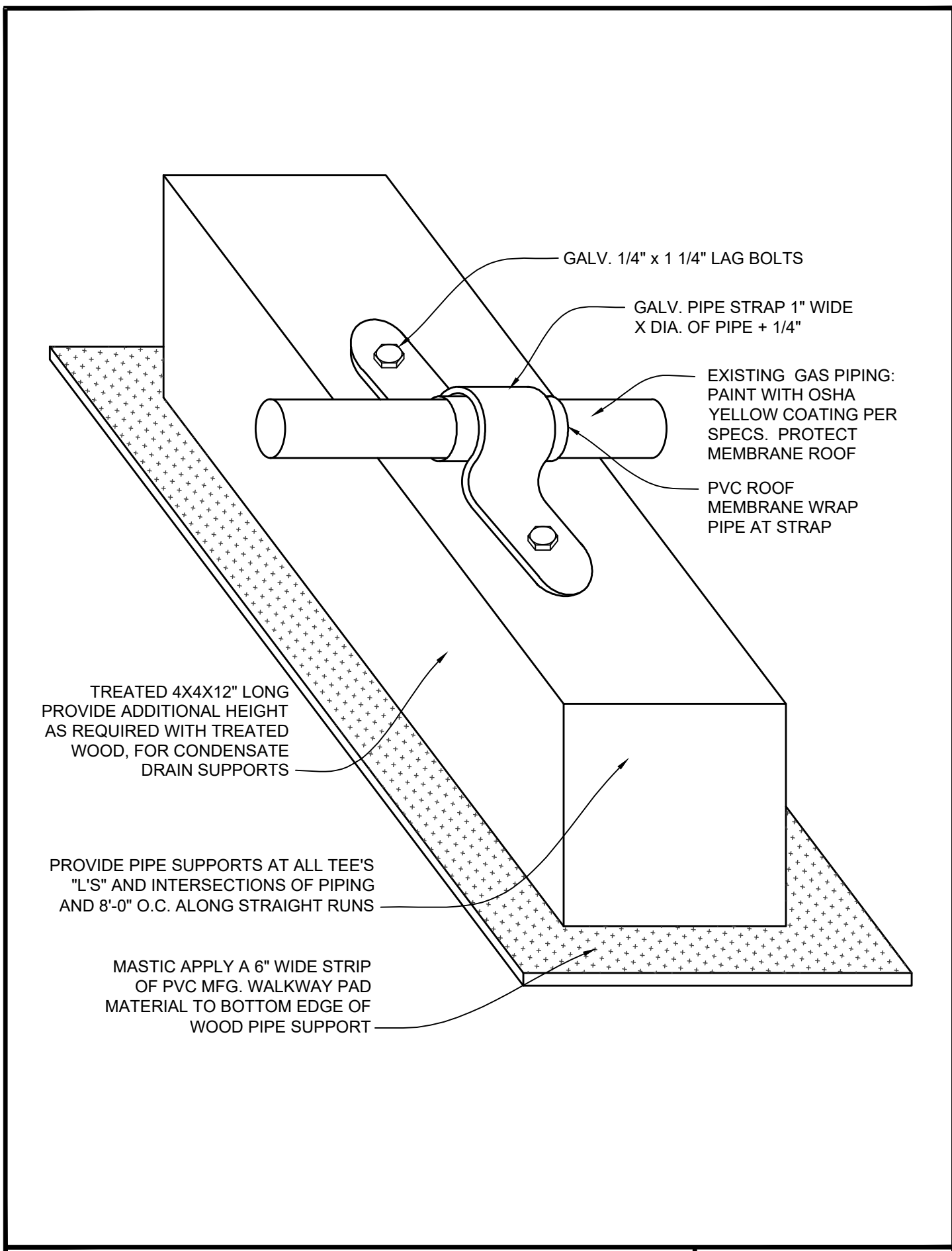


**PITCH PAN DETAIL** 3 A802  
SCALE 1" = 1'-0"

- Note 1: Water must not be allowed to pond within pitch pan. Ensure that approved self-leveling sealant is level with top of curb. Cover with approved caulk to slope to outside of pitch pan.
- Note 2: Deck membrane shall be fastened around perimeter of roof penetration as per respective zone the pitch pan is located within (field, perimeter, corner).
- Note 3: Mechanical lines must have a minimum of 1/4-inch clearance between objects or pitch pan edges.
- Note 4: All field welds shall be a minimum of 1-1/2 inches wide.
- Note 5: Refer to specifications for vapor barrier, insulation and cover board requirements.



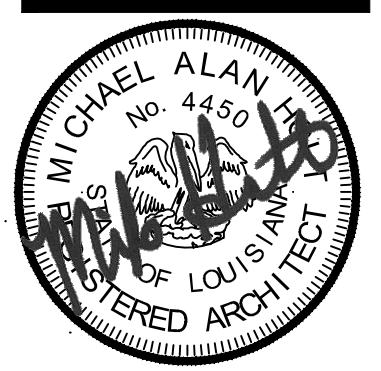
**GRAVEL GUARD DETAIL (Hose Tower)** 4 A802  
SCALE 3" = 1'-0"



**PIPE SUPPORT** 5 A802  
SCALE 6" = 1'-0"



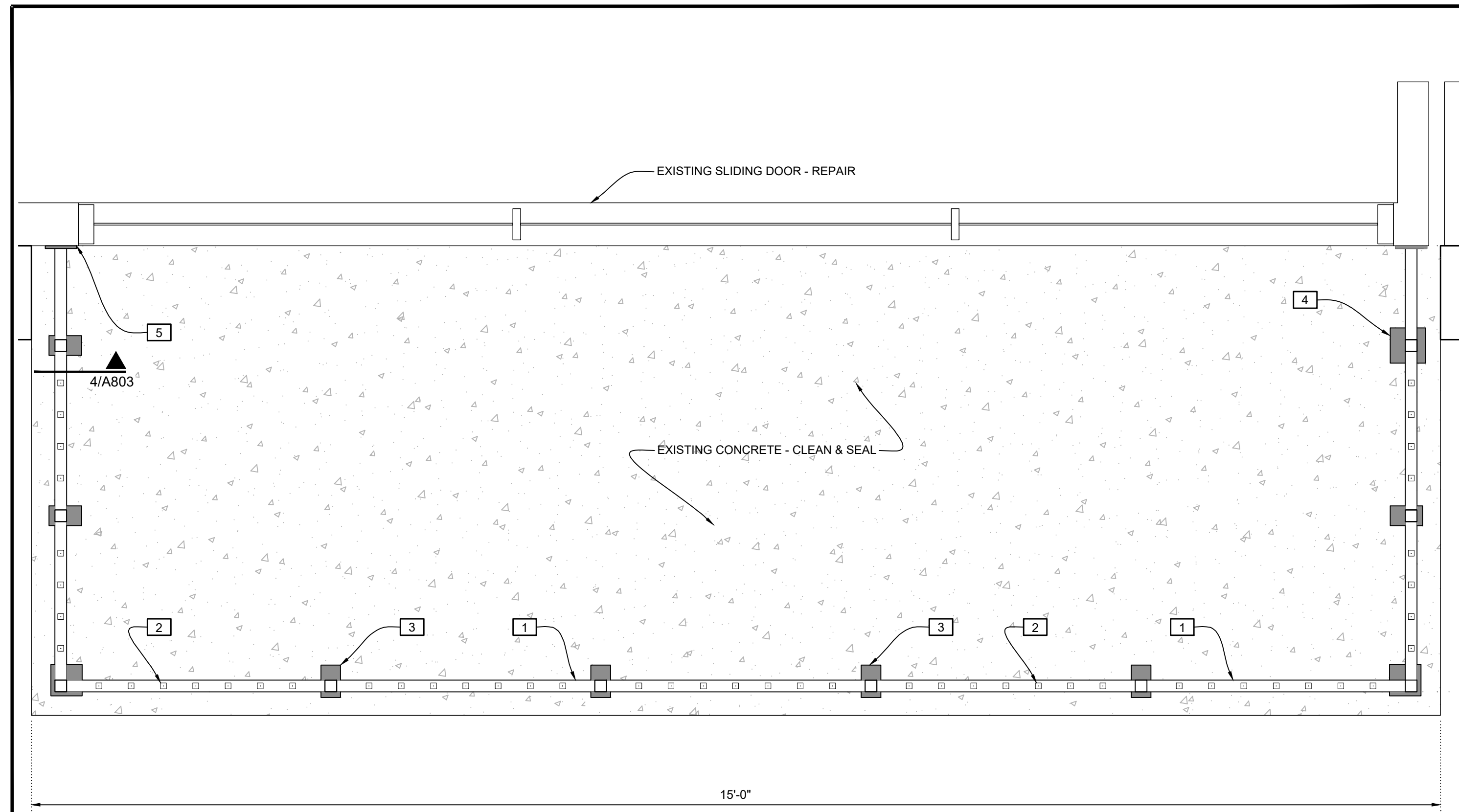
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| <b>MISC. ROOF DETAILS</b> | DATE: DECEMBER 2024   |
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|                           | REVISIONS:            |

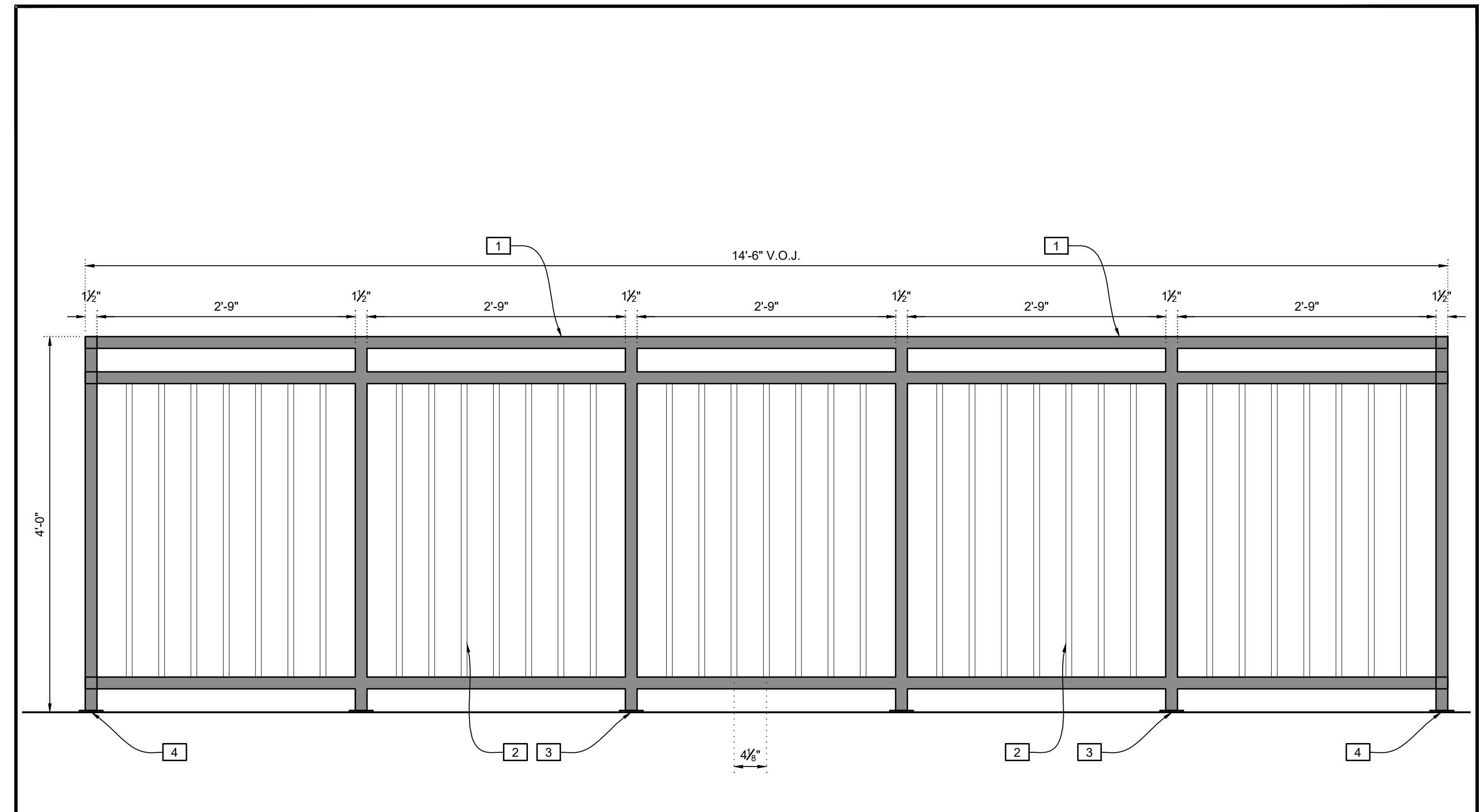




ALUMINUM RAIL (PLAN): TYPICAL FOR BOTH FRONT BALCONIES

1 A803

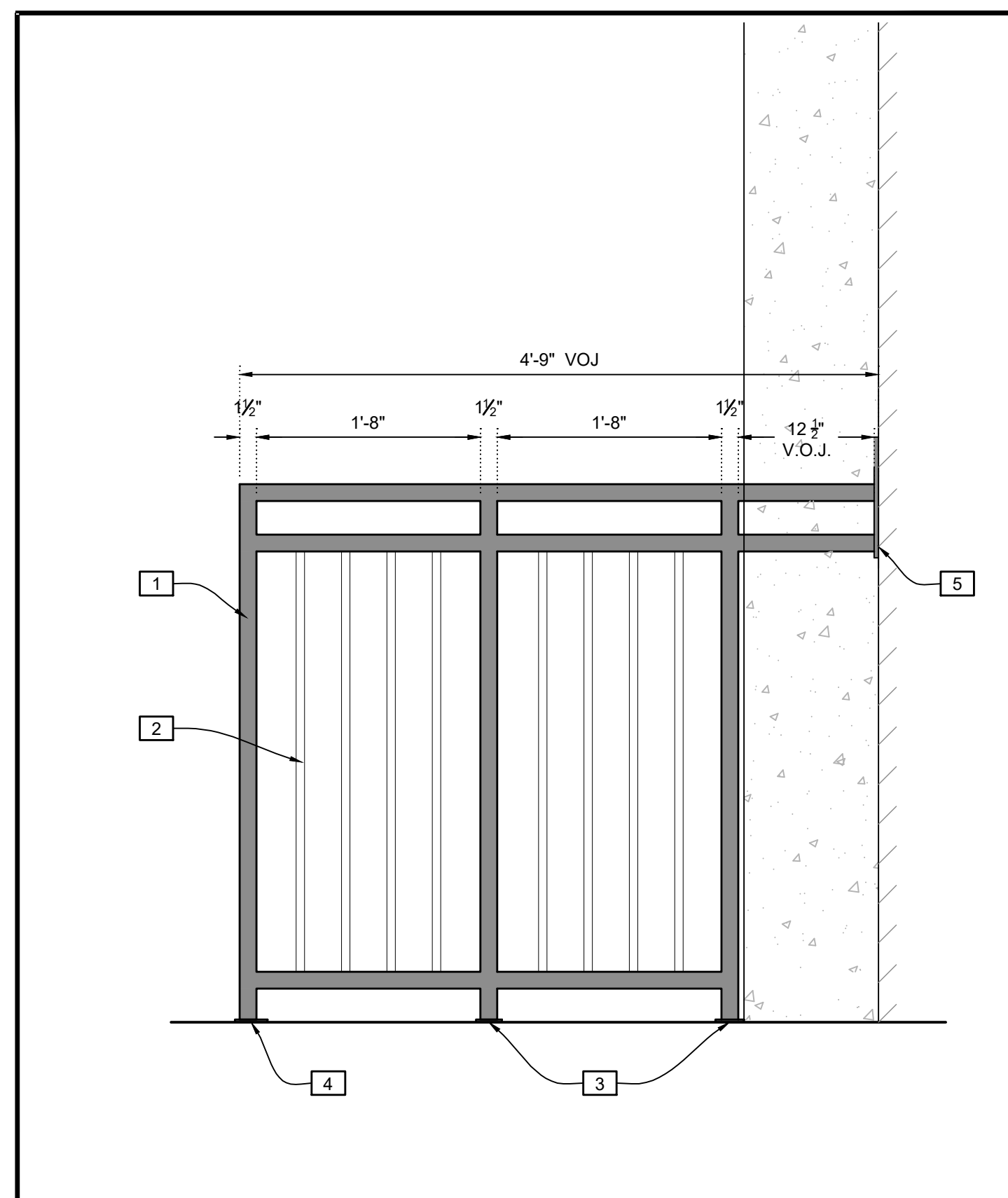
SCALE 1" = 1'-0"



ALUMINUM RAIL (FRONT) ELEVATION

2 A803

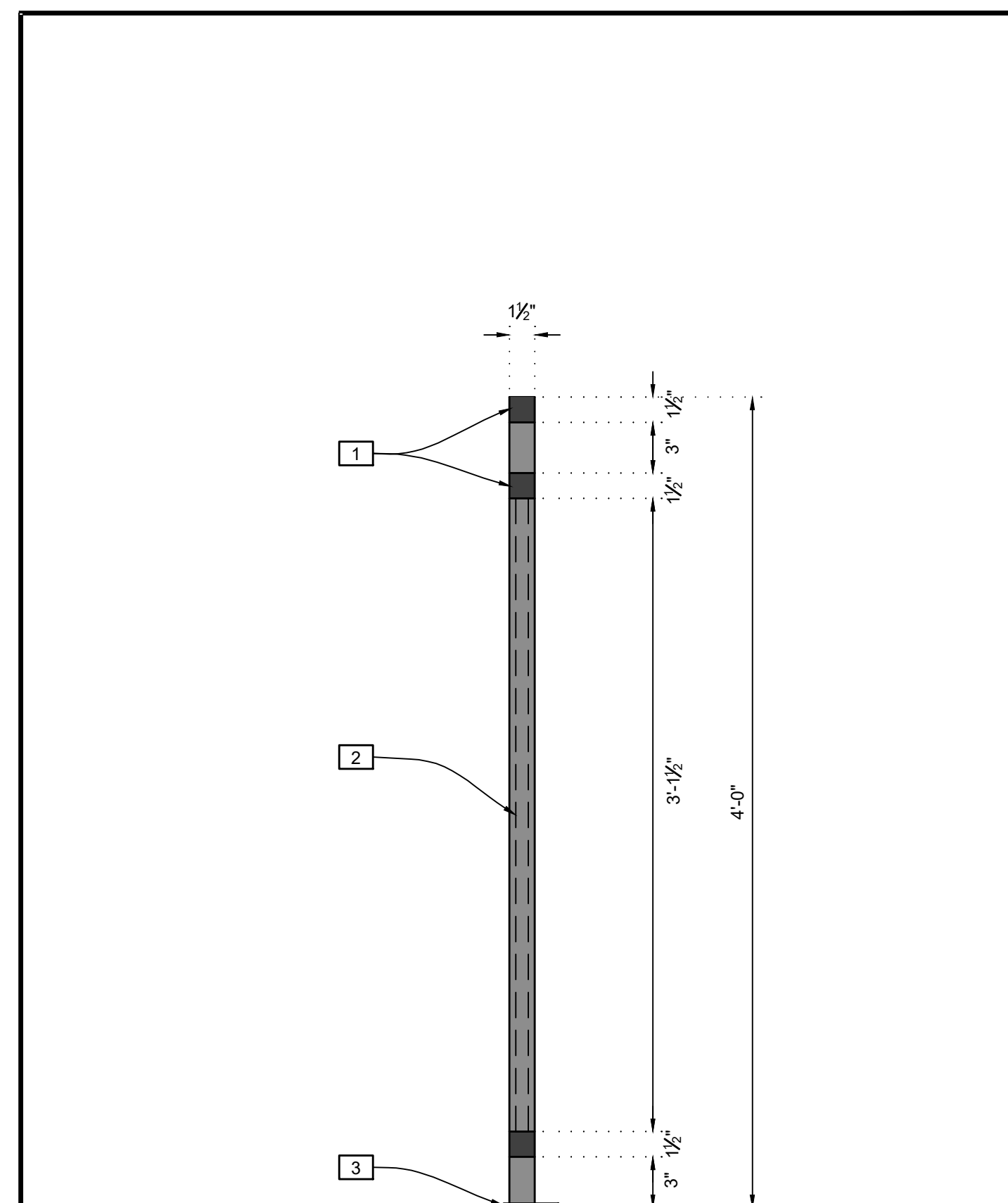
SCALE 1" = 1'-0"



ALUMINUM RAIL (SIDE) ELEVATION

3 A803

SCALE 1" = 1'-0"



ALUMINUM RAIL SECTION

4 A803

SCALE 1 1/2" = 1'-0"

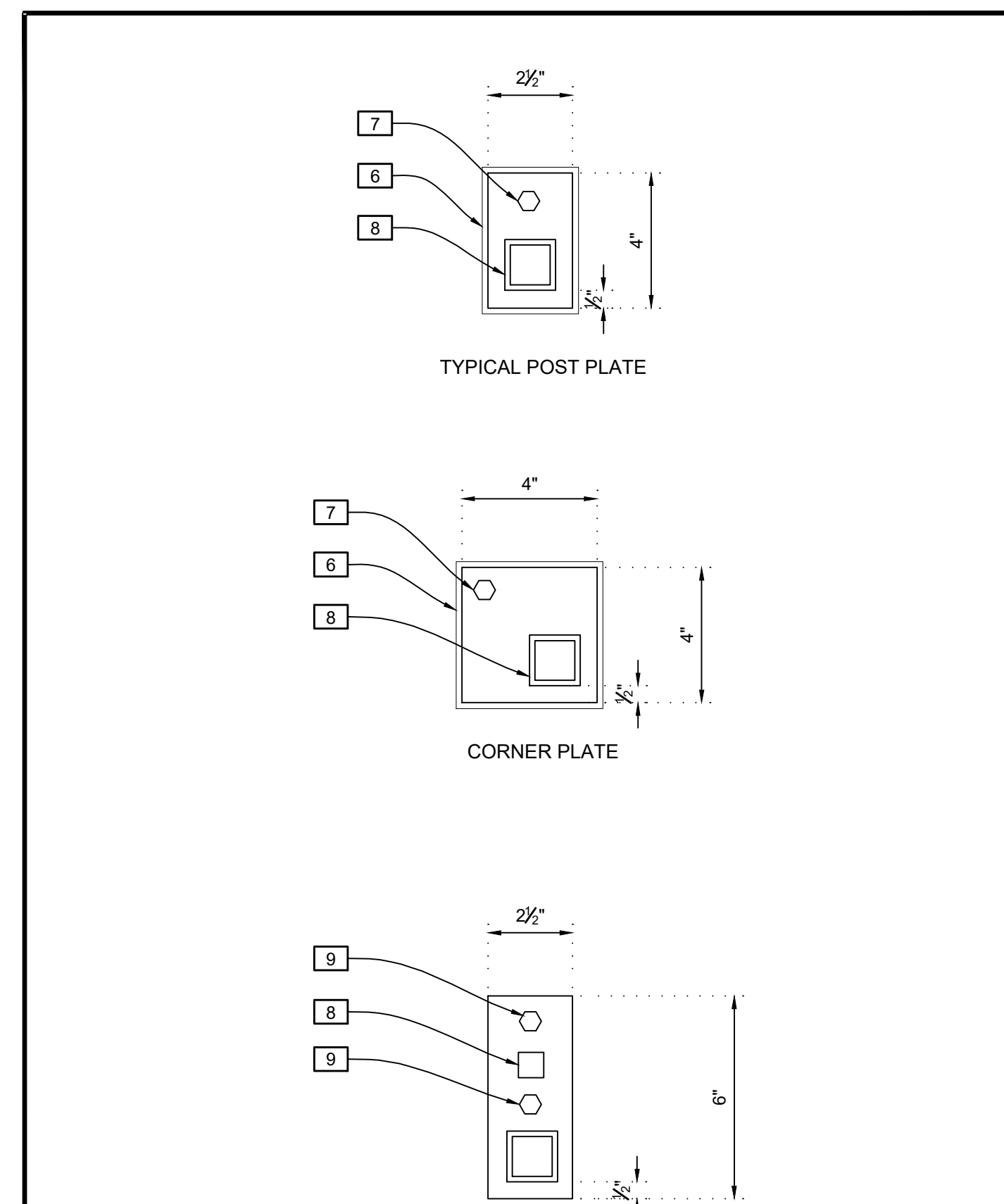


PLATE & BRACKET DETAILS

5 A803

SCALE 3" = 1'-0"

GENERAL NOTES

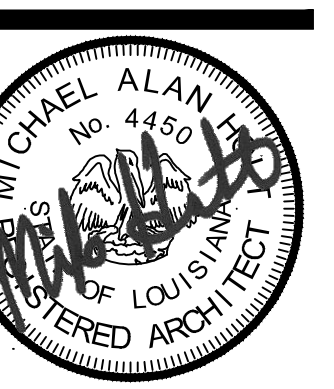
- G1 RAILINGS SHALL BE FABRICATED, GROUND SMOOTH, & CLEANED PRIOR TO POWDER COATING
- G2 CLEAN & SEAL BOTH FRONT BALCONY CONCRETE FLOORS PRIOR TO RAIL INSTALLATION
- G3 CLEAN & COAT BALCONY CEILINGS PRIOR TO RAIL INSTALLATION
- G4 FINISH SLIDING GLASS DOOR REPAIRS PRIOR TO RAIL INSTALLATION
- G5 DEMOLISH & REMOVE ALL RAILINGS/SOLAR SCREENS ON BOTH FRONT BALCONIES

KEY NOTES

- 1 TYPICAL RAIL & POSTS: 1 1/2" x 1 1/2" x .062" ALUMINUM TUBE
- 2 TYPICAL VERTICAL PICKET: 3/4" x 3/4" x .062" ALUMINUM
- 3 TYPICAL POST FLOOR MOUNT: 2 1/2" x 4" x .25" ALUMINUM (RE: 5/A803)
- 4 CORNER POST FLOOR MOUNT: 4" x 4" x .25" (RE: 5/A803)
- 5 TOP RAIL WALL MOUNT: 2 1/2" x 9" x .25" ALUMINUM
- 6 SEPARATE ALL FLOOR PLATES FROM CONCRETE WITH PVC MEMBRANE
- 7 PROVIDE 3/8" DIA. x 4" STAINLESS STEEL CONCRETE ANCHORS WITH STAINLESS STEEL WASHERS & NUTS. PENETRATE CONCRETE 3" MAXIMUM. GENERAL CONTRACTOR MAY USE CHEMICAL ANCHORS
- 8 WELD ALL POSTS TO FLOOR PLATES PRIOR TO POWDER COATING ENTIRE SYSTEM
- 9 PROVIDE 3/8" x 3" STAINLESS STEEL LAG BOLTS WITH WASHERS TO MOUNT TOP WALL PLATE INTO EXISTING WOOD FRAMING. TWO (2) PER PLATE



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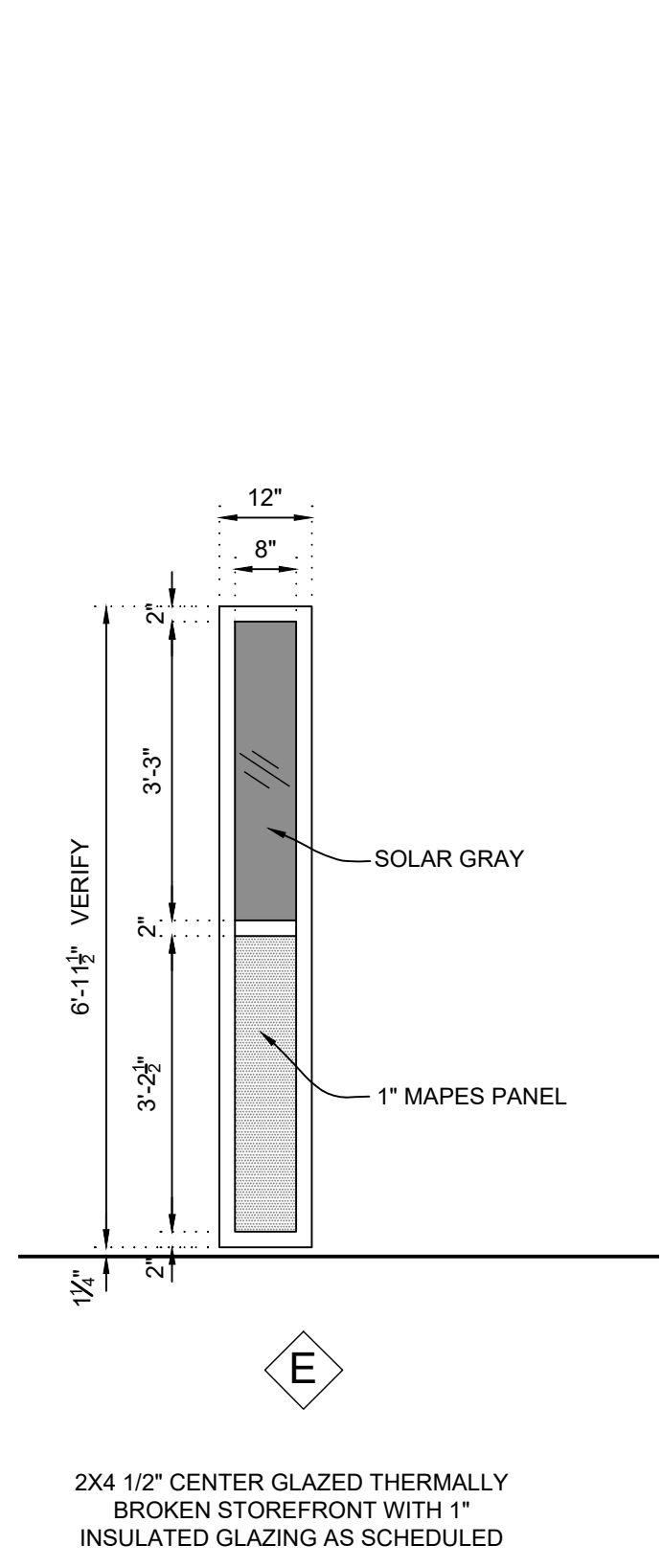
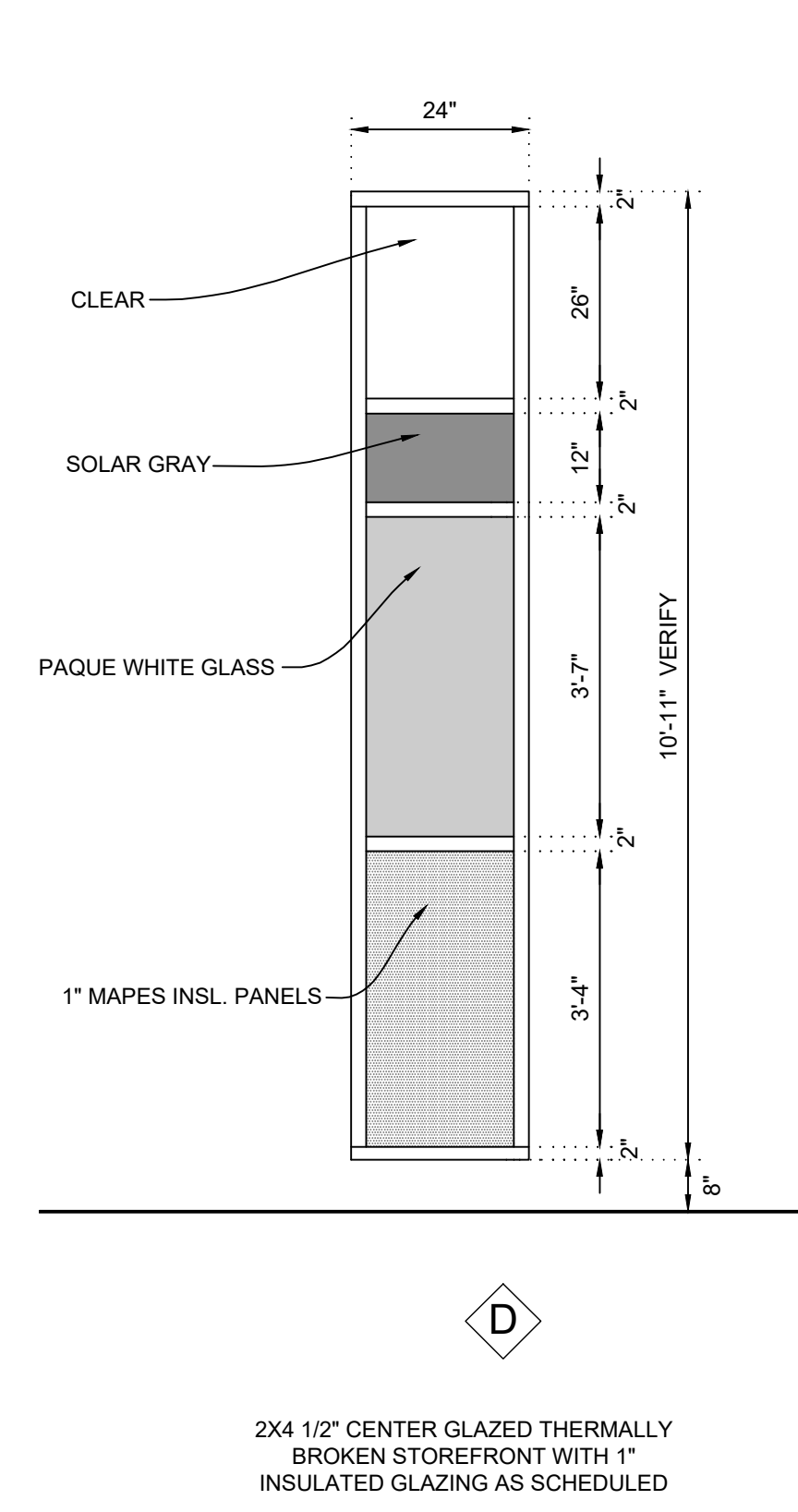
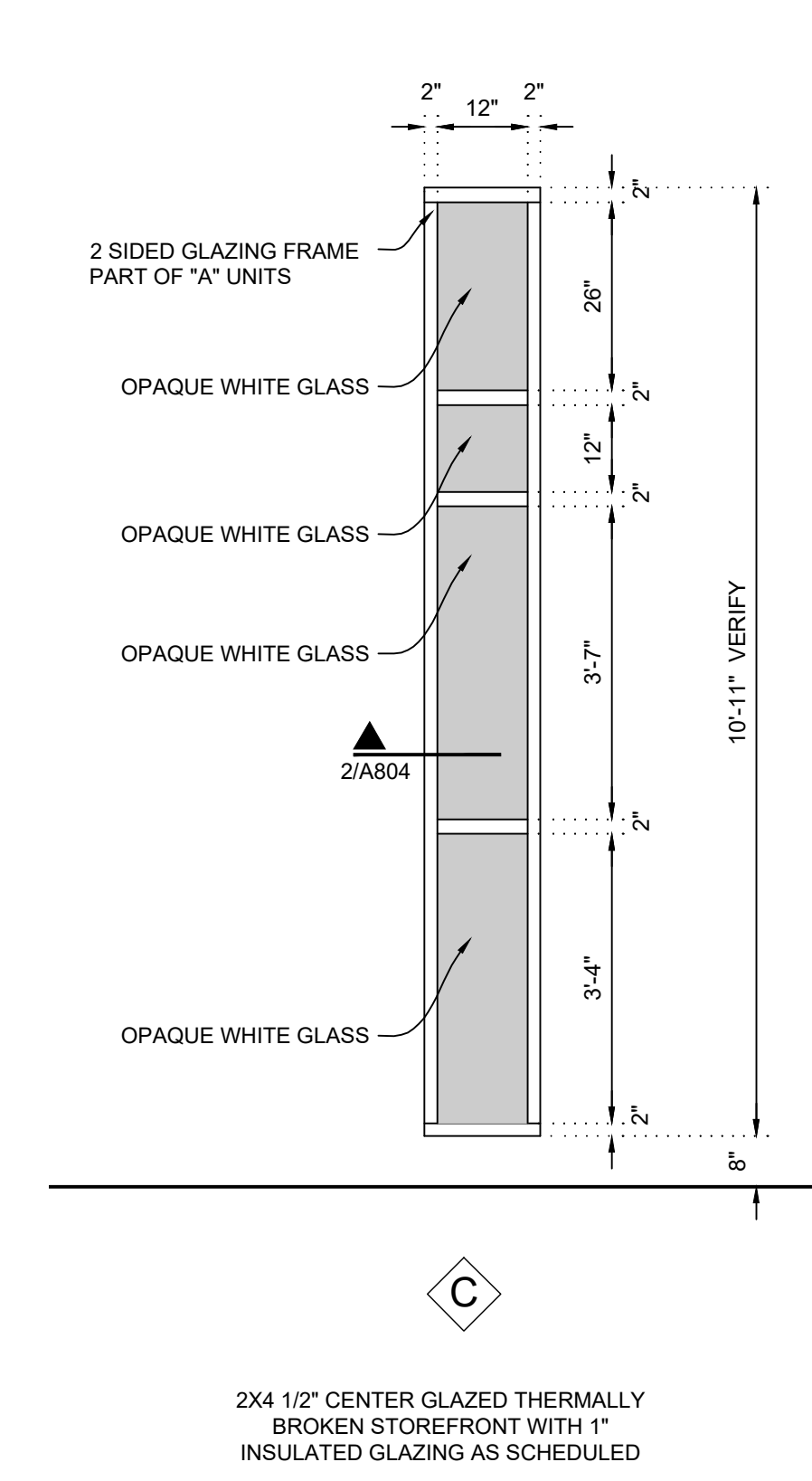
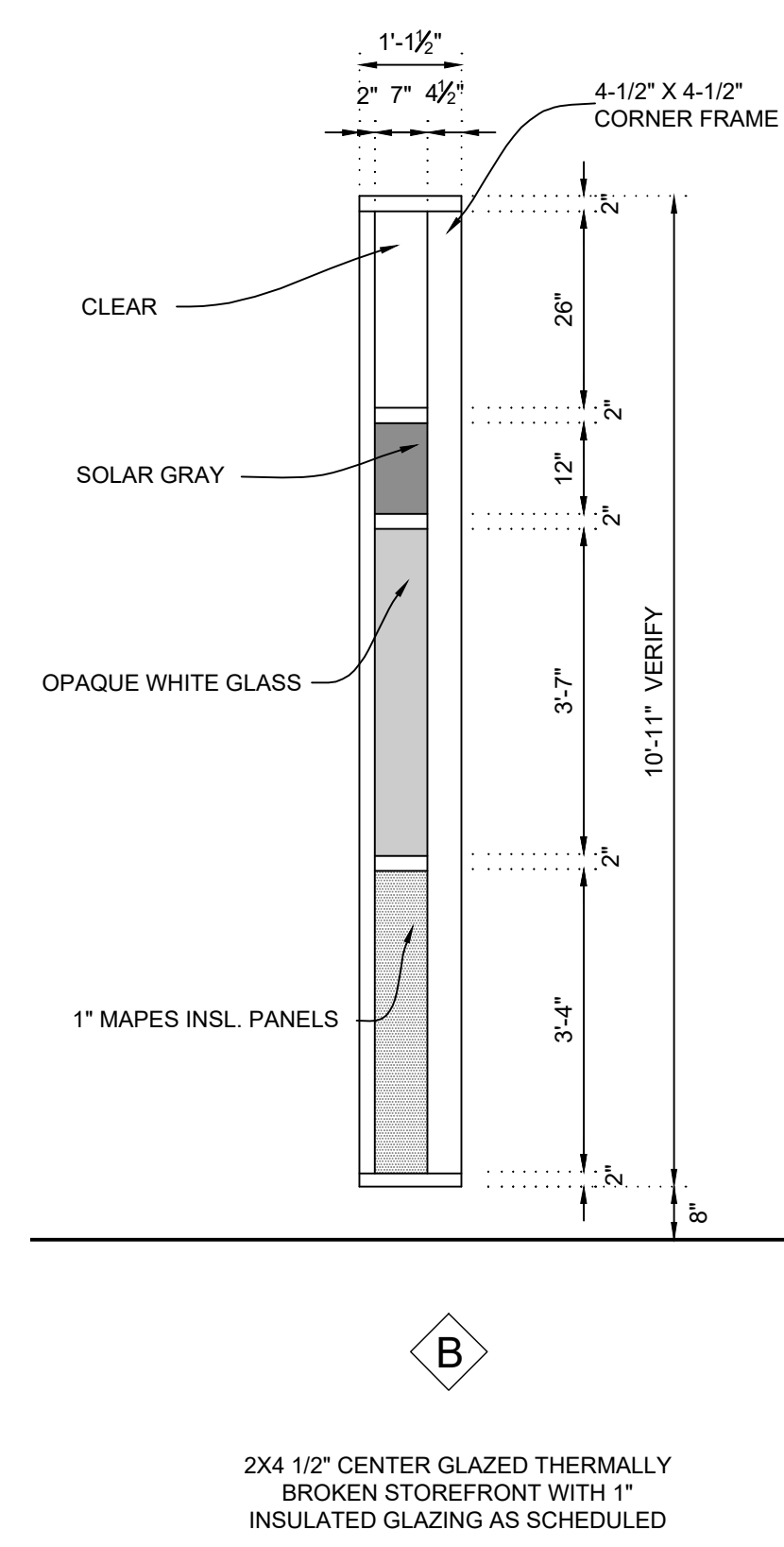
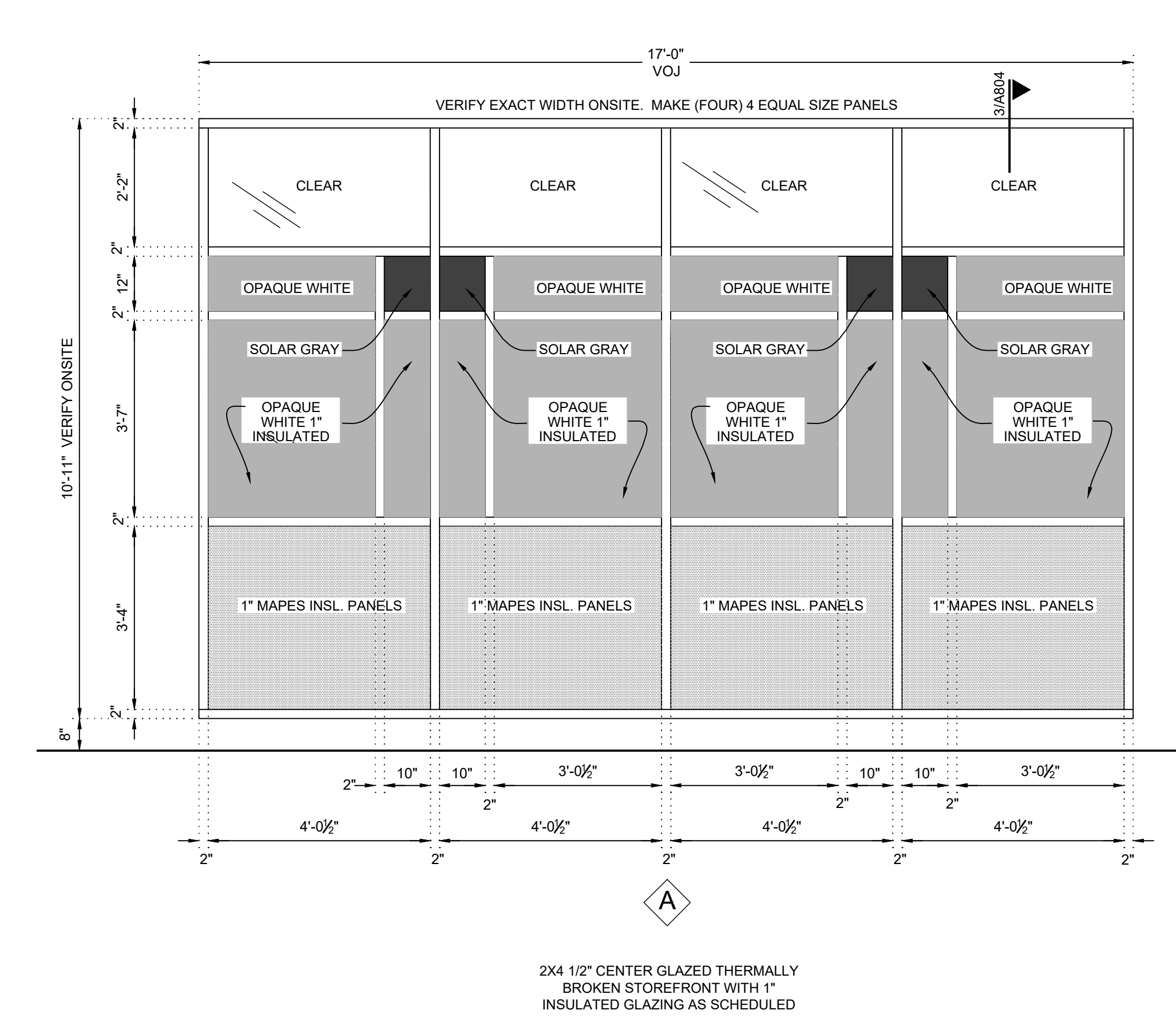
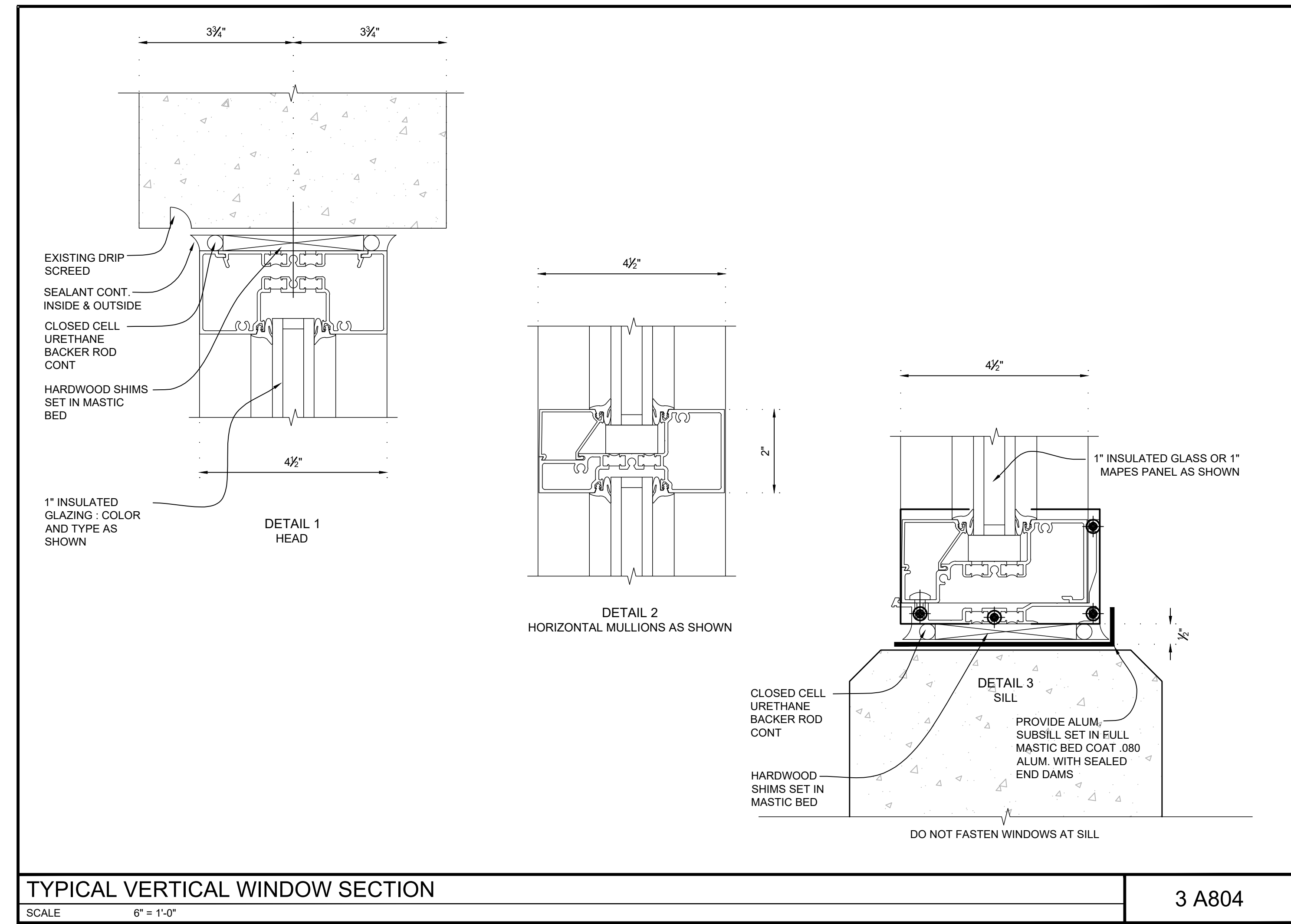
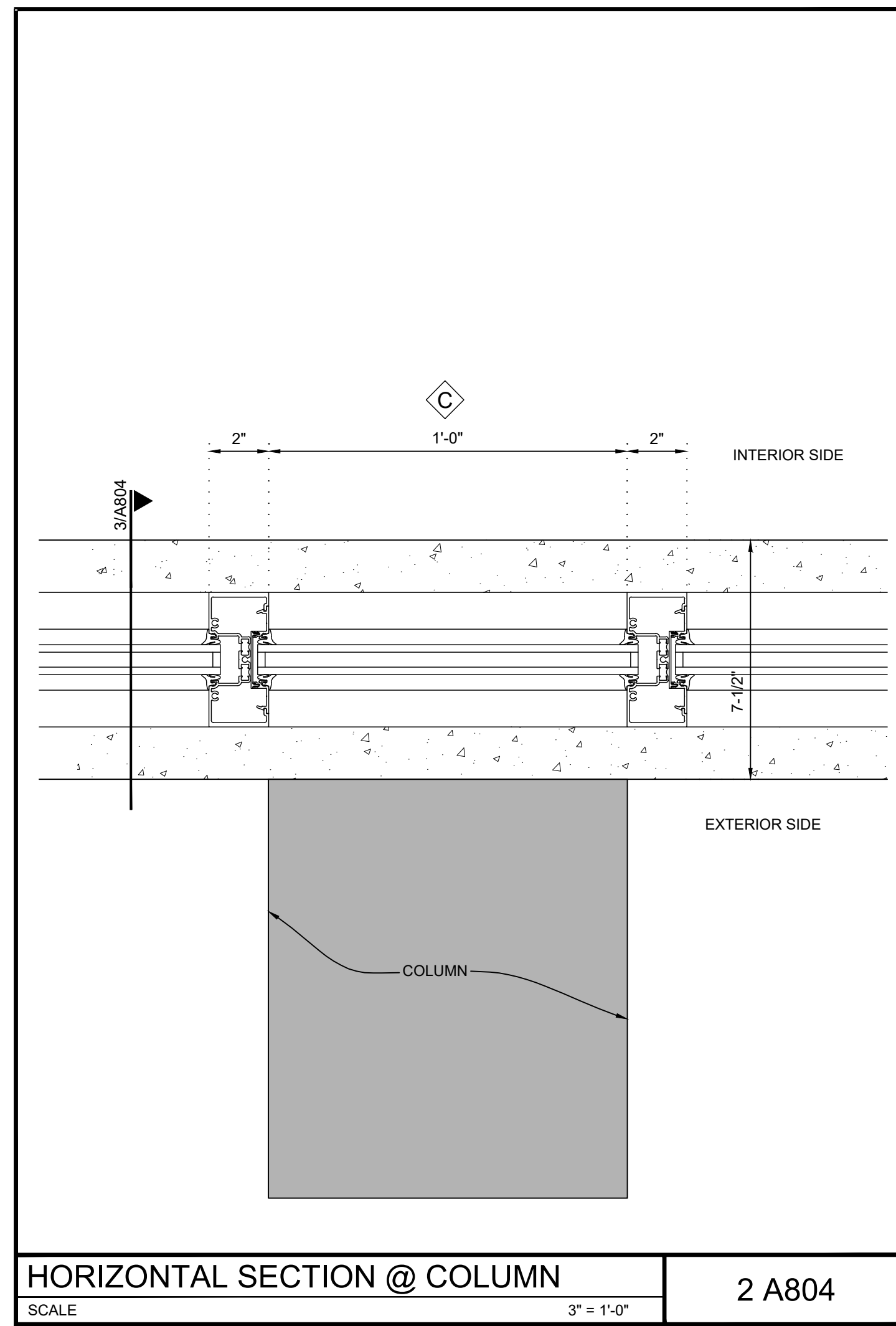
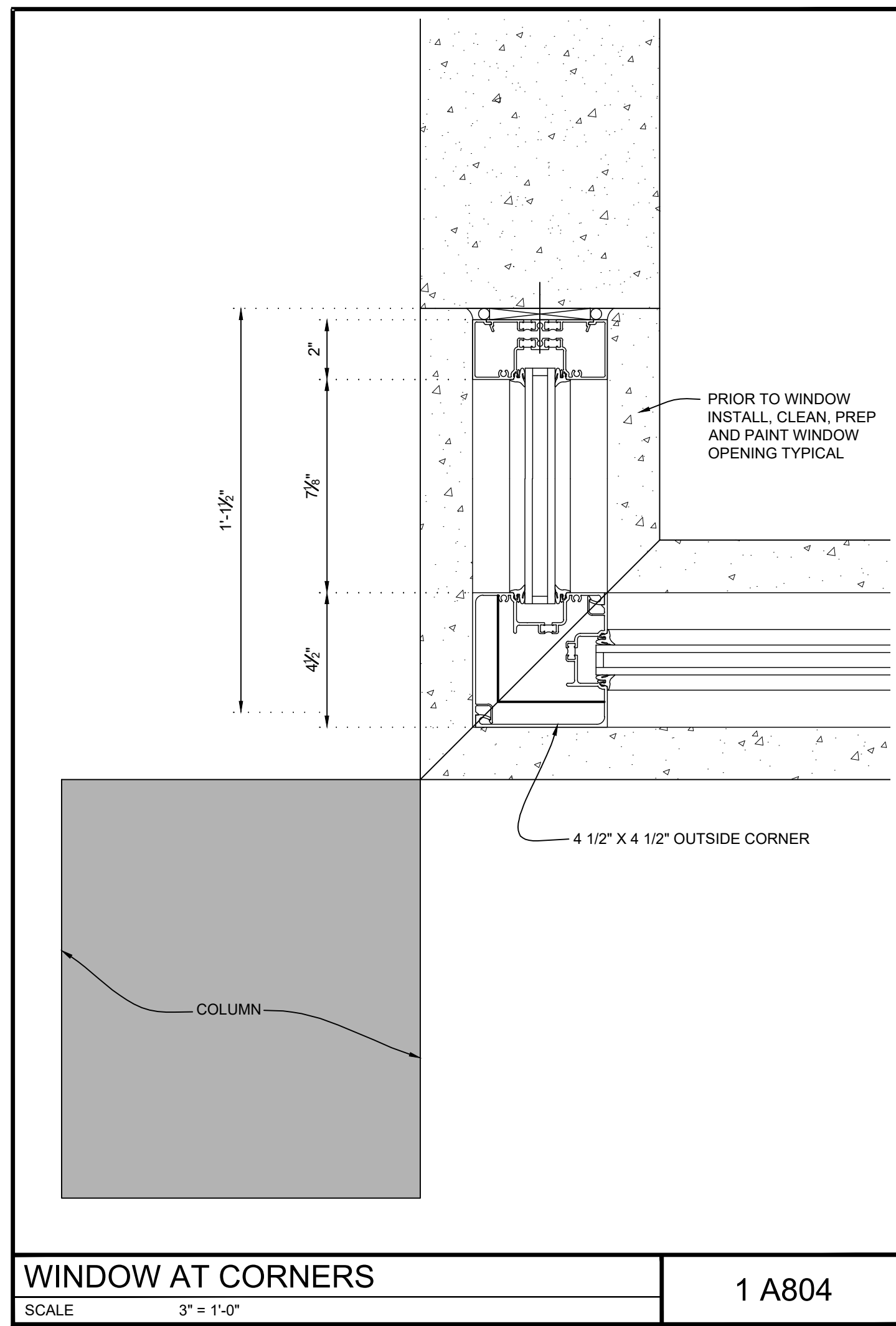
RAILING DETAILS

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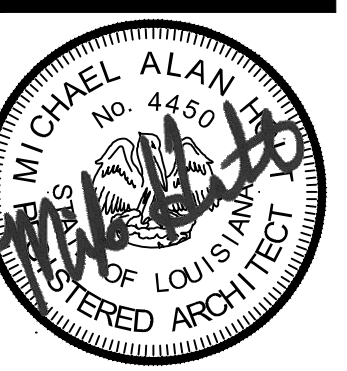
A803

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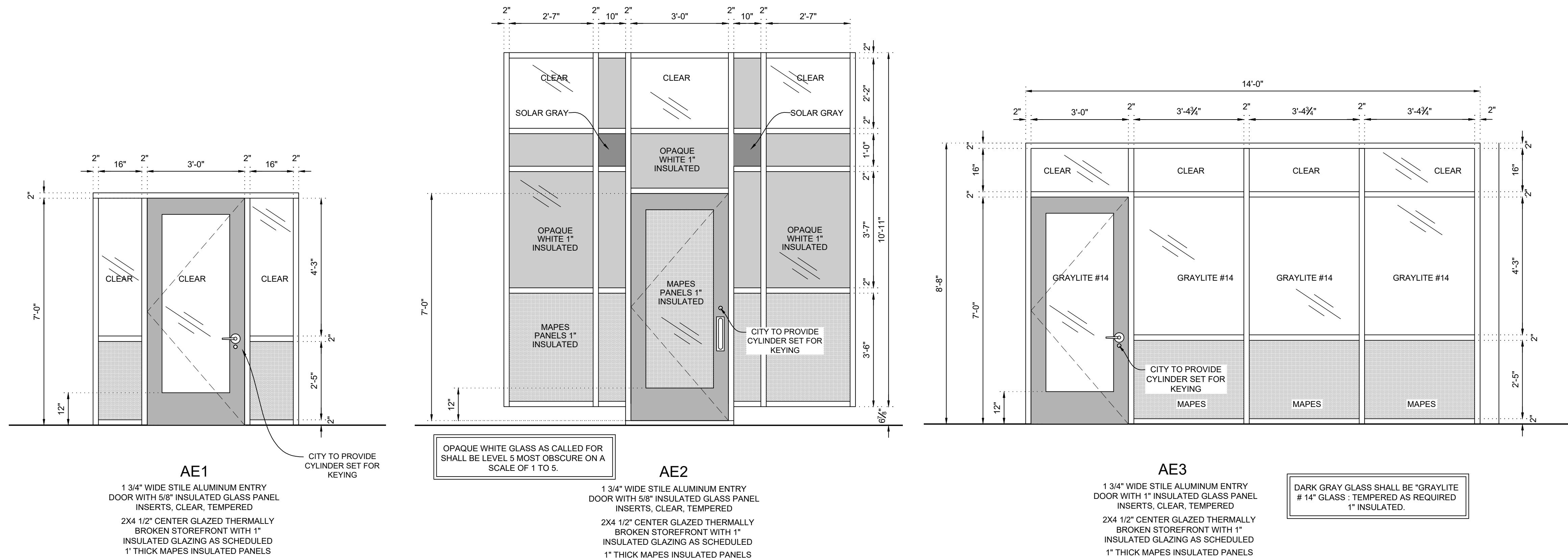
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WINDOW DETAILS & ELEVATIONS

|                       |            |
|-----------------------|------------|
| DATE: DECEMBER 2024   | REVISIONS: |
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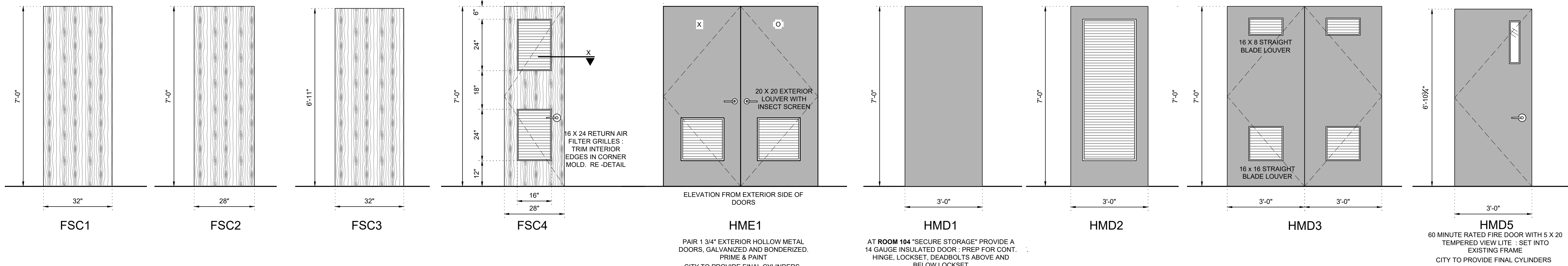
**A804**  
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**1 Aluminum Storefront Systems**

SCALE 1/2" = 1'-0"



**2 Solid Core Wood Door Mark Elevations**

SCALE 1/2" = 1'-0"

**3 Hollow Metal Door Mark Elevations**

SCALE 1/2" = 1'-0"

**4 Door Schedule**

| ABBREVIATIONS |   |          |            |      |          |      |       |       |        |      |         |        |          |      | REMARK NOTES |          |        |        |           |         |      |        |          |          |       |        |        |      |     |       |      |      |     |     |        |       |        |         |    |          |              |        |
|---------------|---|----------|------------|------|----------|------|-------|-------|--------|------|---------|--------|----------|------|--------------|----------|--------|--------|-----------|---------|------|--------|----------|----------|-------|--------|--------|------|-----|-------|------|------|-----|-----|--------|-------|--------|---------|----|----------|--------------|--------|
| PR            | = | PAIR     | 1          | SET  | FRAME    | AND  | DOORS | BACK  | IN     | SAME | PLACE   | AS     | ORIGINAL | 2    | REMOVE       | EXISTING | STOP   | CHANGE | DIRECTION | OF      | DOOR | TO     | OUTSWING |          |       |        |        |      |     |       |      |      |     |     |        |       |        |         |    |          |              |        |
| 45            | = | 45       | MINUTE     | FIRE | RATED    | DOOR | 3     | SAND, | GRIND, | AND  | REPAINT | EXIST. | FRAMES.  | PREP | NEW          | DOORS    | FOR    | EXIST. | FRAMES    | 4       | FULL | HEIGHT | RIA      | GRILLE   | WITH  | >      | 50%    | FREE | AIR | AREA  |      |      |     |     |        |       |        |         |    |          |              |        |
| AE            | = | ALUMINUM | STOREFRONT | 5    | UNDERCUT | DOOR | 3/4   | INCH  | 6      | DOOR | SHOWN   | AS     | PART     | OF   | OVERALL      | FRAMING  | SYSTEM | FOR    | EACH      | BALCONY | 7    | WIDE   | STILE    | DOOR     | WITH  | 12"    | BOTTOM | RAIL | 8   | TWO   | (2)  | 16   | X   | 24" | RETURN | AIR   | FILTER | GRILLES | IN | DOOR.    | (RE: 2/A805) |        |
| FG            | = | FULL     | GLASS      | LITE | FL       | =    | FLUSH | SOLID | CORE   | FMC  | =       | FLUSH  | MINERAL  | CORE | HMD          | =        | HOLLOW | METAL  | DOOR      | HME     | =    | HOLLOW | METAL    | EXTERIOR | DOOR, | GALV., | INSL.  | FL   | =   | FLUSH | FACE | DOOR | HMF | =   | HOLLOW | METAL | FRAME  | ANO     | =  | ANODIZED | ALUMINUM     | FINISH |

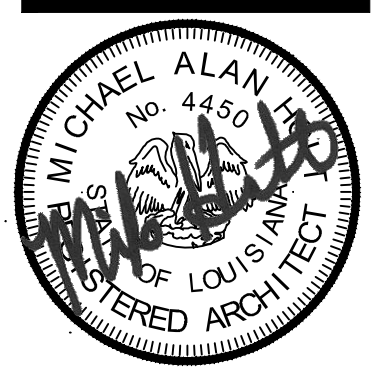
| NO.          | DOOR | DOOR | P        | W    | D      | D   | D  | D   | D     | F | L | L | L | L | L | L | L | L | L | DOOR DETAILS |        |       |    | FRAMES |      |      | REMARKS |
|--------------|------|------|----------|------|--------|-----|----|-----|-------|---|---|---|---|---|---|---|---|---|---|--------------|--------|-------|----|--------|------|------|---------|
|              |      |      |          |      |        |     |    |     |       |   |   |   |   |   |   |   |   |   |   | OPNG         | ELEV.  | MARK  | FR | TRANS  | JAMB | SILL |         |
| 1            | HME1 | PR   | 3-0      | 7-0  | 1 3/4  | HME | FL | PNT | 20X20 |   |   |   |   |   |   |   |   |   |   | HMF          | HMF3   | 5 3/4 |    |        | 1    |      |         |
| AE1          | AE1  |      | 3-0      | 7-0  | 1 3/4  | AE  | FG | ANO |       |   |   |   |   |   |   |   |   |   |   | ALUM         | AE1    | 4 1/2 |    |        | 7    |      |         |
| AE2          | AE2  |      | 3-0      | 7-0  | 1 3/4  | AE  | FG | ANO |       |   |   |   |   |   |   |   |   |   |   | ALUM         | AE2    | 4 1/2 |    |        | 7    |      |         |
| AE3          | AE3  |      | 3-0      | 7-0  | 1 3/4  | AE  | FG | ANO |       |   |   |   |   |   |   |   |   |   |   | ALUM         | AE3    | 4 1/2 |    |        | 7    |      |         |
| OD1          |      |      | 12-10    | 11-7 | 2      |     |    |     |       |   |   |   |   |   |   |   |   |   |   |              |        |       |    |        |      |      |         |
| OD2          |      |      | 12-10    | 11-7 | 2      |     |    |     |       |   |   |   |   |   |   |   |   |   |   |              |        |       |    |        |      |      |         |
| OD3          |      |      | 12-10    | 11-7 | 2      |     |    |     |       |   |   |   |   |   |   |   |   |   |   |              |        |       |    |        |      |      |         |
| OD4          |      |      | 12-10    | 11-7 | 2      |     |    |     |       |   |   |   |   |   |   |   |   |   |   |              |        |       |    |        |      |      |         |
| 102          | FSC1 |      | 2-8      | 7-0  | VERIFY | FSC | FL | PNT |       |   |   |   |   |   |   |   |   |   |   | EXIST.       |        |       |    |        |      |      |         |
| 103          | FSC2 |      | 2-4      | 7-0  | VERIFY | FSC | FL | PNT |       |   |   |   |   |   |   |   |   |   |   |              | EXIST. |       |    |        |      |      |         |
| 104          | HMD1 |      | 3-0      | 7-0  | 1 3/4  | HMD | FL | PNT |       |   |   |   |   |   |   |   |   |   |   | HMF          | HMF1   | 7 3/4 |    |        |      |      |         |
| SECOND FLOOR |      |      |          |      |        |     |    |     |       |   |   |   |   |   |   |   |   |   |   |              |        |       |    |        |      |      |         |
| 201A         | HMD5 |      | 6-10 3/4 | 3-0  | 1 3/4  | HMD | FL | PNT |       |   |   |   |   |   |   |   |   |   |   | 60           | EXIST. |       |    |        | 3    |      |         |
| 201B         | HMD5 |      | 6-10 3/4 | 3-0  | 1 3/4  | HMD | FL | PNT |       |   |   |   |   |   |   |   |   |   |   | 60           | EXIST. |       |    |        | 3    |      |         |
| 203          | FSC4 |      | 2-4      | 7-0  | 1 3/4  | FSC | FL | PNT |       |   |   |   |   |   |   |   |   |   |   |              |        |       |    |        | 4    |      |         |
| 204A         | FSC3 |      | 2-8      | 6-11 | VERIFY | FSC | FL | PNT |       |   |   |   |   |   |   |   |   |   |   |              |        |       |    |        | 5    |      |         |
| 204B         | FSC3 |      | 2-8      | 6-11 | VERIFY | FSC | FL | PNT |       |   |   |   |   |   |   |   |   |   |   |              |        |       |    |        | 5    |      |         |
| 205          | FSC4 |      | 2-4      | 7-0  | 1 3/4  | FSC | FL | PNT |       |   |   |   |   |   |   |   |   |   |   |              |        |       |    |        | 4    |      |         |
| 206          | HMD2 |      | 3-0      | 7-0  | 1 3/4  | HMD | FL | PNT |       |   |   |   |   |   |   |   |   |   |   |              |        |       |    |        | 4    |      |         |
| 207          | HMD3 |      | 3-0      | 7-0  | 1 3/4  | HMD | FL | PNT |       |   |   |   |   |   |   |   |   |   |   |              |        |       |    |        | 4    |      |         |
| 208          | HMD1 |      | 3-0      | 7-0  | 1 3/4  | HMD | FL | PNT |       |   |   |   |   |   |   |   |   |   |   |              |        |       |    |        | 4    |      |         |

**4 Hollow Metal Frame Elevations**

SCALE 1/2" = 1'-0"



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**RE-BID 2024 Building Renovations**  
**City of Alexandria SWAT Building**  
 1237 Texas Ave., Alexandria, Louisiana  
 City of Alexandria - Owner

**DOOR ELEVATIONS & SCHEDULE**

DATE: DECEMBER 2024  
 REVISIONS:  
 JOB NUMBER: BC2024-01

**A805**

18 OF 18A



# DEFINE

## MECHANICAL ABBREVIATIONS

|      |                                 |      |                                     |
|------|---------------------------------|------|-------------------------------------|
| AD   | ACCESS DOOR                     | HWS  | HEATING HOT WATER SUPPLY            |
| ADA  | AMERICANS WITH DISABILITIES ACT | HWR  | HEATING HOT WATER RETURN            |
| AFF  | ABOVE FINISHED FLOOR            | KH   | KITCHEN HOOD                        |
| AHU  | AIR HANDLING UNIT               | KW   | KILOWATT                            |
| APD  | AIR PRESSURE DROP               | LAT  | LEAVING AIR TEMPERATURE             |
| BOD  | BOTTOM OF DUCT                  | LWT  | LEAVING WATER TEMPERATURE           |
| BOP  | BOTTOM OF PIPE                  | MBH  | 1000 BRITISH THERMAL UNITS PER HOUR |
| BTUH | BRITISH THERMAL UNITS PER HOUR  | MVD  | MANUAL VOLUME DAMPER                |
| C    | CONDENSATE                      | N.O. | NORMALLY OPEN                       |
| CFM  | CUBIC FEET PER MINUTE           | N.C. | NORMALLY CLOSED                     |
| CT   | CHILLER                         | NTS  | NOT TO SCALE                        |
| CHS  | CHILLED WATER SUPPLY            | NC   | NOISE CRITERIA                      |
| CHR  | CHILLED WATER RETURN            | OA   | OUTSIDE AIR                         |
| COP  | COEFFICIENT OF PERFORMANCE      | OBD  | OPPOSED BLADE DAMPER                |
| CT   | COOLING TOWER                   | PD   | PRESSURE DROP                       |
| CU   | CONDENSING UNIT                 | PHWR | PLANT HEATING HOT WATER RETURN      |
| CV   | CONSTANT VOLUME                 | PHWS | PLANT HEATING HOT WATER SUPPLY      |
| CS   | CONDENSER WATER SUPPLY          | PRV  | PRESSURE REDUCING VALVE             |
| CR   | CONDENSER WATER RETURN          | PSIG | POUNDS PER SQUARE INCH GAGE         |
| DB   | DRY BULB                        | RA   | RETURN AIR                          |
| DOAS | DEDICATED 100% OUTSIDE AIR UNIT | RH   | RELATIVE HUMIDITY                   |
| EA   | EXHAUST AIR                     | RHC  | REHEAT COIL                         |
| EAT  | ENTERING AIR TEMPERATURE        | RPM  | REVOLUTIONS PER MINUTE              |
| ECO  | EXTERIOR CLEANOUT               | RTU  | ROOFTOP A/C UNIT                    |
| EDH  | ELECTRIC DUCT HEATER            | SA   | SUPPLY AIR                          |
| EER  | ENERGY EFFICIENCY RATIO         | SD   | STORM DRAIN                         |
| EF   | EXHAUST FAN                     | SEER | SEASONAL ENERGY EFFICIENCY RATIO    |
| EMS  | ENERGY MANAGEMENT SYSTEM        | SF   | SUPPLY FAN                          |
| ESP  | EXTERNAL STATIC PRESSURE        | SP   | STATIC PRESSURE                     |
| EUH  | ELECTRIC UNIT HEATER            | SWR  | SIDE WALL REGISTER                  |
| EWC  | ELECTRIC WATER COOLER           | TSP  | TOTAL STATIC PRESSURE               |
| EWH  | ELECTRIC WATER HEATER           | TYP  | TYPICAL                             |
| EWT  | ENTERING WATER TEMPERATURE      | UNO  | UNLESS NOTED OTHERWISE              |
| F    | FAHRENHEIT                      | VAV  | VARIABLE AIR VOLUME                 |
| FCO  | FLOOR CLEANOUT                  | VFD  | VARIABLE FREQUENCY DRIVE            |
| FD   | FLOOR DRAIN                     | VRF  | VARIABLE REFRIGERANT FLOW           |
| FLA  | FULL LOAD AMPS                  | WB   | WET BULB                            |
| FFE  | FINISHED FLOOR ELEVATION        | WG   | WATER GAGE                          |
| FPI  | FINS PER INCH                   | WPD  | WATER PRESSURE DROP                 |
| HP   | HORSEPOWER                      |      |                                     |

# DESIGN

## MECHANICAL LEGEND

| GRILLES, REGISTERS, DIFFUSERS, AND LOUVERS |      |      |  | EQUIPMENT       |      |     |  |
|--|------|------|--|-----------------|------|-----|--|
| EXISTING                                   | DEMO | NEW  | DESCRIPTION                                    | EXISTING        | DEMO | NEW | DESCRIPTION                              |
|  |      | A100 | GRILLE DESIGNATION AND CFM                     |                 |      |     | MECHANICAL EQUIPMENT. REFER TO SCHEDULES |
|  |      |      | SURFACE MOUNT                                  |                 |      |     | IONIZATION UNIT                          |
|  |      |      | LAY-IN SUPPLY CEILING DIFFUSER                 |                 |      |     | SMOKE DETECTOR                           |
|  |      |      | SUPPLY WALL DIFFUSER                           |                 |      |     | MANUAL PULL STATION                      |
|  |      |      | LINEAR SLOT DIFFUSER                           | <b>CONTROLS</b> |      |     |  |
|  |      |      | RETURN/EXHAUST CEILING GRILLE                  |                 |      |     | THERMOSTAT                               |
|  |      |      | RETURN/EXHAUST WALL GRILLE                     |                 |      |     | HUMIDISTAT                               |
|  |      |      | EXHAUST LOUVER                                 |                 |      |     | SENSOR                                   |
|  |      |      | EXHAUST WALL CAP                               |                 |      |     | STATIC PRESSURE SENSOR                   |
|  |      |      | GRAVITY RELIEF HOOD                            |                 |      |     | REMOTE TEMPERATURE SENSOR                |
|  |      |      | INTAKE LOUVER                                  |                 |      |     | WALL SWITCH                              |
|  |      |      | INTAKE WALL CAP                                |                 |      |     | CONTROL WIRING                           |
|  |      |      | GRAVITY INTAKE HOOD                            |                 |      |     |  |
| DUCTWORK                                   |      |      |  |                 |      |     |  |
| EXISTING                                   | DEMO | NEW  | DESCRIPTION                                    |                 |      |     |  |
|  |      |      | RECTANGULAR DUCTWORK. REFER TO PLANS FOR SIZE. |                 |      |     |  |
|  |      |      | ROUND DUCTWORK. REFER TO PLANS FOR SIZE.       |                 |      |     |  |
|  |      |      | ROUND DUCTWORK DROP/RISE.                      |                 |      |     |  |
|  |      |      | DUCT DROP/RISE                                 |                 |      |     |  |
| PIPING                                     |      |      |  |                 |      |     |  |
| EXISTING                                   | DEMO | NEW  | DESCRIPTION                                    |                 |      |     |  |
|  |      |      | CHILLED WATER SUPPLY PIPING                    |                 |      |     |  |
|  |      |      | CHILLED WATER RETURN PIPING                    |                 |      |     |  |
|  |      |      | HOT WATER SUPPLY PIPING                        |                 |      |     |  |
|  |      |      | HOT WATER RETURN PIPING                        |                 |      |     |  |
|  |      |      | CONDENSER WATER SUPPLY PIPING                  |                 |      |     |  |
|  |      |      | CONDENSER WATER RETURN PIPING                  |                 |      |     |  |
| DAMPERS                                    |      |      |  |                 |      |     |  |
| EXISTING                                   | DEMO | NEW  | DESCRIPTION                                    |                 |      |     |  |
|  |      |      | BALANCING DAMPER                               |                 |      |     |  |
|  |      |      | MOTORIZED DAMPER                               |                 |      |     |  |
|  |      |      | FIRE DAMPER                                    |                 |      |     |  |
|  |      |      | SMOKE DAMPER                                   |                 |      |     |  |
|  |      |      | FIRE & SMOKE DAMPER                            |                 |      |     |  |

NOTES: 1. EXISTING ITEMS ON DEMO PLANS ARE "EXISTING TO REMAIN" UNLESS NOTED "EXISTING TO BE RELOCATED."  
 2. ITEMS ON NEW CONSTRUCTION PLANS ARE NEW UNLESS NOTED "RELOCATED FROM PREVIOUS LOCATION."  
 3. REFER TO SCHEDULES FOR GRILLE, REGISTER, DIFFUSER, AND LOUVER SIZES.  
 4. REFER TO DRAWINGS FOR DIRECTION OF AIRFLOW FOR DIFFUSERS. IF DIRECTIONAL ARROWS ARE NOT INCLUDED, AIRFLOW IS IN FOUR DIRECTIONS. (4-WAY GRILLE)  
 5. WALL MOUNTED CONTROL DEVICES SHALL BE MOUNTED AT 48" A.F.F.  
 6. NOT ALL ITEMS SHOWN ON THIS LIST MAY BE APPLICABLE TO THIS PROJECT.

# DELIVER

## MECHANICAL GENERAL NOTES

- CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE EXTENT OF DEMOLITION WORK AND NEW WORK NEEDED FOR THIS PROJECT, PRIOR TO SUBMITTING BID.
- CONTRACTOR SHALL BECOME FAMILIAR WITH THE PROJECT SCOPE, CONSTRAINTS, UTILITY CONNECTIONS, AND BUILDING SERVICES, PRIOR TO SUBMITTING BID.
- CONTRACTOR SHALL GIVE FIRST RIGHT TO REFUSAL OF SALVAGE TO THE OWNER. IF THE OWNER ELECTS TO NOT KEEP SALVAGE, CONTRACTOR SHALL REMOVE SALVAGE BY LAWFUL MEANS.
- DRAWINGS ARE SCHEMATIC AND DIAGRAMMATIC IN NATURE. DRAWINGS SHALL NOT BE SCALED. COORDINATE ROUTING OF SERVICES WITH SITE CONDITIONS AND WITH WORK OF OTHER TRADES.
- FIELD VERIFY DIMENSIONS PRIOR TO ORDERING, FABRICATING, AND ERECTION OF MATERIAL AND/OR EQUIPMENT. NOTIFY THE ENGINEER OF DISCREPANCIES IN A TIMELY MANNER.
- VERIFY CLEARANCE REQUIREMENTS AND ROUTING OF DUCTWORK AND PIPING PRIOR TO FABRICATION, AS MINOR MODIFICATIONS SUCH AS DUCT AND/OR PIPING RISES AND DROP MAY BE REQUIRED DUE TO FIELD CONDITIONS. MAKE MINOR MODIFICATIONS TO THE BUILDING, PIPING, SPRINKLER, DUCTWORK, ELECTRICAL, ETC. AS SHOWN ON THE DRAWINGS OR REQUIRED TO COMPLETE THE INSTALLATION OF A COMPLETED WORKABLE SYSTEM.
- MAINTAIN WEATHER-TIGHT BARRIERS TO PREVENT DAMAGE FROM THE ELEMENTS DURING DEMOLITION AND NEW CONSTRUCTION PERIOD.
- SEAL PENETRATIONS THROUGH THE BUILDING ENVELOPE.
- PENETRATIONS THROUGH RATED WALLS, FLOORS, PARTITIONS AND ASSEMBLIES SHALL BE INSTALLED AND FIRESAFED TO MEET UL FIRE RESISTANCE LISTING AND NFPA REQUIREMENTS FOR THE PENETRATION.
- COORDINATE DEVICES REQUIRING ACCESS PANELS WITH THE ARCHITECT AND OTHER TRADES.
- COORDINATE FINAL LOCATIONS AND ELEVATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION.
- COORDINATE FINAL FINISH COLORS OF MATERIALS, DEVICES, DIFFUSER, GRILLES, LOUVERS, AND/OR EQUIPMENT WITH THE ARCHITECT PRIOR TO ORDERING, FABRICATION AND INSTALLATION.
- SCHEDULE UTILITY SERVICES SHUTDOWNS WITH OWNER AND ARCHITECT. MINIMIZE DISRUPTIONS AND DOWNTIME TO THE OWNER.
- INSTALL DEVICES AND EQUIPMENT TO MEET ADA REQUIREMENTS.
- ROUTE DUCT AND PIPING CONCEALED IN INTERSTITIAL SPACE UNLESS NOTED OTHERWISE.
- DOCUMENT LOCATIONS OF DEVICES, DUCT, PIPING, AND EQUIPMENT ON "AS-BUILT" RECORD DRAWINGS AS PER THE SPECIFICATIONS.
- PAY FOR SERVICE, DEPOSITS, INSPECTION, AND CONNECTION FEES REQUIRED FOR A COMPLETE INSTALLATION. COORDINATE WITH THE UTILITY SERVICE PROVIDER FOR THE REQUIREMENTS NEEDED FOR THIS PROJECT.
- HVAC SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NFPA 90A AND NFPA 101.
- WORK SHOWN IN THE DRAWINGS SHALL COMPLY WITH APPLICABLE NATIONAL, STATE, AND LOCAL ORDINANCES AND CODES.

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 MECHANICAL ENGINEERING  
 11-05-2024

**RE-BID 2024 Building Renovations**  
**City of Alexandria SWAT Building**  
 1237 Texas Ave., Alexandria, Louisiana  
 City of Alexandria - Owner

MECHANICAL LEGEND & NOTES

DATE: DECEMBER 2024  
 REVISIONS:  
 JOB # BC2024-01

M001  
 OF

1304 BERTRAND DRIVE SUITE F7  
 LAFAYETTE, LOUISIANA 70506  
 (337) 234-7474  
 Mechanical Contact: Dustin Duval, P.E.  
 Email: dustin@meconsulting.com  
 Electrical Contact: Terry Kirsch  
 Email: terry@meconsulting.com  
 PROJECT No.: 24067.00

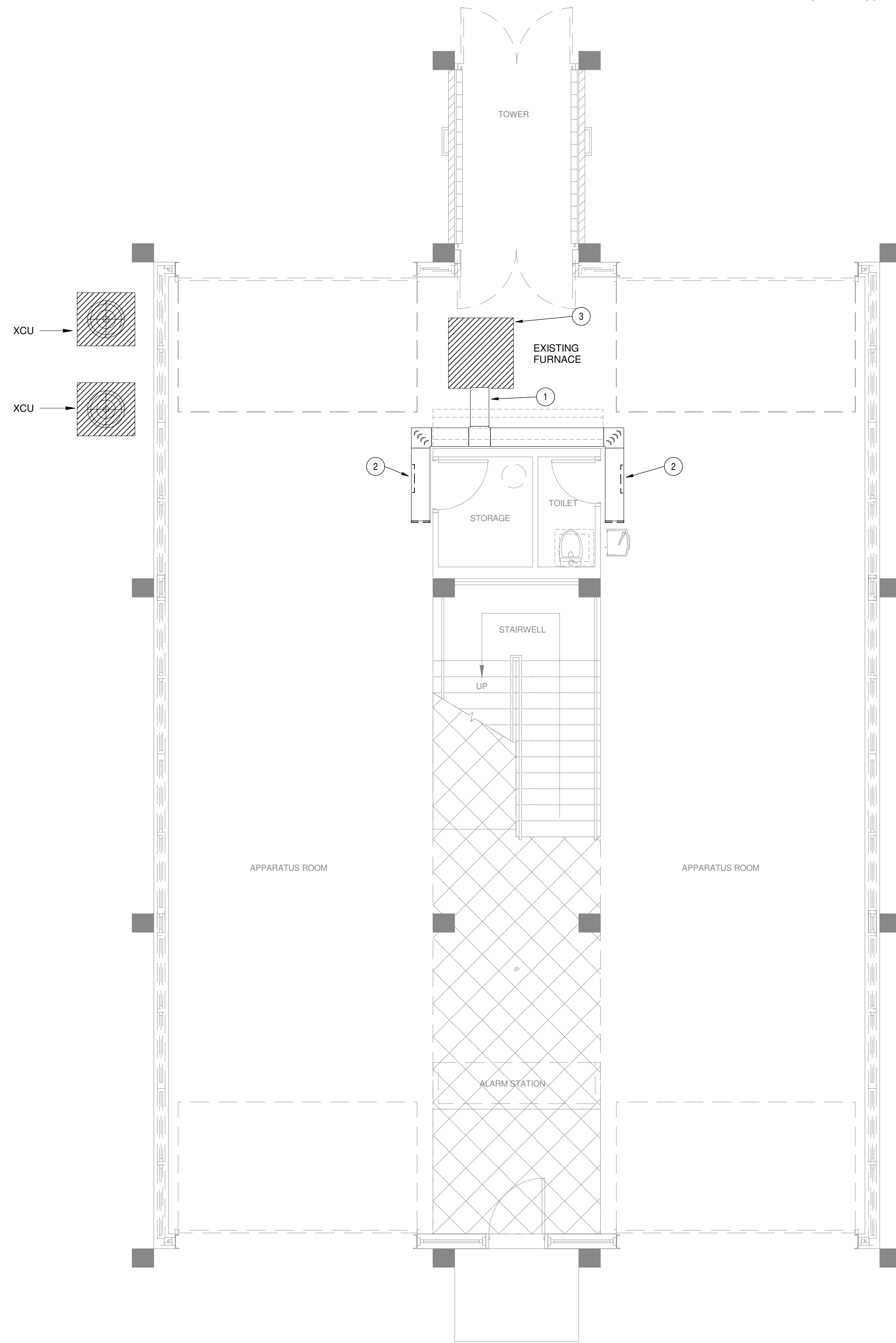


**MECHANICAL DEMOLITION KEYNOTES**

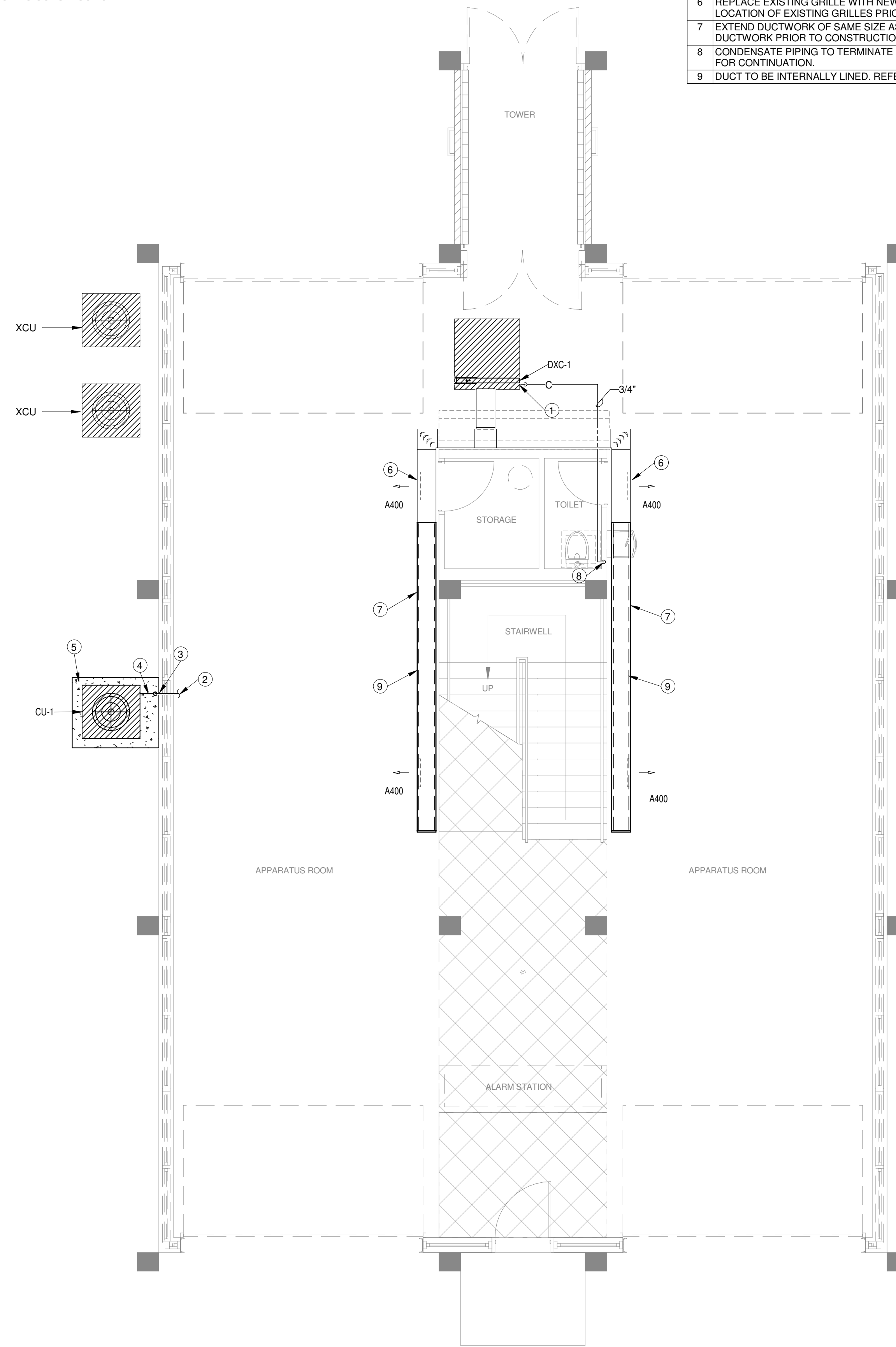
- 1 DUCT TO BE REMOVED IN THIS VICINITY PRIOR TO INSTALLING COOLING COIL. DUCT TO BE REINSTALLED UPON INSTALLATION OF COIL.
- 2 APPROXIMATE LOCATION OF EXISTING GRILLE TO BE REMOVED FOR 1:1 REPLACEMENT. REFER TO NEW FLOOR PLAN FOR CONTINUATION.
- 3 APPROXIMATE LOCATION OF EXISTING FURNACE AND PLENUM RETURN TO REMAIN. CONTRACTOR TO CONFIRM PRIOR TO CONSTRUCTION.

**MECHANICAL NOTES**

- 1 COOLING COIL TO BE INSTALLED IN EXISTING FURNACE IN THIS VICINITY.
- 2 EXTEND REFRIGERANT PIPING TO EXISTING AIR HANDLING UNIT ON FIRST FLOOR.
- 3 PROVIDE A WALL MOUNTED OUTLET FOR REFRIGERANT PIPING THROUGH THE EXTERIOR WALL. REFER TO DETAIL FOR ADDITIONAL INFORMATION.(TYPICAL)
- 4 ROUTE REFRIGERANT PIPING SECURED TO CONCRETE PAD AS DETAILED. REFRIGERANT PIPE SHALL HAVE MASTIC AND ALUMINUM JACKETING AS SPECIFIED. (TYPICAL)
- 5 4" THICK REINFORCED CONCRETE HOUSE KEEPING PAD.
- 6 REPLACE EXISTING GRILLE WITH NEW GRILLE SHOWN ON SCHEDULE. CONTRACTOR TO CONFIRM EXACT SIZE AND LOCATION OF EXISTING GRILLES PRIOR TO CONSTRUCTION. CONTRACTOR TO BALANCE GRILLES TO CFM SHOWN.
- 7 EXTEND DUCTWORK OF SAME SIZE AS EXISTING DUCTWORK. CONTRACTOR TO VERIFY SIZE OF EXISTING DUCTWORK PRIOR TO CONSTRUCTION.
- 8 CONDENSATE PIPING TO TERMINATE AT HUB DRAIN IN WALL IN THIS VICINITY. REFER TO VIEW 1 ON SHEET P201 FOR CONTINUATION.
- 9 DUCT TO BE INTERNALLY LINED. REFER TO DETAIL 6 ON SHEET M201 FOR MORE INFORMATION.



2 FIRST FLOOR MECHANICAL DEMOLITION PLAN  
1/4" = 1'-0" Refer to Architectural Drawings for All Dimensions



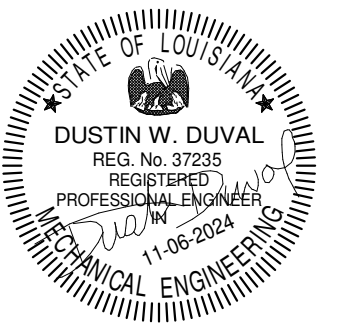
1 FIRST FLOOR MECHANICAL PLAN  
1/4" = 1'-0" Refer to Architectural Drawings for All Dimensions



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City of Alexandria - Owner

MECHANICAL PLAN  
DATE: DECEMBER 2024  
REVISIONS:  
JOB # BC2024-01

M101  
OF



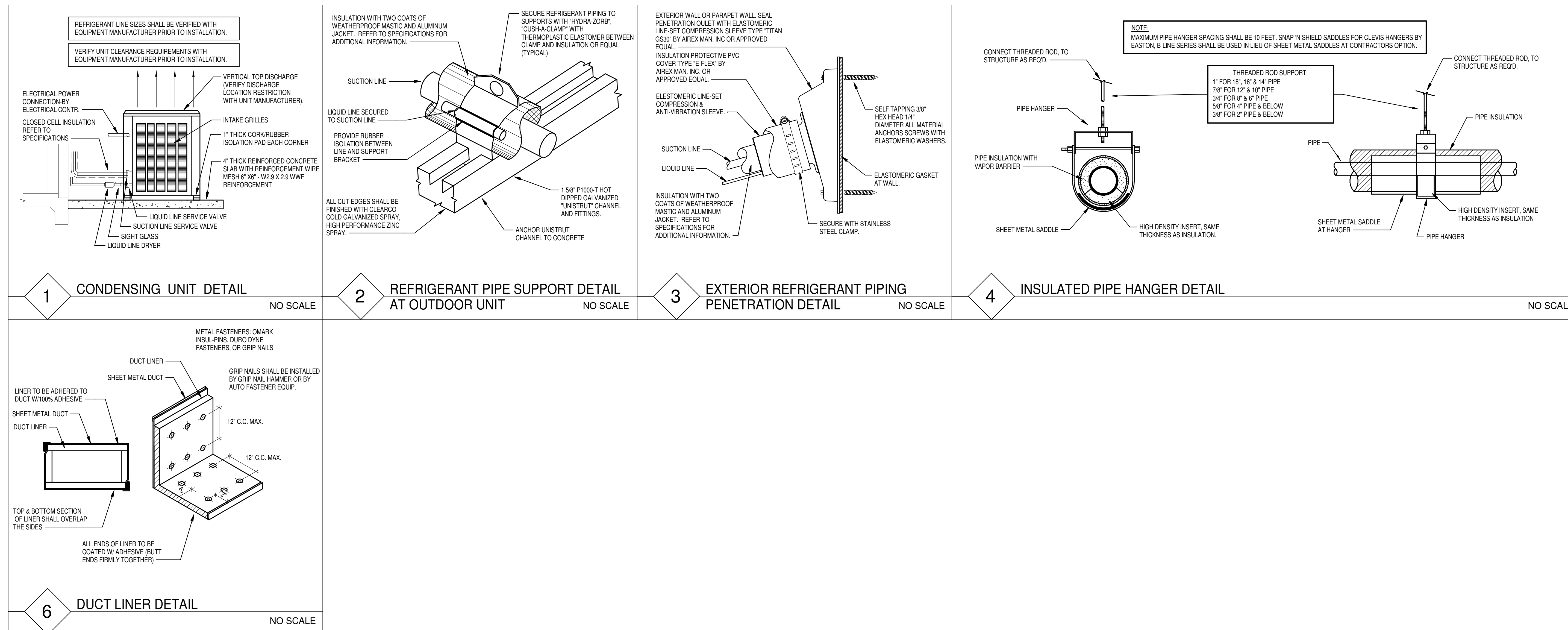
| DX COIL SCHEDULE |               |                   |                  |                 |                   |                     |
|------------------|---------------|-------------------|------------------|-----------------|-------------------|---------------------|
| UNIT NO.         | SERVICE       | COOLING           |                  |                 |                   | BASIS OF DESIGN     |
|                  |               | MIN. BTU/H OUTPUT | EVAP. TEMP. (°F) | AMB. TEMP. (°F) | E.A.T. (°F) DB WB |                     |
| DXC-1            | 1ST FLOOR AHU | 48000             | 45               | 95              | 77 64             | LENNOX CHX35-48C-6F |

| AIR COOLED CONDENSING UNIT SCHEDULE |         |            |             |            |             |         |       |           |                  |                        |
|-------------------------------------|---------|------------|-------------|------------|-------------|---------|-------|-----------|------------------|------------------------|
| UNIT NO.                            | SERVICE | MIN. BTU/H | EVAP. TEMP. | AMB. TEMP. | UNIT F.L.A. | VOLTAGE | PHASE | SEER/EEER | REFRIGERANT TYPE | BASIS OF DESIGN        |
| CU-1                                | DXC-1   | 48000      | 45          | 95         | 23          | 240     | 1     | 14        | R-410A           | LENNOX ML17XC1-048-230 |

NOTES: 1. PROVIDE SINGLE POINT POWER CONNECTION.  
2. PROVIDE UNIT WITH A WALL MOUNTED OUTLET FOR REFRIGERANT PIPING THROUGH EXTERIOR WALL, AIREX MANUFACTURING TITAN MODEL TGS, WESTATLANTIC TECH CORP. OR EQUAL.

| DIFFUSER/GRILLE SCHEDULE |        |         |          |        |        |                             |
|--------------------------|--------|---------|----------|--------|--------|-----------------------------|
| SYMBOL                   | SIZE   | SERVICE | LOCATION | FINISH | O.B.D. | BASIS OF DESIGN             |
| A                        | 6"X18" | SUPPLY  | DUCT     | WHITE  | O.B.D. | TITUS 3FS-1 (SURFACE MOUNT) |

NOTES: 1. COORDINATE FINAL FINISHES AND COLOR WITH ARCHITECT.  
2. REFER TO PLANS FOR DIRECTION OF AIR FLOW FOR GRILLES. IF DIRECTION IS NOT INDICATED, AIR FLOW IS IN FOUR DIRECTION (4-WAY GRILLE).  
3. ALL DIFFUSERS SHALL HAVE ALUMINUM CONSTRUCTION.



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11-08-2024

**RE-BID 2024 Building Renovations**  
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1237 Texas Ave., Alexandria, Louisiana

City of Alexandria - Owner

MECHANICAL SCHEDULES AND DETAILS

DATE: DECEMBER 2024  
JOB #: BC2024-01

REVISIONS:

M201  
OF

**M&E CONSULTING**

1304 BERTRAND DRIVE SUITE F7  
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Email: dustin@meconsulting.com  
Electrical Contact: Terry Kirsch  
Email: terry@meconsulting.com

PROJECT No.: 24067.00



# DEFINE

## PLUMBING ABBREVIATIONS

|      |                                 |      |                                    |
|------|---------------------------------|------|------------------------------------|
| AD   | ACCESS DOOR                     | HP   | HORSE POWER                        |
| ADA  | AMERICANS WITH DISABILITIES ACT | HS   | HOSE STATION                       |
| AFF  | ABOVE FINISHED FLOOR            | HW   | HAND WASH                          |
| AV   | ACID VENT                       | ICE  | ICE MACHINE WATER CONNECTION       |
| AW   | ACID WASTE                      | L    | LAVATORY                           |
| BOP  | BOTTOM OF PIPE                  | LS   | LIFT STATION (SANITARY SEWER)      |
| BP   | BACKFLOW PREVENTER              | MH   | MANHOLE                            |
| BT   | BATH TUB                        | MV   | MIXING VALVE                       |
| BTUH | BRITISH THERMAL UNITS PER HOUR  | N.O. | NORMALLY OPEN                      |
| C    | CONDENSATE DRAIN LINE           | N.C. | NORMALLY CLOSED                    |
| CA   | COMPRESSED AIR LINE             | NTS  | NOT TO SCALE                       |
| CB   | CATCH BASIN                     | P    | PUMP                               |
| CFM  | CUBIC FEET PER MINUTE           | PIV  | POST INDICATING VALVE              |
| CI   | CAST IRON                       | PRV  | PRESSURE REDUCING VALVE            |
| CO   | CLEANOUT                        | PSIG | POUNDS PER SQUARE INCH GAGE        |
| CSS  | CLINIC SERVICE SINK             | PT   | PLASTER TRAP                       |
| CP   | CIRCULATING WATER PUMP          | REF  | REFRIGERATOR WATER CONNECTION BOX  |
| D    | DRAIN LINE                      | RD   | ROOF DRAIN                         |
| DF   | DRINKING FOUNTAIN               | RPM  | REVOLUTIONS PER MINUTE             |
| DCW  | DOMESTIC COLD WATER LINE        | SAN  | SANITARY SEWER                     |
| DHR  | DOMESTIC HOT WATER RETURN LINE  | SD   | STORM DRAIN                        |
| DHW  | DOMESTIC HOT WATER LINE         | SF   | SQUARE FOOT                        |
| DS   | DRENCH SHOWER                   | SH   | SHOWER                             |
| DSEW | DRENCH SHOWER WITH EYE WASH     | SK   | SINK                               |
| DT   | DILUTION TRAP                   | SMH  | SEWER MANHOLE                      |
| DW   | DISHWASHER                      | SS   | SERVICE SINK                       |
| ET   | EXPANSION TANK                  | STP  | SEWER TREATMENT PLANT              |
| EW   | EYE WASH                        | TD   | TRENCH DRAIN                       |
| EWC  | ELECTRIC WATER COOLER           | TP   | TRAP PRIMER                        |
| EWH  | ELECTRIC WATER HEATER           | TYP  | TYPICAL                            |
| FCO  | FLOOR CLEANOUT                  | U    | URINAL                             |
| FD   | FLOOR DRAIN                     | UNO  | UNLESS NOTED OTHERWISE             |
| FDC  | FIRE DEPARTMENT CONNECTION      | V    | VENT                               |
| FFE  | FINISHED FLOOR ELEVATION        | VAC  | VACUUM                             |
| FH   | FIRE HYDRANT                    | VB   | VACUUM BREAKER                     |
| FS   | FLOOR SINK                      | VTR  | VENT THRU ROOF                     |
| GD   | GARBAGE DISPOSAL                | W    | WASHER WATER/DRAIN CONNECTION LINE |
| GPH  | GALLONS PER HOUR                | WC   | WATER CLOSET                       |
| GPM  | GALLONS PER MINUTE              | WCO  | WALL CLEANOUT                      |
| GT   | GREASE TRAP                     | WF   | WASH FOUNTAIN                      |
| GWH  | GAS FIRED WATER HEATER          | WG   | WATER GAGE                         |
| HB   | HOSE BIB                        | WP   | WHIRL POOL                         |
| HD   | HUB DRAIN                       | ZVB  | ZONE VALVE BOX (MEDICAL GAS)       |

# DESIGN

## PLUMBING LEGEND

| PIPING       |           |           |  | VALVES         |       |     |                                       |
|--------------|-----------|-----------|--|----------------|-------|-----|---------------------------------------|
| EXISTING     | DEMO      | NEW       | DESCRIPTION                            | EXISTING       | DEMO  | NEW | DESCRIPTION                           |
| ---          | --DCW--   | ---       | DOMESTIC COLD WATER LINE               | ---            | --S-- | --- | BALL VALVE (SHUT-OFF)                 |
| ---          | --DHW--   | ---       | DOMESTIC HOT WATER LINE (110°)         | ---            | --S-- | --- | BALL VALVE (SHUT-OFF)                 |
| ---          | --DHR--   | ---       | DOMESTIC HOT WATER RETURN LINE         | ---            | --S-- | --- | SHUT-OFF VALVE IN CAST IRON VALVE BOX |
| --(X°F)--    | --(X°F)-- | --(X°F)-- | DOMESTIC HOT WATER LINE (X=TEMP.)      | ---            | --S-- | --- | CALIBRATED BALANCING VALVE            |
| ---          | ---       | ---       | SANITARY SEWER LINE (SAN)              | ---            | ---   | --- | CHECK VALVE                           |
| ---          | ---       | ---       | SANITARY SEWER VENT LINE               | ---            | ---   | --- | OS&Y VALVE                            |
| --SD--       | --SD--    | --SD--    | STORM DRAIN LINE (PRIMARY)             | ---            | ---   | --- | GAS COCK                              |
| --OSD--      | --OSD--   | --OSD--   | OVERFLOW STORM DRAIN LINE (SECONDARY)  | ---            | ---   | --- | BUTTERFLY VALVE                       |
| --C--        | --C--     | --C--     | CONDENSATE DRAIN LINE                  | ---            | ---   | --- | VALVE IN RISE                         |
| --GW--       | --GW--    | --GW--    | GREASE WASTE DRAIN LINE                | ---            | ---   | --- | 2-WAY CONTROL VALVE                   |
| --AW--       | --AW--    | --AW--    | ACID WASTE DRAIN LINE                  | ---            | ---   | --- | 3-WAY CONTROL VALVE                   |
| --F--        | --F--     | --F--     | FIRE MAIN WATER LINE                   | EQUIPMENT      |       |     |                                       |
| ---          | ---       | ---       | SPRINKLER LINE                         | EXISTING       | DEMO  | NEW | DESCRIPTION                           |
| ---          | ---       | ---       | NATURAL GAS LINE                       | ---            | ---   | --- | PLUMBING FIXTURES                     |
| ---          | ---       | ---       | PROPANE GAS LINE                       | ---            | ---   | --- | METER                                 |
| ---          | ---       | ---       | COMPRESSED AIR LINE                    | ---            | ---   | --- | REGULATOR                             |
| ---          | ---       | ---       | REVERSE OSMOSIS PURE WATER SUPPLY LINE | SYMBOL (MISC.) |       |     |                                       |
| ---          | ---       | ---       | REVERSE OSMOSIS PURE WATER RETURN LINE | EXISTING       | DEMO  | NEW | DESCRIPTION                           |
| ---          | ---       | ---       | DIONIZED PURE WATER SUPPLY LINE        | ---            | ---   | --- | CONNECT TO EXISTING SERVICES          |
| ---          | ---       | ---       | OXYGEN LINE (MEDICAL)                  |                |       |     |                                       |
| ---          | ---       | ---       | VACUUM LINE (MEDICAL)                  |                |       |     |                                       |
| ---          | ---       | ---       | NITROGEN LINE (MEDICAL)                |                |       |     |                                       |
| ---          | ---       | ---       | NITROUS OXIDE (MEDICAL)                |                |       |     |                                       |
| ---          | ---       | ---       | AIR (MEDICAL)                          |                |       |     |                                       |
| ---          | ---       | ---       | WASTE ANESTHETIC GAS DISPOSAL          |                |       |     |                                       |
| PIPE FITTING |           |           |  |                |       |     |                                       |
| EXISTING     | DEMO      | NEW       | DESCRIPTION                            |                |       |     |                                       |
| ---          | ---       | ---       | CAPPED PIPE                            |                |       |     |                                       |
| ---          | ---       | ---       | PIPE RISE                              |                |       |     |                                       |
| ---          | ---       | ---       | PIPE DROP                              |                |       |     |                                       |
| ---          | ---       | ---       | UNION                                  |                |       |     |                                       |
| ---          | ---       | ---       | DIRECTION OF FLOW                      |                |       |     |                                       |
| ---          | ---       | ---       | PIPE SUPPORT OR BRACING                |                |       |     |                                       |
| ---          | ---       | ---       | PIPE CONNECTION (TOP)                  |                |       |     |                                       |
| ---          | ---       | ---       | PIPE CONNECTION (BOTTOM)               |                |       |     |                                       |
| ---          | ---       | ---       | PIPE CONNECTION (SIDE)                 |                |       |     |                                       |
| ---          | ---       | ---       | CAPPED OUTLET TOP                      |                |       |     |                                       |
| ---          | ---       | ---       | PIPE REDUCER AND/OR INCREASER          |                |       |     |                                       |

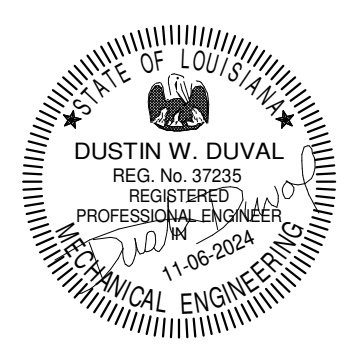
NOTES: 1. EXISTING ITEMS ON DEMO PLANS ARE "EXISTING TO REMAIN" UNLESS NOTED "EXISTING TO BE RELOCATED."  
 2. ITEMS ON NEW CONSTRUCTION PLANS ARE NEW UNLESS NOTED "RELOCATED FROM PREVIOUS LOCATION". REFER TO SCHEDULES AND SPECIFICATIONS FOR PLUMBING FIXTURES.  
 3. NOT ALL ITEMS SHOWN ON THIS LIST MAY BE APPLICABLE TO THIS PROJECT.

# DELIVER

## PLUMBING GENERAL NOTES

- CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE EXTENT OF DEMOLITION WORK AND NEW WORK NEEDED FOR THIS PROJECT, PRIOR TO SUBMITTING BID.
- CONTRACTOR SHALL BECOME FAMILIAR WITH THE PROJECT SCOPE, CONSTRAINTS, UTILITY CONNECTIONS, AND BUILDING SERVICES, PRIOR TO SUBMITTING BID.
- CONTRACTOR SHALL GIVE FIRST RIGHT TO REFUSAL OF SALVAGE TO THE OWNER. IF THE OWNER ELECTS TO NOT KEEP SALVAGE, CONTRACTOR SHALL REMOVE SALVAGE BY LAWFUL MEANS.
- DRAWINGS ARE SCHEMATIC AND DIAGRAMMATIC IN NATURE. DRAWINGS SHALL NOT BE SCALED. COORDINATE ROUTING OF SERVICES WITH SITE CONDITIONS AND WITH WORK OF OTHER TRADES.
- FIELD VERIFY DIMENSIONS PRIOR TO ORDERING, FABRICATING, AND ERECTION OF MATERIAL AND/OR EQUIPMENT. NOTIFY THE ENGINEER OF DISCREPANCIES IN A TIMELY MANNER.
- VERIFY CLEARANCE REQUIREMENTS AND ROUTING OF PIPING PRIOR TO FABRICATION, AS MINOR MODIFICATIONS SUCH AS PIPING RISES AND DROP MAY BE REQUIRED DUE TO FIELD CONDITIONS. MAKE MINOR MODIFICATIONS TO THE BUILDING, PIPING, SPRINKLER, DUCTWORK, ELECTRICAL, ETC. AS SHOWN ON THE DRAWINGS OR REQUIRED TO COMPLETE THE INSTALLATION OF A COMPLETED WORKABLE SYSTEM.
- MAINTAIN WEATHER-TIGHT BARRIERS TO PREVENT DAMAGE FROM THE ELEMENTS DURING DEMOLITION AND NEW CONSTRUCTION PERIOD.
- SEAL PENETRATIONS THROUGH THE BUILDING ENVELOPE.
- PENETRATIONS THROUGH RATED WALLS, FLOORS, PARTITIONS AND ASSEMBLIES SHALL BE INSTALLED AND FIRESAFED TO MEET UL FIRE RESISTANCE LISTING AND NFPA REQUIREMENTS FOR THE PENETRATION.
- COORDINATE DEVICES REQUIRING ACCESS PANELS WITH THE ARCHITECT AND OTHER TRADES.
- MAINTAIN MINIMUM CLEARANCE 10'-0" BETWEEN OUTSIDE INTAKES AND EXHAUST OUTLETS AND PLUMBING VENTS.
- COORDINATE FINAL LOCATIONS AND ELEVATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION.
- COORDINATE FINAL FINISH COLORS OF MATERIALS, DEVICES, AND/OR EQUIPMENT WITH THE ARCHITECT PRIOR TO ORDERING, FABRICATION AND INSTALLATION.
- SCHEDULE UTILITY SERVICES SHUTDOWNS WITH OWNER AND ARCHITECT. MINIMIZE DISRUPTIONS AND DOWNTIME TO THE OWNER.
- INSTALL DEVICES AND EQUIPMENT TO MEET ADA REQUIREMENTS.
- ROUTE PIPING CONCEALED IN INTERSTITIAL SPACE UNLESS NOTED OTHERWISE.
- DOCUMENT LOCATIONS OF DEVICES, PIPING, AND EQUIPMENT ON "AS-BUILT" RECORD DRAWINGS AS PER THE SPECIFICATIONS.
- PAY FOR SERVICE, DEPOSITS, INSPECTION, AND CONNECTION FEES REQUIRED FOR A COMPLETE INSTALLATION. COORDINATE WITH THE UTILITY SERVICE PROVIDER FOR THE REQUIREMENTS NEEDED FOR THIS PROJECT.
- WORK SHOWN IN THE DRAWINGS SHALL COMPLY WITH APPLICABLE NATIONAL, STATE, AND LOCAL ORDINANCES AND CODES.
- ALL EXPOSED DOMESTIC COLD AND HOT WATER PIPING WITHIN THE BUILDING SHALL HAVE FIELD INSTALL PVC JACKET.
- WATER HAMMER ARRESTER(S) SHALL BE INSTALLED ON PIPING SYSTEMS AND AT QUICK-CLOSING VALVES AS PER MANUFACTURER'S RECOMMENDATIONS.

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**RE-BID 2024 Building Renovations**  
**City of Alexandria SWAT Building**  
 1237 Texas Ave., Alexandria, Louisiana  
 City of Alexandria - Owner

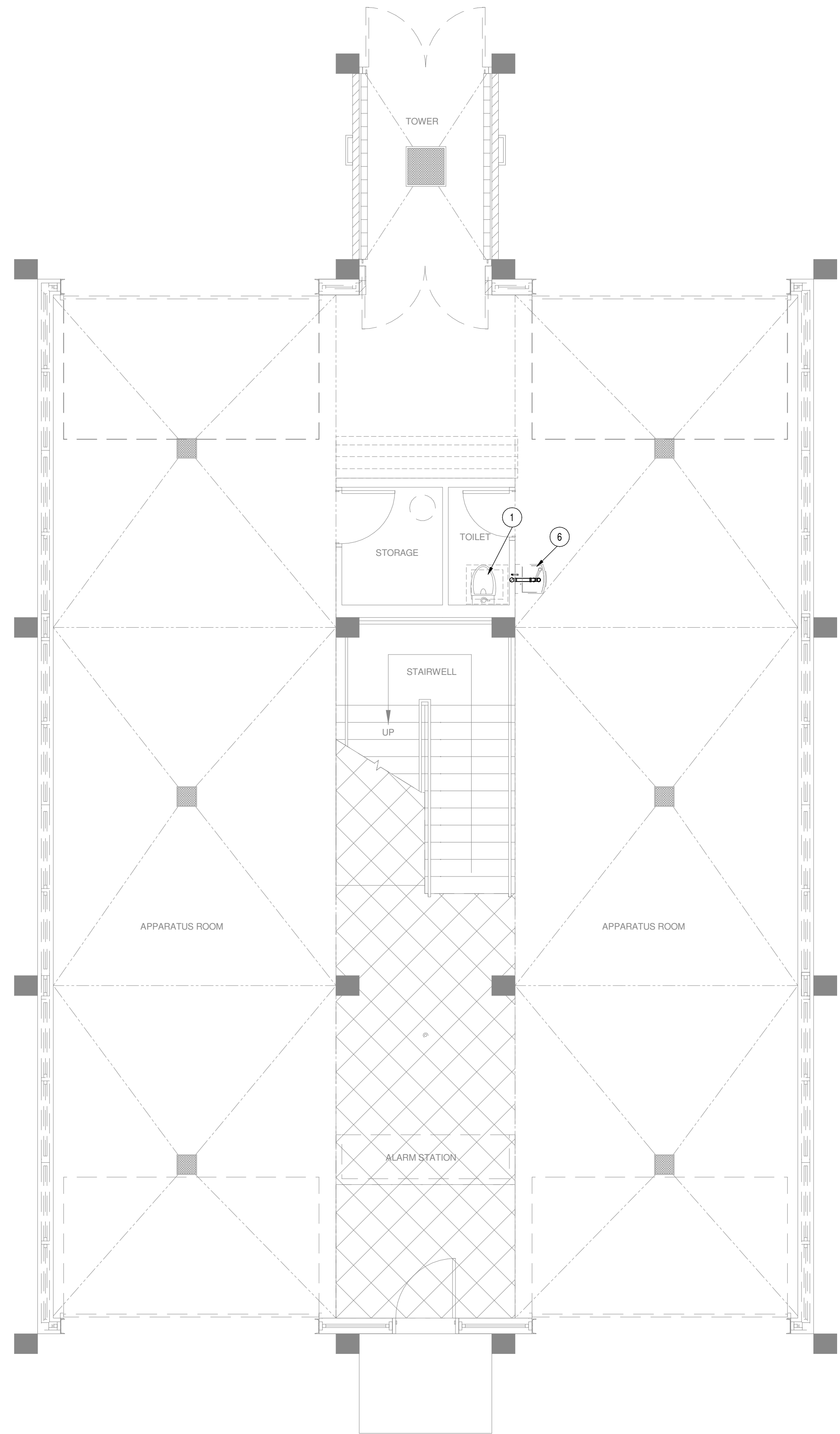
PLUMBING LEGEND & NOTES

DATE: DECEMBER 2024  
 REVISIONS:  
 JOB #  
 BC2024-01

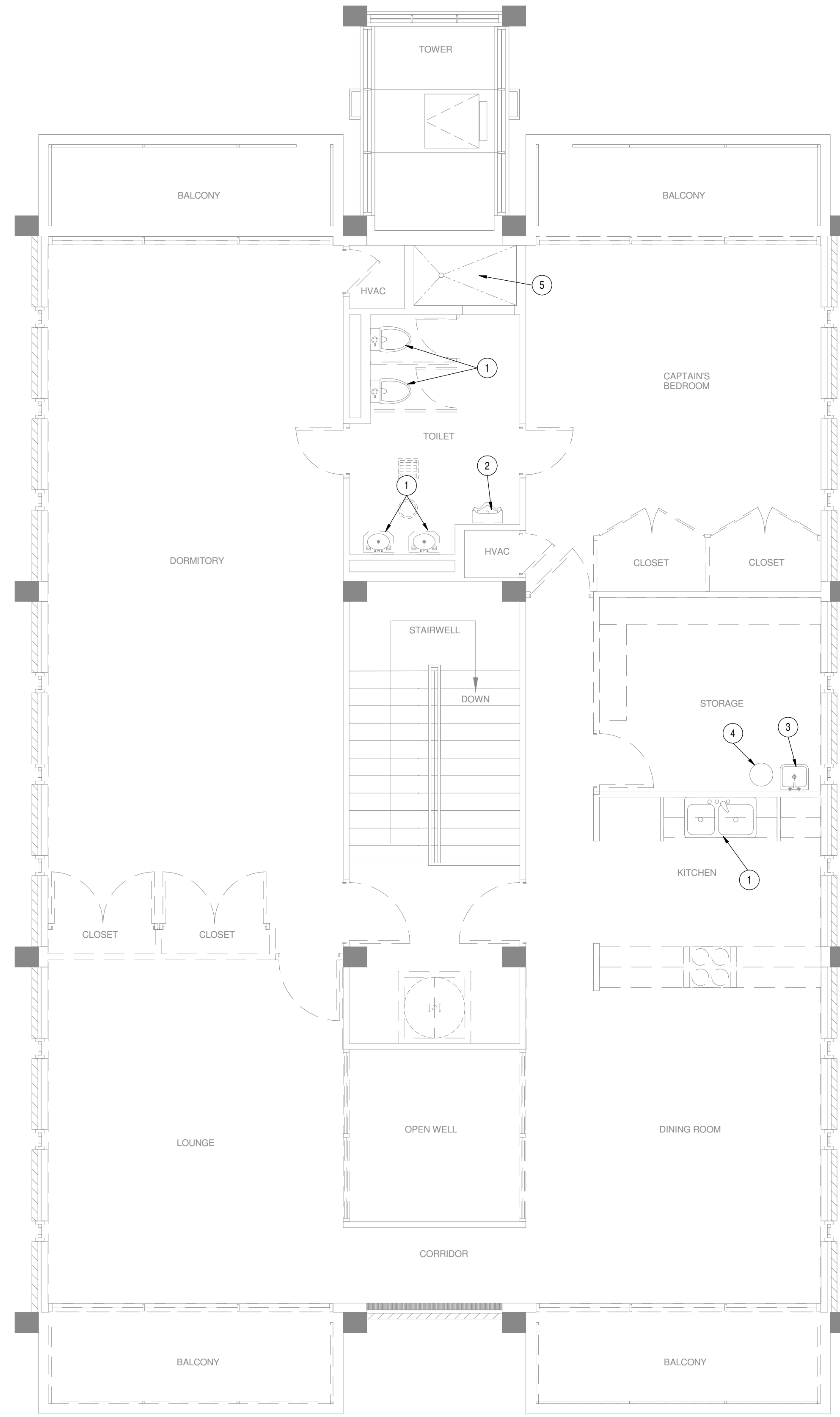
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1304 BERTRAND DRIVE SUITE F7  
 LAFAYETTE, LOUISIANA 70506  
 (337) 234-7474  
 Mechanical Contact: Dustin Duval, P.E.  
 Email: dustin@meconsulting.com  
 Electrical Contact: Terry Kirsch  
 Email: terry@meconsulting.com  
 PROJECT No.: 24067.00





① FIRST FLOOR PLUMBING DEMOLITION PLAN  
1/4" = 1'-0" Refer to Architectural Drawings for All Dimensions



② SECOND FLOOR PLUMBING DEMOLITION PLAN  
1/4" = 1'-0" Refer to Architectural Drawings for All Dimensions

- PLUMBING DEMOLITION KEYNOTES**
- ① EXISTING FIXTURE TO BE REMOVED AND REPLACED WITH NEW FIXTURE IN THE SAME LOCATION. REFER TO SHEET P201 FOR NEW PLUMBING PLAN.
  - ② EXISTING URINAL TO REMAIN. TRIM TO BE REPLACED.
  - ③ EXISTING SINK TO REMAIN. TRIM TO BE REPLACED.
  - ④ EXISTING WATER HEATER TO BE REMOVED AND REPLACED WITH NEW WATER HEATER IN SAME LOCATION.
  - ⑤ EXISTING SHOWER TO REMAIN. TRIM TO BE REPLACED.
  - ⑥ EXISTING FIXTURE TO BE REMOVED AND REPLACED WITH NEW FIXTURE IN NEW LOCATION. REFER TO SHEET P201 FOR NEW PLUMBING PLAN.



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Electrical Contact: Terry Kirsch  
Email: terry@meconsulting.com  
PROJECT No.: 24067.00



PLUMBING DEMOLITION PLAN

REVISIONS:

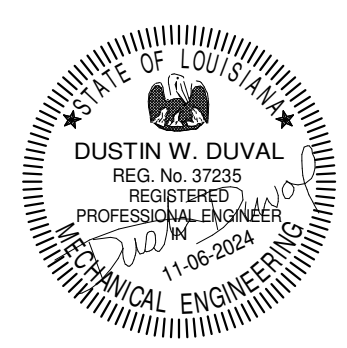
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BC2024-01

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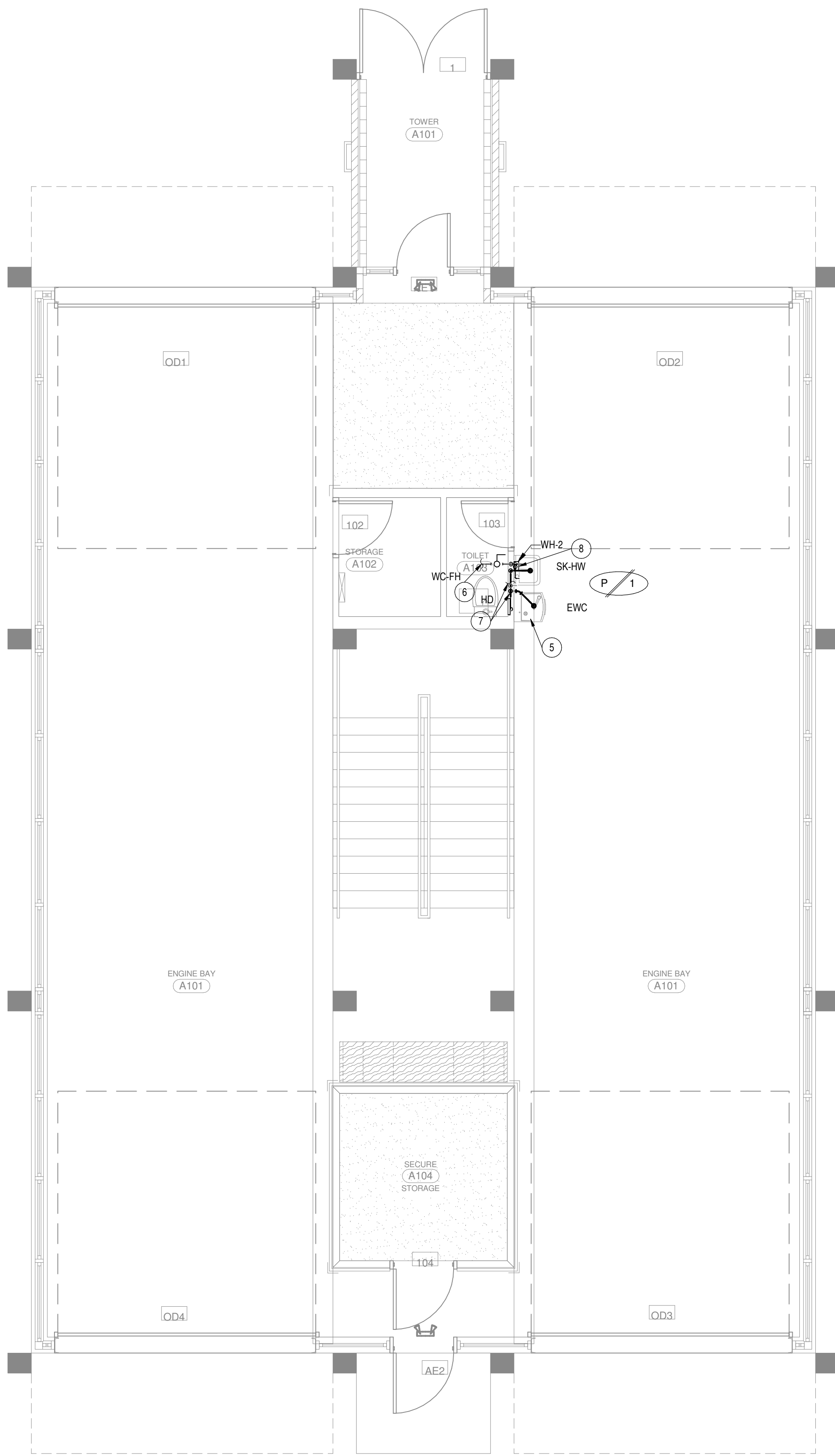
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1237 Texas Ave., Alexandria, Louisiana City of Alexandria - Owner



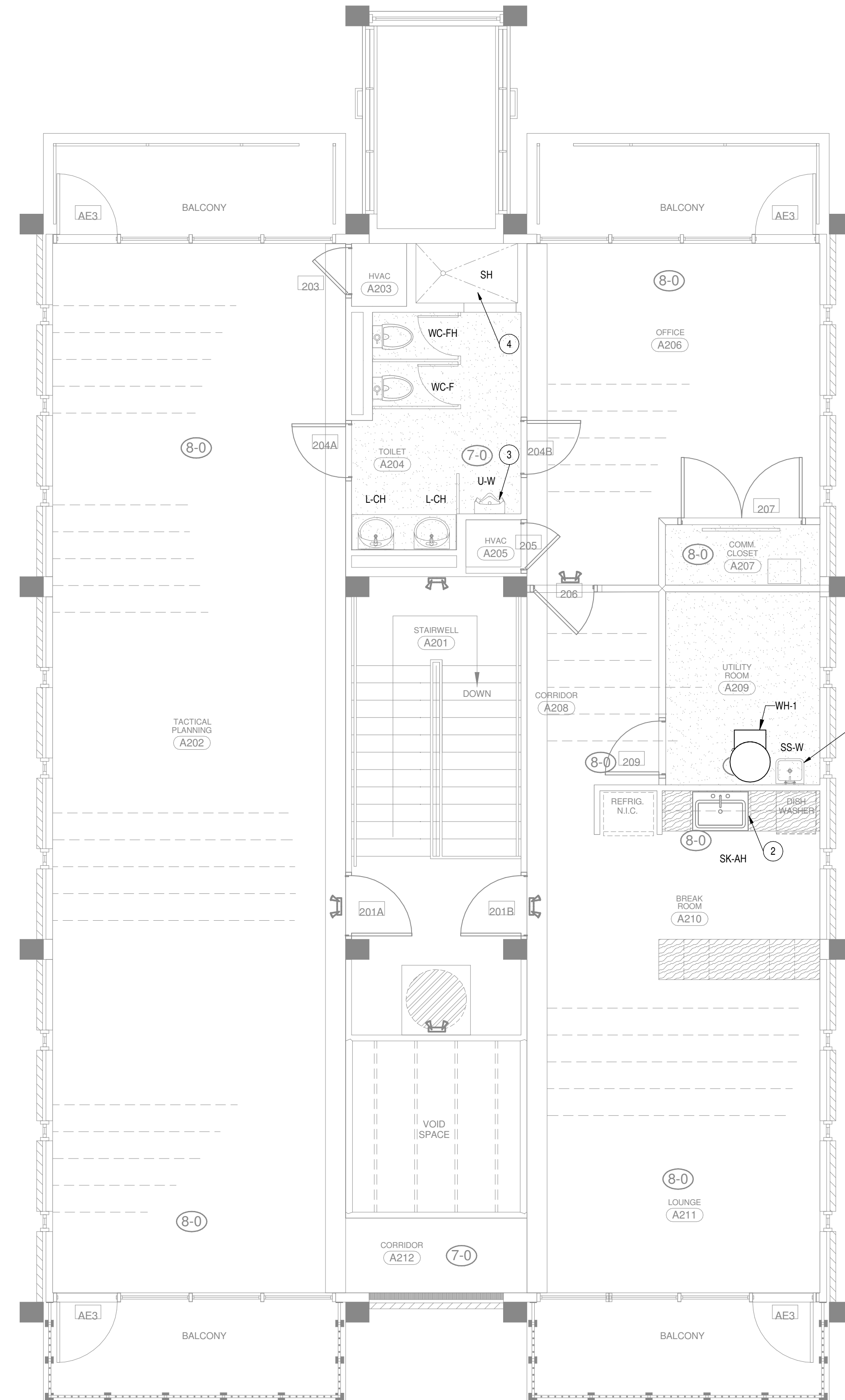
**Braddock Companies, LLC**  
Architecture - Design Build - Custom Residential  
4024 Jackson Street  
Alexandria, Louisiana 71303  
Ph 318-704-4393  
info@braddockcompanies.com







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1/4" = 1'-0" Refer to Architectural Drawings for All Dimensions



② SECOND FLOOR PLUMBING PLAN  
1/4" = 1'-0" Refer to Architectural Drawings for All Dimensions

**PLUMBING KEYNOTES**

- ① EXISTING UTILITY SINK TO HAVE NEW TRIM. REFER TO PLUMBING SCHEDULES FOR MORE INFORMATION.
- ② EXTEND DRAIN LINE AND HOT WATER LINE TO DISHWASHER BELOW COUNTER.
- ③ EXISTING URINAL TO HAVE NEW TRIM. REFER TO PLUMBING SCHEDULES FOR MORE INFORMATION.
- ④ EXISTING SHOWER TO HAVE NEW TRIM. REFER TO PLUMBING SCHEDULES FOR MORE INFORMATION.
- ⑤ EXISTING WATER COOLER RELOCATED IN THIS VICINITY. EXTEND EXISTING P-TRAP AND WATER LINE TO ACCOMMODATE NEW LOCATION.
- ⑥ CONNECT TO EXISTING DOMESTIC WATER ABOVE THE CEILING IN THIS VICINITY.
- ⑦ CONNECT TO EXISTING SANITARY RISER IN WALL ABOVE GRADE IN THIS VICINITY. EXTEND AND CONNECT NEW VENT LINE TO EXISTING VENT IN THIS WALL.
- ⑧ INSTANTANEOUS WATER HEATER MOUNTED ON WALL BELOW SINK.
- ⑨ CONNECT TO EXISTING SANITARY SEWER AND VENT PIPING IN THIS VICINITY.



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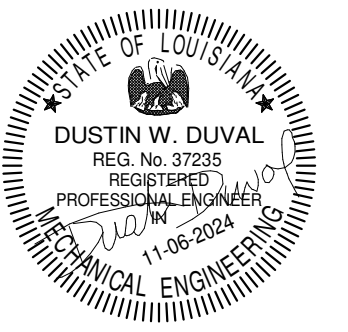
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| PLUMBING PLAN | DATE: DECEMBER 2024 | REVISIONS: |
|               | JOB # BC2024-01     |            |

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OF





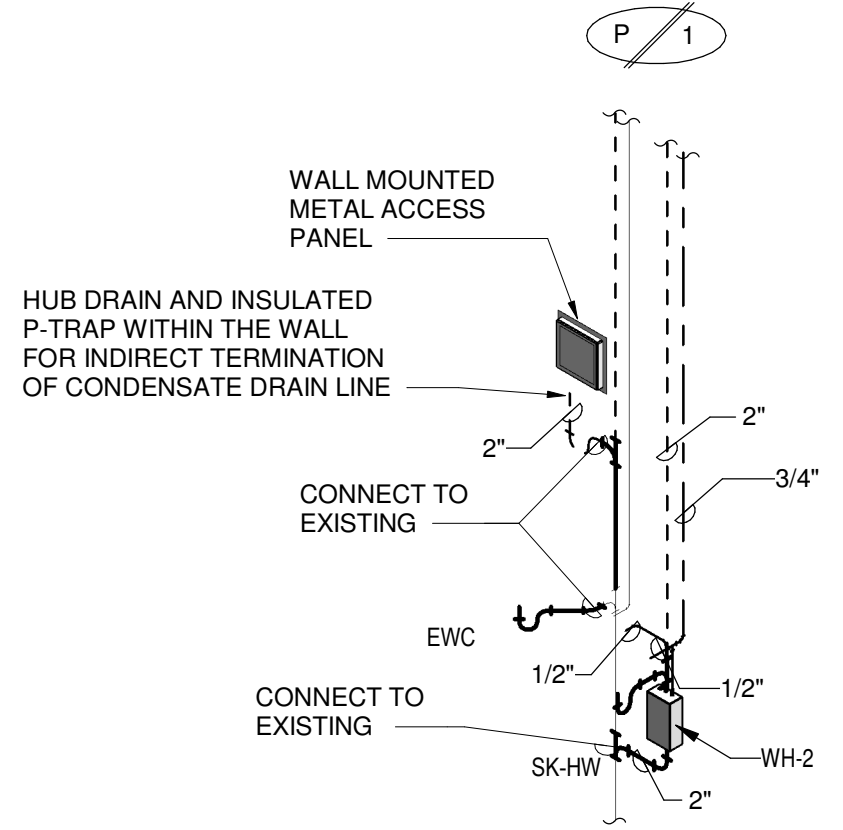
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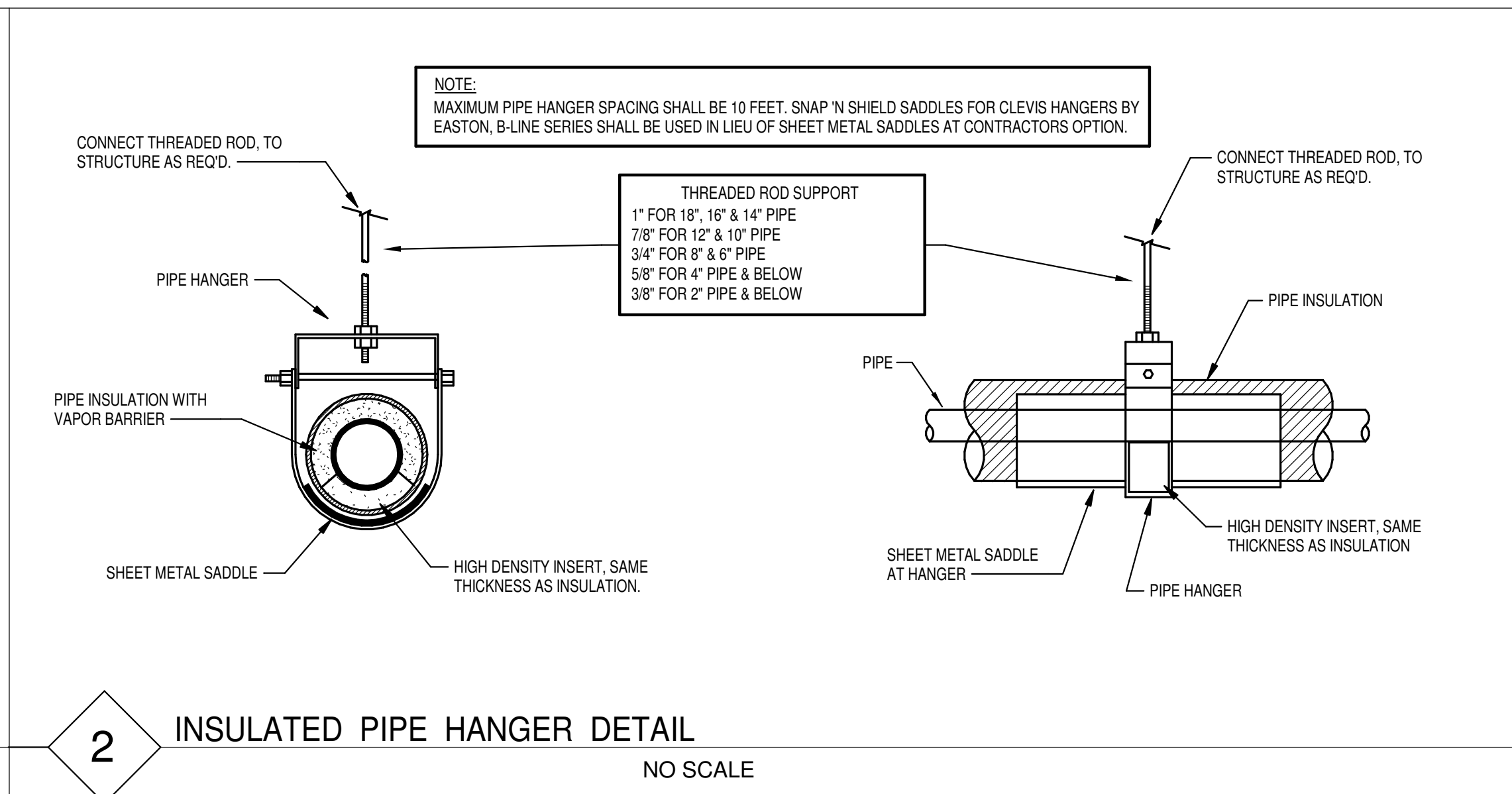
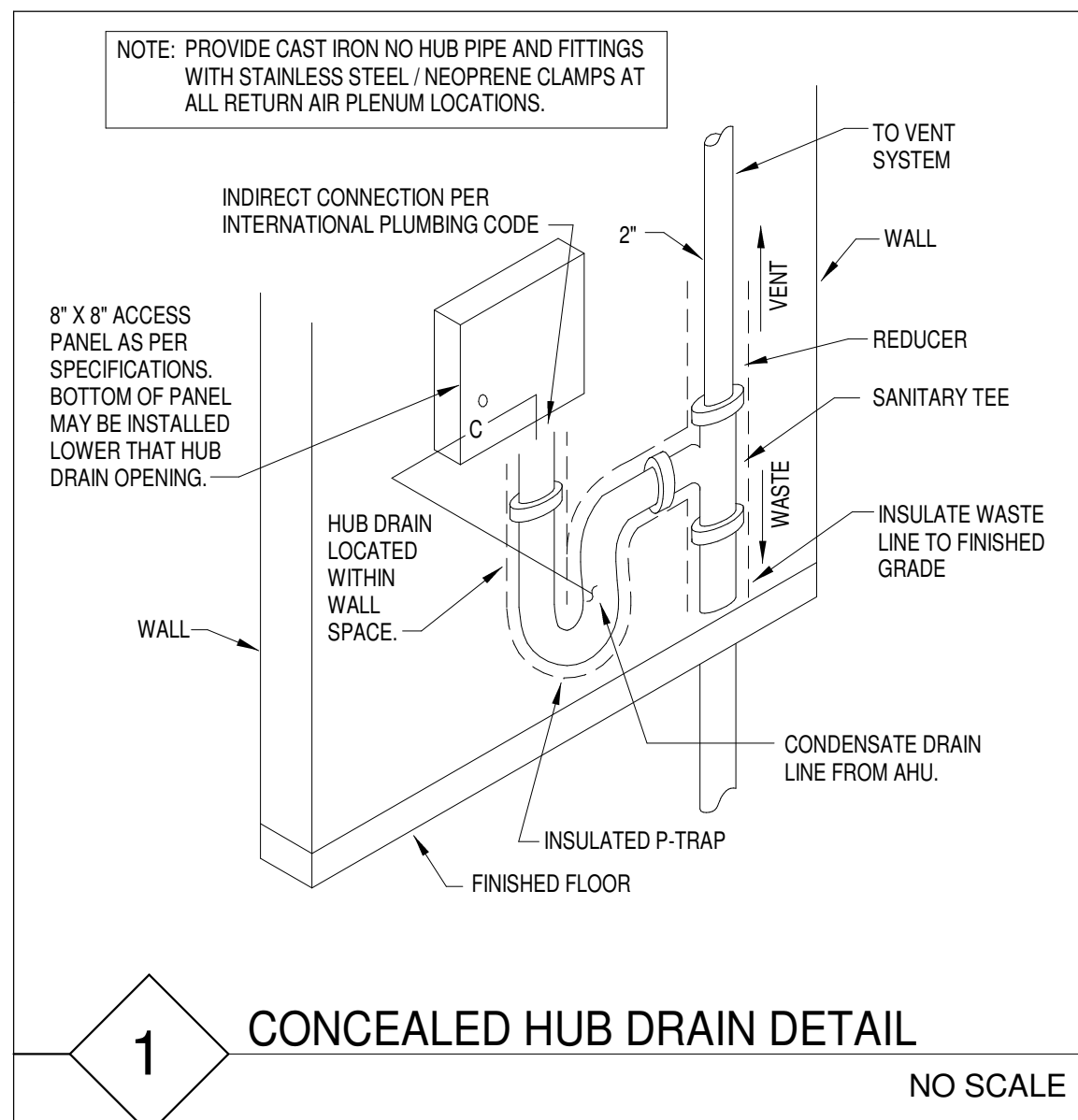
**PLUMBING FIXTURE SCHEDULE**

| LABEL | FIXTURE TYPE            | MANUFACTURER  | PIPE CONNECTION |      |       |        | SPECIFICATION   |
|-------|-------------------------|---|-----------------|------|-------|--------|---|
|       |                         |   | C.W.            | H.W. | WASTE | VENT   |   |
| EWC   | ELECTRONIC WATER COOLER | ELKAY EZSS, OASIS P8AC                                | 1/2"            | -    | 2"    | 2"     | WALL MOUNTED ELECTRIC WATER COOLER FOR HANDICAPPED USE, WITH A CAPACITY OF 8.0 GPH OF 50°F WATER AT A ROOM TEMPERATURE OF 90°F AND INLET WATER TEMPERATURE OF 80°F; 3/8" ANGLE SUPPLIES WITH STOP AND 1-1/4" CAST BRASS P-TRAP WITH CLEANOUT PLUG. FINISH TO BE STAINLESS STEEL. UNIT SHALL BE COMPLETE WITH WADE 400-AM11 (MIFAB MC-32, JOSAM 17560) UNIVERSAL HANGER PLATE CARRIER WITH PIPE UPRIGHTS, WELDED BASE FEET AND SUPPORT HARDWARE. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHT. INSTALL PER A.D.A. REQUIREMENTS. CAULK AROUND PERIMETER OF FIXTURE   |
| HD    | HUB DRAIN               | SURESEAL SS2009V, TRAP GUARD TG-221P, MIFAB MI-GARD-2 | -               | -    | 2"    | 1 1/2" | DRAIN TRAP SEALER FOR 2" DIAMETER CONDENSATE HUB DRAIN.   |
| L-CH  | LAVATORY                | KOHLER K-2196-4, AMERICAN STANDARD 0476.028           | 1/2"            | 1/2" | 2"    | 2"     | COUNTER-TOP, WHITE, VITREOUS CHINA LAVATORY WITH 4" FAUCET CENTERS. DELTA 22C101 (ZURN Z-81000-CP4, A.S. 6114.111.002) CAST BRASS BODY, CERAMIC DISC CARTRIDGE, SINGLE HANDLE FAUCET WITH MCGUIRE 155WC (KOHLER K-13885) OFFSET TAILPIECE WITH PERFORATED GRATE DRAIN; MCGUIRE 8872 (KOHLER K-8998) 1-1/4" CAST BRASS P-TRAP WITH CLEANOUT PLUG; AND 3/8" ANGLE SUPPLIES WITH STOPS. PROVIDE J.R. SMITH 2698-ADA PRIME-EZE, ZURN Z1021-ADA OR EQUAL WATER SAVER TRAP PRIMER WHERE INDICATED ON PLANS. TRUEBRO MODEL 103 (ZURN Z8946-3-NT) INSULATING KIT. INSTALL PER A.D.A. REQUIREMENTS. CAULK AROUND PERIMETER OF FIXTURE. PROVIDE LAWLER 570 (LEONARD 170-LF, WATTS LFUSG-B SERIES) THERMOSTATIC MIXING VALVE, 3/8" INLETS & OUTLET CONNECTIONS, TEMPERATURE CONTROL DEVICE THAT CONFORMS TO ASSE 1070. |
| SH    | SHOWER                  | EXISTING SHOWER TO REMAIN                             | 1/2"            | 1/2" | 3"    | 2"     | CONCEALED IN-WALL MULTICHOICE UNIVERSAL PRESSURE BALANCE MIXING VALVE, HEAVY DUTY FORGED BRASS VALVE BODY, INTEGRAL SCREWDRIVER STOPS, WITH VALVE TRIM, VANDAL RESISTANT A.D.A. BLADE HANDLE, COLOR CODED NON-REMOVABLE MARKING ON ESCUTCHEON; REFER TO ARCHITECTURAL SPECIFICATIONS FOR TILE FLOOR & WALLS, FOLDING SEAT, GRAB BARS, ACCESSORIES, ETC.   |
| SK-AH | SINK                    | ELKAY LRAD-3122-55, JUST SL-ADA-2231-A-60-J           | 1/2"            | 1/2" | 2"    | 2"     | SELF RIMMING, 31" X 22" X 5-1/2", SINGLE COMPARTMENT, 18 GAUGE, TYPE 304 SELF RIMMING SINK WITH LK810GN08T4 (ZURN 871C4-XL) 8" REACH GOOSENECK FAUCET WITH 4" WRIST BLADE HANDLES, OFF-CENTERED REAR DRAIN OPENING, LK-99 (JUST JB-99) BASKET STRAINER, MCGUIRE 8912 1-1/2" CAST BRASS P-TRAP WITH CLEANOUT PLUG AND 3/8" ANGLE SUPPLIES WITH STOPS. CAULK AROUND PERIMETER OF FIXTURE.   |
| SK-HW | SINK                    | ELKAY MODEL CHS1716SC, JUST A-544-912                 | 1/2"            | 1/2" | 2"    | 2"     | WALL HUNG, 20 GAUGE TYPE 304 STAINLESS STEEL WITH BUFFED SATIN FINISH, 16.75" X 15.5" X 13"; ONE PIECE DEEP DRAWN SINK WITH WITH 8.5" TALL BACKSPASH WITH INTEGRAL WALL BRACKETS AND WALL HANGER. ELKAY LK940GNM42H (JUST JS-47-TGSA) 8" CENTERSET WALL MOUNT FAUCET WITH 4" GOOSENECK SPOUT, 2" LEVER HANDLES, 1/2" OFFSET INLETS; ELKAY LK8 (JUST J-15-FS) 2" DRAIN FITTING TYPE 304 STAINLESS STEEL BODY, GRID STRAINER AND TAILPIECE; ELKAY LK500 (JUST JT-150, MCGUIRE 8912) 1-1/2" CAST BRASS P-TRAP WITH CLEANOUT PLUG; 3/8" ANGLE SUPPLIES WITH STOPS. TRUEBRO MODEL 103 (ZURN Z8946-3-NT) INSULATING KIT. INSTALL PER A.D.A. REQUIREMENTS. CAULK AROUND PERIMETER OF FIXTURE.  |
| SS-W  | SERVICE SINK            | EXISTING SINK BOWL TO REMAIN                          | 3/4"            | 3/4" | 2"    | 2"     | #830-AA (T&S BRASS B-0665-BSTR) MIXING FAUCET, CONFIRM NEW FAUCET COMPATIBILITY WITH SINK PRIOR TO INSTALLATION   |
| U-W   | URINAL                  | EXISTING URINAL TO REMAIN                             | 3/4"            | -    | 2"    | 2"     | SLOAN 186-1 (ZURN AQUAFLUSH PLUS Z-6003-PL-WS1) FLUSH VALVE WITH A.D.A. COMPLIANT HANDLE ASSEMBLY, VANDAL RESISTANT STOP CAP, VACUUM BREAKER AND STOP.  |
| WC-F  | WATER CLOSET            | KOHLER K-96053, AMERICAN STANDARD 2234.001            | 1"              | -    | 4"    | 3"     | FLOOR MOUNTED, WHITE, VITREOUS CHINA, SIPHON JET, ELONGATED WATER CLOSET. K-4670-C (A.S. 5901.100, BEMIS 1955CT, BENEKE 523, CHURCH 295CT, CENTOCO 500S15SC) SOLID PLASTIC, WHITE OPEN-FRONT TOILET SEAT LESS COVER, CHECK HINGE AND WITH STA-TITE COMMERCIAL FASTENING SYSTEM; K-4562 BOLT CAP. SLOAN 111 (ZURN AQUAFLUSH PLUS Z6000PL-WS1) FLUSH VALVE WITH A.D.A. COMPLIANT HANDLE ASSEMBLY, VANDAL RESISTANT STOP CAP, VACUUM BREAKER AND STOP. INSTALL PER A.D.A. REQUIREMENTS. FLUSH VALVE HANDLE TO BE ON WIDE SIDE OF STALL. INSTALL WAX SEAL BELOW FIXTURE. CAULK AROUND PERIMETER OF FIXTURE.   |
| WC-FH | WATER CLOSET            | KOHLER K-96057, AMERICAN STANDARD 3043.001            | 1"              | -    | 4"    | 3"     | FLOOR MOUNTED, WHITE, VITREOUS CHINA, SIPHON JET, ELONGATED WATER CLOSET. K-4670-C (A.S. 5901.100, BEMIS 1955CT, BENEKE 523, CHURCH 295CT, CENTOCO 500S15SC) SOLID PLASTIC, WHITE OPEN-FRONT TOILET SEAT LESS COVER, CHECK HINGE AND WITH STA-TITE COMMERCIAL FASTENING SYSTEM; K-4562 BOLT CAP. SLOAN 111 (ZURN AQUAFLUSH PLUS Z6000PL-WS1) FLUSH VALVE WITH A.D.A. COMPLIANT HANDLE ASSEMBLY, VANDAL RESISTANT STOP CAP, VACUUM BREAKER AND STOP. INSTALL PER A.D.A. REQUIREMENTS. FLUSH VALVE HANDLE TO BE ON WIDE SIDE OF STALL. INSTALL WAX SEAL BELOW FIXTURE. CAULK AROUND PERIMETER OF FIXTURE.   |



**WATER HEATER SCHEDULE**

| UNIT NO. | SERVICE        | CAPACITY (GALLONS) | ELECTRIC KW INPUT | TEMPERATURE SETTING | ELECTRICAL SERVICE | RECOVERY RATE @ 80°F TEMP. RISE | COMMENTS                         |
|----------|----------------|--------------------|-------------------|---------------------|--------------------|---------------------------------|----------------------------------|
| WH-1     | WHOLE BUILDING | 40                 | 4.5               | 140°F               | 240-1-60           | 23                              | AO SMITH DEL-40-4.5              |
| WH-2     | NEW SINK       | TANKLESS           | 6                 | 110°F               | 240-1-60           | ...                             | STIEBEL ELTRON DHC-3 4/6-2 TREND |

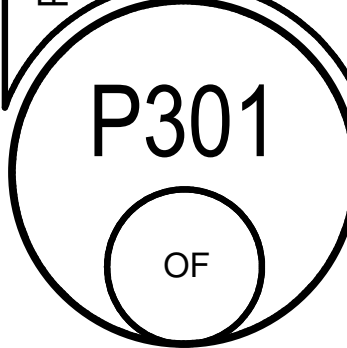


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 PROJECT No.: 24067.00



PLUMBING SCHEDULE AND DETAILS

REVISIONS:  
 DATE: DECEMBER 2024  
 JOB # BC2024-01





# DEFINE

# DESIGN

# DELIVER

## ELECTRICAL ABBREVIATIONS

|     |  |
|-----|--|
| CT  | DENOTES COUNTER-TOP HEIGHT MOUNTED. CONTRACTOR TO VERIFY COUNTER TOP HEIGHT AND HEIGHT OF BACK SPLASH. |
| E   | DENOTES EMERGENCY DEVICE   |
| G   | DENOTES GROUND FAULT INTERRUPTER PROTECTED   |
| WP  | DENOTES WEATHERPROOF   |
| AFF | DENOTES ABOVE FINISHED FLOOR   |
| C   | DENOTES CONDUIT  |
| A   | DENOTES AMP  |
| EWC | ELECTRICAL WATER COOLER  |
| W   | WALL MOUNTED-48" ABOVE FINISHED FLOOR OR AS NOTED  |
| CB  | CODE BLUE  |
| IG  | DENOTES ISOLATED GROUND  |
| FDS | FUSED DISCONNECT SWITCH  |
| BOF | BOTTOM OF FIXTURE  |
| MRR | MANUFACTURER'S RECOMMENDED RATING  |
| WR  | WEATHER RESISTANT  |
| VOJ | VERIFY ON JOB  |
| VR  | VANDAL RESISTANT   |
| SPD | SURGE PROTECTION DEVICE - REFER TO SPECIFICATIONS.   |

## ELECTRICAL LINE TYPE LEGEND

|  |  |
|--|--|
|  | SCREENED LINES/SYMBOLS INDICATE EXISTING DEVICES TO REMAIN.                          |
|  | DASHED LINES/SYMBOLS INDICATE EXISTING DEVICES TO BE REMOVED OR RELOCATED.           |
|  | BOLD LINES/SYMBOLS INDICATE NEW OR RELOCATED DEVICES.                                |
|  | SOLID-FILL LIGHTS INDICATE EMERGENCY FIXTURES, CIRCUIT BATTERY PACK AHEAD OF SWITCH. |

## ELECTRICAL GENERAL DEMOLITION NOTES

- THE CONTRACTOR IS ALLOWED TO RE-USE EXISTING DISCONNECTS & PANELS IF THE EQUIPMENT IS IN GOOD WORKING CONDITION. THE CONTRACTOR SHALL CLEAN & REPAIR THE EXISTING DEVICES AS NEEDED IF THE CONTRACTOR CHOOSES TO RE-USE.
- REMOVE EXISTING LIGHT FIXTURES, DISCONNECTS, OUTLETS, BOXES, WIRING, CONDUIT, ETC. AND OFFER TO OWNER. IF OWNER REFUSES, ELECTRICAL CONTRACTOR SHALL REMOVE FROM SITE AND PROPERLY AND LEGALLY DISPOSE.
- REMOVE EXISTING DEVICES FROM WALLS BEING DEMOLISHED. IF THEY OCCUR IN THE MIDDLE OF A CIRCUIT, MAKE THE REMAINDER OF THE CIRCUIT CONTINUOUS.
- MAINTAIN ALL REMAINING EXISTING CIRCUITS WHERE INTERRUPTED BY DEMOLITION WORK. PROVIDE WIRING AND CONDUIT TO RESTORE CONTINUOUS CIRCUIT INTEGRITY.
- PROTECT EXISTING ELECTRICAL EQUIPMENT AND INSTALLATIONS INDICATED TO REMAIN. IF DAMAGED OR DISTURBED IN THE COURSE OF THE WORK, REMOVE DAMAGED PORTIONS AND INSTALL NEW PRODUCTS OF EQUAL CAPACITY, QUALITY, AND FUNCTIONALITY.
- CONTACT LOUISIANA ONE CALL FOR IDENTIFICATION OF ALL UNDERGROUND UTILITIES PRIOR TO REMOVAL.
- EXISTING ROUTING OF CIRCUITS/FEEDERS ARE INDICATED ON DRAWINGS FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF FEEDERS/CIRCUITS PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL BARE ALL COST OF RESTORING EXISTING ELECTRICAL FUNCTIONALITY SHOULD ANY EXISTING UNDERGROUND ELECTRICAL UTILITIES BE DAMAGED DURING THE COURSE OF CONSTRUCTION.

## ELECTRICAL LEGEND

| LIGHTING DESCRIPTION        |  | SPECIAL SYSTEMS DESCRIPTION |  |
|-----------------------------|--|-----------------------------|--|
|                             | LIGHTING FIXTURE-REFER TO LIGHTING FIXTURE SCHEDULE  | ∇ xx                        | COMMUNICATIONS OUTLET - DEEP 4" SQUARE BOX WITH SINGLE GANG PLASTER RING WITH PULLSTRING IN 1" CONDUIT TO ACCESSIBLE CEILING (18" A.F.F. OR AS NOTED) - PROVIDE BLANK PLATE                  |
|                             | LIGHTING FIXTURE-REFER TO LIGHTING FIXTURE SCHEDULE  |                             |  |
|                             | LIGHTING FIXTURE-REFER TO LIGHTING FIXTURE SCHEDULE  |                             |  |
|                             | LIGHTING FIXTURE-REFER TO LIGHTING FIXTURE SCHEDULE  | ∇ xx                        | TELEVISION OUTLET-DEEP 4" SQUARE BOX WITH SINGLE GANG PLASTER RING WITH PULLSTRING IN 1" C. TO ACCESSIBLE CEILING (VERIFY MOUNTING HEIGHT AND LOCATION WITH ARCHITECT) - PROVIDE BLANK PLATE |
|                             | LIGHTING FIXTURE-REFER TO LIGHTING FIXTURE SCHEDULE  |                             |  |
|                             | CEILING MOUNTED EXIT LIGHT - REFER TO LIGHTING FIXTURE SCHEDULE - ARROWS DEFINE DIRECTION  | ∇ xx                        | DATA JACK ABOVE CEILING W/ 30' OF SLACK (FUTURE WIRELESS ACCESS POINT) XX - DENOTES CABLE QUANTITY   |
|                             | WALL MOUNTED EXIT LIGHT - COORDINATE FINAL MOUNTING HEIGHT WITH THE ARCHITECT - REFER TO LIGHTING FIXTURE SCHEDULE - ARROWS DEFINE DIRECTION   |                             |  |
|                             | EMERGENCY LIGHT (8'-0" A.F.F. OR AS NOTED) - REFER TO LIGHTING FIXTURE SCHEDULE  | AV                          | AUDIO & VISUAL - DEEP 4" SQUARE DEEP DOUBLE GANG BOX WITH DOUBLE GANG PLASTER RING (MOUNT 18" A.F.F. V.O.J.) WITH 1 1/4" CONDUIT WITH CABLE/PULLSTRING TO A MINIMUM OF 6" ABOVE CEILING.     |
|                             | CEILING MOUNTED EGRESS LIGHT - REFER TO LIGHTING FIXTURE SCHEDULE  | OP                          | OVERHEAD PROJECTOR - DEEP 4" SQUARE BOX INSTALLED ABOVE CEILING ADJACENT TO OVERHEAD PROJECTOR (SEE DETAIL)  |
|                             | PHOTOCELL  | AO                          | AUDIO & VISUAL - RECESSED FLOOR BOX - WIREMOLD RFB9 OR EQUAL (SEE DETAIL)  |
|                             | SINGLE POLE TOGGLE SWITCH (48" A.F.F. TO CENTER OF DEVICE OR AS NOTED)   | SB                          | SMART BOARD J-BOX - 4" SQUARE DEEP BOX WITH SINGLE GANG PLASTER RING WITH CABLE/PULLSTRING IN 3/4" CONDUIT TO ACCESSIBLE CEILING. (SEE DETAIL)   |
|                             | THREE-WAY TOGGLE SWITCH (48" A.F.F. TO CENTER OF DEVICE OR AS NOTED)   | CS                          | CONTROL STATION - 4" SQUARE DEEP BOX WITH SINGLE GANG PLASTER RING WITH CABLE/PULLSTRING IN 3/4" CONDUIT TO ACCESSIBLE CEILING. (SEE DETAIL)   |
|                             | WALL MOUNTED DIMMER SWITCH WITH ON/OFF AND 0-10V OUTPUT DIMMING. DIMMER MUST BE COMPATIBLE WITH BALLAST OR LED. REFER TO SPECIFICATIONS. PROVIDE ALL NECESSARY CONDUCTORS FOR COMPLETE OPERATING SYSTEM. (48" A.F.F. TO CENTER OF DEVICE OR AS NOTED)  |                             |  |
|                             | MOTOR RATED SWITCH - CONTRACTOR TO PROVIDE SWITCH TO DE-ENERGIZE EACH CURRENT CARRYING CONDUCTOR. LOCATE ADJACENT TO EQUIPMENT BEING SERVED IN A READILY ACCESSIBLE LOCATION.  |                             |  |
|                             | SINGLE POLE KEYED SWITCH (48" A.F.F. TO CENTER OF DEVICE OR AS NOTED)  |                             |  |
|                             | SWITCH (48" A.F.F. TO CENTER OF DEVICE OR AS NOTED) COORDINATE TYPE AND INSTALLATION REQUIREMENTS WITH MANUFACTURER. COORDINATE LOCATION WITH OWNER.   |                             |  |
|                             | SINGLE POLE SWITCH. MOUNT IN DOOR SWING. LEE ELECTRIC; 210DN   |                             |  |
|                             | INBOARD AND OUTBOARD SWITCHING UNLESS NOTED OTHERWISE (48" A.F.F. TO CENTER OF DEVICE OR AS NOTED)   |                             |  |
|                             | SINGLE POLE DIGITAL PRESET COUNT DOWN TYPE TIMER SWITCH (48" A.F.F. TO CENTER OF DEVICE OR AS NOTED) SENSORSWITCH PTS 60 OR EQUAL  |                             |  |
|                             | WALL MOUNTED VACANCY SENSOR (48" AFF TO CENTER OF DEVICE OR AS NOTED) - REFER TO SPECIFICATIONS.   |                             |  |
|                             | WALL MOUNTED DOUBLE SWITCH VACANCY SENSOR (48" AFF TO CENTER OF DEVICE OR AS NOTED) - REFER TO SPECIFICATIONS.   |                             |  |
|                             | CORNER MOUNTED VACANCY SENSOR - MOUNTING HEIGHT TO BE DETERMINED PER MANUFACTURER'S RECOMMENDATIONS FOR OPTIMAL COVERAGE - MYTECH, WATT STOPPER  |                             |  |
| POWER DESCRIPTION           |  |                             |  |
|                             | DUPLEX CONVENIENCE OUTLET (18" A.F.F. FOR GENERAL AREAS, 36" A.F.F. FOR GARAGES, HANGARS AND THE LIKE OR AS NOTED)   |                             |  |
|                             | TELEVISION OUTLET (VERIFY MOUNTING HEIGHT AND LOCATION WITH ARCHITECT)   |                             |  |
|                             | ELECTRICAL WATER COOLER; COORDINATE ELECTRICAL DEVICE/OUTLET TYPE AND LOCATION WITH PLUMBING CONTRACTOR (CONCEAL OUTLET/DEVICE BEHIND COOLER) OUTLET TO BE GROUND FAULT INTERRUPTER PROTECTED.   |                             |  |
|                             | MICROWAVE OUTLET - RECESSED 20 AMP DUPLEX OUTLET. HUBBELL OR EQUAL. VERIFY EXACT MOUNTING LOCATION WITH OWNER/ARCHITECT PRIOR TO ROUGH IN.   |                             |  |
|                             | WATER HEATER; COORDINATE ELECTRICAL OUTLET/DISCONNECT TYPE AND LOCATION WITH PLUMBING CONTRACTOR   |                             |  |
|                             | SMART BOARD OUTLET - SB DENOTES HEIGHT OF OUTLET PER OWNER   |                             |  |
|                             | DUPLEX CONVENIENCE OUTLET (18" A.F.F. OR AS NOTED) TR DENOTES TAMPER RESISTANT - HUBBELL: RR205TR, GTR20 OR EQUAL.   |                             |  |
|                             | COMBINATION RECEPTACLE/OUTLET AND DUAL USB CHARGER - LEVITON T5832 OR EQUAL. (18" A.F.F. OR AS NOTED)  |                             |  |
|                             | DOUBLE DUPLEX CONVENIENCE OUTLET (18" A.F.F. OR AS NOTED)  |                             |  |
|                             | SPECIAL OUTLET (VERIFY TYPE AND MOUNTING HEIGHT WITH EQUIPMENT MANUFACTURER)   |                             |  |
|                             | COUNTER TOP DUPLEX OUTLET (CLEAR BACK SPLASH)  |                             |  |
|                             | CEILING MOUNTED OUTLET   |                             |  |
|                             | MOTOR STARTER - PROVIDED BY MECHANICAL CONTRACTOR, INSTALLED BY ELECTRICAL CONTRACTOR.   |                             |  |
|                             | FLOOR BOX, POWER (COORDINATE FINAL LOCATION WITH OWNER/ARCHITECT PRIOR TO INSTALLATION) MINIMUM 2-3/4" CONDUITS TO ACCESSIBLE CEILING.   |                             |  |
|                             | FLOOR BOX, COMBINATION POWER/COMMUNICATIONS WITH 1 DUPLEX CONVENIENCE OUTLET. (COORDINATE FINAL LOCATION WITH OWNER/ARCHITECT PRIOR TO INSTALLATION. 2-1" CONDUITS IN SLAB TO 6" ABOVE ACCESSIBLE CEILING - PROVIDE BLANK PLATE OR XX DENOTES CABLE TYPE AND QUANTITY; P=PHONE, D=DATA, C=COAX REFER TO SPECIFICATIONS |                             |  |
|                             | JUNCTION BOX   |                             |  |
|                             | CONTROL POWER FOR ENERGY MANAGEMENT SYSTEM - PROVIDE OUTLET OR JUNCTION BOX AT LOCATION PER EMS CONTRACTOR   |                             |  |
|                             | HAND DRYER - COORDINATE OUTLET/DEVICE TYPE WITH SUPPLIER. COORDINATE LOCATION WITH THE OWNER/ARCHITECT PRIOR TO ROUGH-IN.  |                             |  |
|                             | ELECTRICAL MOTOR (COORDINATE TERMINATION WITH SUPPLIER)  |                             |  |
|                             | FUSED DISCONNECT SWITCH - FUSE AT MANUFACTURER RECOMMENDED RATING UNLESS NOTED OTHERWISE. XX DENOTES DISCONNECT SIZE, Y DENOTES PHASE, ZZ DENOTES FUSE SIZE.   |                             |  |
|                             | ELECTRICAL PANEL SURFACE MOUNTED   |                             |  |
|                             | ELECTRICAL PANEL FLUSH MOUNTED   |                             |  |
|                             | TELEPHONE/POWER POLE: COORDINATE EXACT MOUNTING LOCATION WITH FURNITURE MANUFACTURER. MAKE FINAL CONNECTIONS. REFER TO DETAIL. WIRE MOLD: 30TP-4V  |                             |  |
|                             | CONDUIT RUN CONCEALED IN WALL OR ABOVE CEILING   |                             |  |
|                             | CONDUIT RUN CONCEALED UNDER FLOOR OR BELOW GRADE   |                             |  |
|                             | HOMERUN TO ELECTRIC PANEL BOARD (INDICATED NUMBER OF CIRCUIT BY NUMBER OF ARROWS)  |                             |  |
|                             | THREE (3) CONDUCTORS RUN IN CONDUIT. EVERY CIRCUIT TO HAVE A GROUND, SHARED NEUTRAL IS NOT ALLOWED.  |                             |  |
|                             | FOUR (4) CONDUCTORS RUN IN CONDUIT. EVERY CIRCUIT TO HAVE A GROUND, SHARED NEUTRAL IS NOT ALLOWED.   |                             |  |
|                             | FIVE (5) CONDUCTORS RUN IN CONDUIT. EVERY CIRCUIT TO HAVE A GROUND, SHARED NEUTRAL IS NOT ALLOWED.   |                             |  |
|                             | FOUR (4) CONDUCTORS RUN IN CONDUIT, ONE CONDUCTOR DESIGNATED FOR ISOLATED GROUND   |                             |  |
|                             | MOTORIZED DAMPER - PROVIDE BY OTHERS. ELECTRICALLY POWERED BY ELECTRICAL CONTRACTOR WHEN NOTED.  |                             |  |
|                             | VARIABLE FREQUENCY DRIVE PROVIDED BY MECHANICAL AND INSTALLED BY ELECTRICAL. MAINTAIN CLEARANCES PER NFPA 70   |                             |  |
| SECURITY SYSTEM DESCRIPTION |  |                             |  |
|                             | SURVEILLANCE CAMERA - DEEP 4" SQUARE BOX WITH SINGLE GANG PLASTER RING WITH CABLE/PULLSTRING IN 3/4" CONDUIT TO ACCESSIBLE CEILING. VERIFY HEIGHT WITH ENGINEER.   |                             |  |
|                             | CARD READER - DEEP 4" SQUARE BOX WITH SINGLE GANG PLASTER RING WITH CABLE/PULLSTRING IN 3/4" CONDUIT TO ACCESSIBLE CEILING (48" A.F.F. TO CENTER OF DEVICE OR AS NOTED)  |                             |  |
|                             | SECURITY SYSTEM MOTION DETECTOR - LONG RANGE - COORDINATE ROUGH-IN REQUIREMENTS WITH SECURITY SYSTEM PROVIDER.   |                             |  |
|                             | SECURITY SYSTEM MOTION DETECTOR - WIDE RANGE - COORDINATE ROUGH-IN REQUIREMENTS WITH SECURITY SYSTEM PROVIDER.   |                             |  |
|                             | SECURITY SYSTEM KEY PAD - DEEP 4" SQUARE BOX WITH SINGLE GANG PLASTER RING WITH CABLE/PULLSTRING IN 3/4" CONDUIT TO ACCESSIBLE CEILING   |                             |  |
|                             | SECURITY SYSTEM DOOR CONTACT - COORDINATE ROUGH-IN REQUIREMENTS WITH SECURITY SYSTEM PROVIDER.   |                             |  |
|                             | SECURITY SYSTEM HORN - DEEP 4" SQUARE BOX WITH SINGLE GANG PLASTER RING WITH CABLE/PULLSTRING IN 3/4" CONDUIT TO ACCESSIBLE CEILING.   |                             |  |

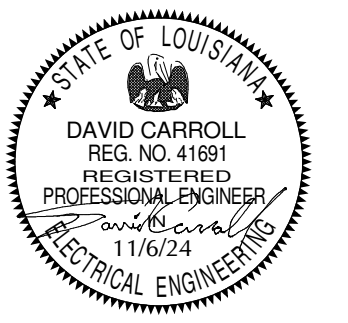
- NOTES:  
1. ITEMS ON THIS SCHEDULE ARE NOT NECESSARILY SHOWN ON PLANS.

## ELECTRICAL GENERAL NOTES

- ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AS WELL AS ANY LOCAL CODES AND ORDINANCES.
- MAINTAIN PROPER WORKING SPACE CLEARANCES ABOUT ELECTRICAL EQUIPMENT PER NEC ARTICLE 110.26.
- FULLY COORDINATE ALL ELECTRICAL REQUIREMENTS OF EQUIPMENT BEING FURNISHED BY ALL DIVISIONS UNDER THIS CONSTRUCTION CONTRACT. EACH SYSTEM SHALL BE COMPLETE AND FULLY FUNCTIONAL. THIS INCLUDES MECHANICAL, PLUMBING, OWNER PROVIDED AND CONTRACTOR PROVIDED EQUIPMENT. CONTRACTOR TO REFER TO EQUIPMENT INSTALLATION DOCUMENTS AND SHOP DRAWINGS PRIOR TO ANY ROUGH-IN.
- CONTRACTOR SHALL COORDINATE CIRCUIT BREAKER AND FUSE SIZES FOR MECHANICAL EQUIPMENT PER SUBMITTED EQUIPMENT MANUFACTURER'S RECOMMENDED NAMEPLATE RATINGS PRIOR TO SHOP DRAWING PHASE OF PROJECT.
- INTERRUPTION OF SERVICE: BEFORE ANY EQUIPMENT IS SHUT DOWN FOR DISCONNECTING OR TIE-INS, ARRANGEMENTS SHALL BE MADE WITH THE ARCHITECT AND THIS WORK SHALL BE DONE AT THE TIME BEST SUITED TO THE OWNER. OUTAGES MUST BE SCHEDULED THROUGH THE ARCHITECT. THE ARCHITECT SHALL REVIEW EXTENT, LENGTH, AND TIMING OF OUTAGES. SERVICES SHALL BE RESTORED THE SAME DAY. PROVIDE TEMPORARY POWER OR OTHER SERVICES AS REQUIRED DURING OUTAGES. ALL OVERTIME OR PREMIUM COSTS ASSOCIATED WITH THIS WORK SHALL BE INCLUDED IN THE BASE BID.
- COORDINATE LOCATION OF ELECTRICAL EQUIPMENT WITH PIPES AND DUCT WORK BEING SUPPLIED BY OTHER DIVISIONS. THE EQUIPMENT SPACE INCLUDED ALL REFERENCED NEC CLEARANCES SHALL BE MAINTAINED. IF ANY PIPES OR DUCT WORK VIOLATE ANY ELECTRICAL CLEARANCE REQUIREMENTS, IT SHALL BE REMOVED AND RELOCATED AT THE CONTRACTOR'S EXPENSE. DRIP PANS ARE NOT PERMITTED UNLESS SPECIFICALLY CALLED FOR IN THE CONSTRUCTION DOCUMENTS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ALL EQUIPMENT THAT MAY REQUIRE MAINTENANCE AND OPERATION ARE READILY ACCESSIBLE, REGARDLESS OF THE DIAGRAMMATIC LOCATION SHOWN ON THE DRAWINGS. ALL CONNECTIONS TO FIXTURES AND EQUIPMENT SHOWN ON THE DRAWINGS SHALL BE CONSIDERED DIAGRAMMATIC UNLESS OTHERWISE INDICATED BY A SPECIFIC DETAIL ON THE DRAWINGS. THE ACTUAL CONNECTIONS SHALL BE MADE TO FULLY SUIT THE REQUIREMENTS OF EACH CASE AND ADEQUATELY PROVIDE FOR SERVICING.
- CONTRACTOR SHALL TAMP AND BACKFILL ALL TRENCHES. TRENCHES SHALL BE LEVEL WITH FINISH GRADE.
- CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE EXTENT OF DEMOLITION WORK AND NEW WORK NEEDED FOR THIS PROJECT.
- CONTRACTOR SHALL BECOME FAMILIAR WITH THE PROJECT SCOPE, CONSTRAINTS, UTILITY CONNECTIONS, AND BUILDING SERVICES.
- CONTRACTOR SHALL GIVE FIRST RIGHT TO REFUSAL OF SALVAGE TO THE OWNER. IF THE OWNER ELECTS TO NOT KEEP SALVAGE, CONTRACTOR SHALL REMOVE SALVAGE BY LAWFUL MEANS.
- DRAWINGS ARE SCHEMATIC AND DIAGRAMMATIC IN NATURE. DRAWINGS SHALL NOT BE SCALED. COORDINATE ROUTING OF SERVICES WITH SITE CONDITIONS AND WITH WORK OF OTHER TRADES.
- FIELD VERIFY DIMENSIONS PRIOR TO ORDERING, FABRICATING, AND ERECTION OF MATERIAL AND/OR EQUIPMENT. NOTIFY THE ENGINEER OF DISCREPANCIES IN A TIMELY MANNER.
- SEAL PENETRATIONS THROUGH THE BUILDING ENVELOPE.
- PENETRATIONS THROUGH RATED WALLS, FLOORS, PARTITIONS AND ASSEMBLIES SHALL BE INSTALLED AND FIRESAFED TO MEET UL FIRE RESISTANCE LISTING AND NFPA REQUIREMENTS FOR THE PENETRATION.
- COORDINATE DEVICES REQUIRING ACCESS PANELS WITH THE ARCHITECT AND OTHER TRADES.
- DEVICE SYMBOLS ALONG WITH DRAWINGS, DRAWING NOTES, AND SPECIFICATIONS ARE INTENDED TO PROVIDE A COMPLETE SYSTEM. CONTRACTOR TO COORDINATE WITH ALL TRADES TO PROVIDE A COMPLETE SYSTEM.



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**RE-BID 2024 Building Renovations**  
**City of Alexandria SWAT Building**  
1237 Texas Ave., Alexandria, Louisiana  
City of Alexandria - Owner

|                   |               |            |
|-------------------|---------------|------------|
| ELECTRICAL LEGEND | DATE:         | REVISIONS: |
|                   | DECEMBER 2024 |            |
|                   | JOB #         |            |
|                   | BC2024-01     |            |

**E001**  
OF

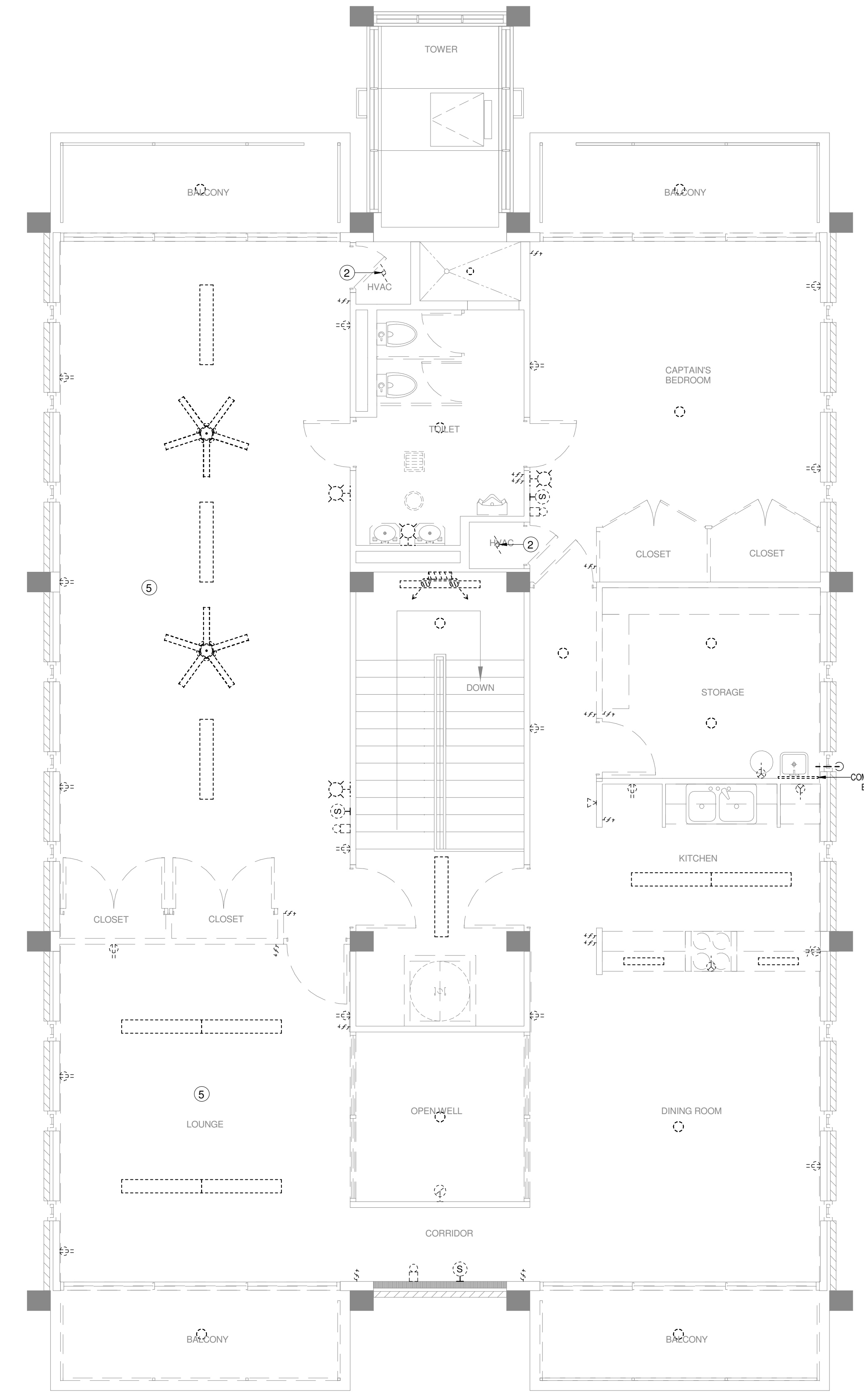
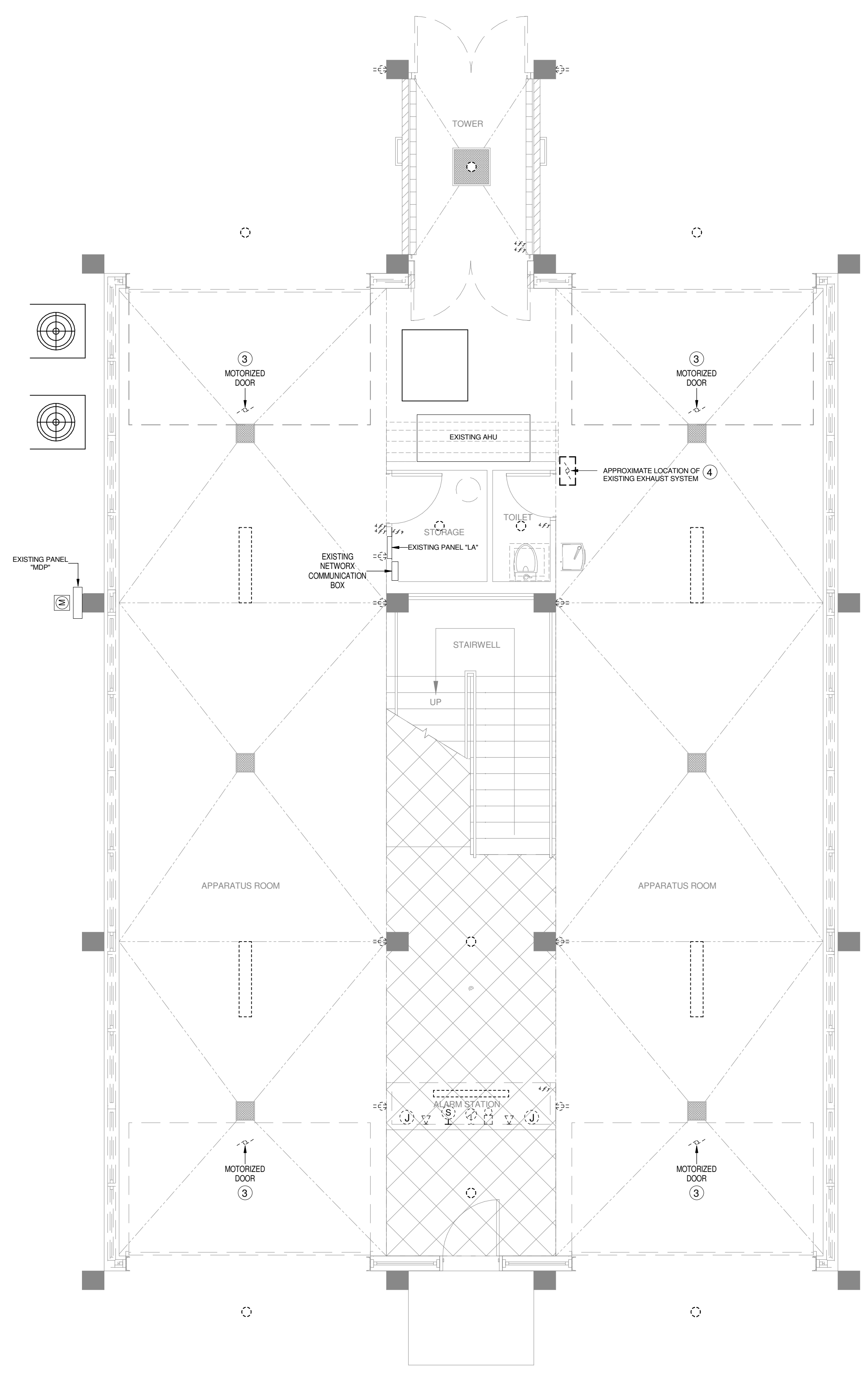


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Electrical Contact: Terry Kirsch  
Email: terry@meconsulting.com  
PROJECT No.: 24067.00





| ELECTRICAL DEMOLITION NOTES # |  |
|-------------------------------|--|
| 1                             | REMOVE AND RELOCATE COMMUNICATIONS HEAD END EQUIPMENT IN ITS ENTIRETY AS INDICATED ON NEW POWER AND SPECIAL SYSTEMS PLAN. COORDINATE WITH COMMUNICATIONS SERVICE PROVIDER. |
| 2                             | DISCONNECT ELECTRICAL ASSOCIATED WITH RELOCATION OF EXISTING GAS FIRED AHU.  |
| 3                             | DISCONNECT ELECTRICAL ASSOCIATED WITH REMOVAL AND REPLACEMENT OF EXISTING DOORS.   |
| 4                             | REMOVE ELECTRICAL ASSOCIATED WITH EXHAUST SYSTEM IN ITS ENTIRETY INCLUDING CONDUIT, WIRING, DISCONNECTS ETC ASSOCIATED WITH SYSTEM.  |
| 5                             | REMOVE ALL SURFACE MOUNTED CONDUIT AND ELECTRICAL DEVICES IN THIS SPACE.   |



① FIRST FLOOR - ELECTRICAL DEMOLITION PLAN  
1/4" = 1'-0" Refer to Architectural Drawings for All Dimensions

② SECOND FLOOR - ELECTRICAL DEMOLITION PLAN  
1/4" = 1'-0" Refer to Architectural Drawings for All Dimensions

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STATE OF LOUISIANA  
DAVID CARROLL  
REG. NO. 41891  
REGISTERED PROFESSIONAL ENGINEER  
11/16/24  
ELECTRICAL ENGINEERING

**RE-BID 2024 Building Renovations**  
**City of Alexandria SWAT Building**  
1237 Texas Ave., Alexandria, Louisiana  
City of Alexandria - Owner

|                             |               |            |
|-----------------------------|---------------|------------|
| ELECTRICAL DEMOLITION PLANS | DATE:         | REVISIONS: |
|                             | DECEMBER 2024 |            |
|                             | JOB #         | BC2024-01  |

**E101**  
OF

**M&E CONSULTING**  
1304 BERTRAND DRIVE SUITE F7  
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Electrical Contact: Terry Kirsch  
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PROJECT No.: 24067.00



LIGHTING FIXTURE SCHEDULE

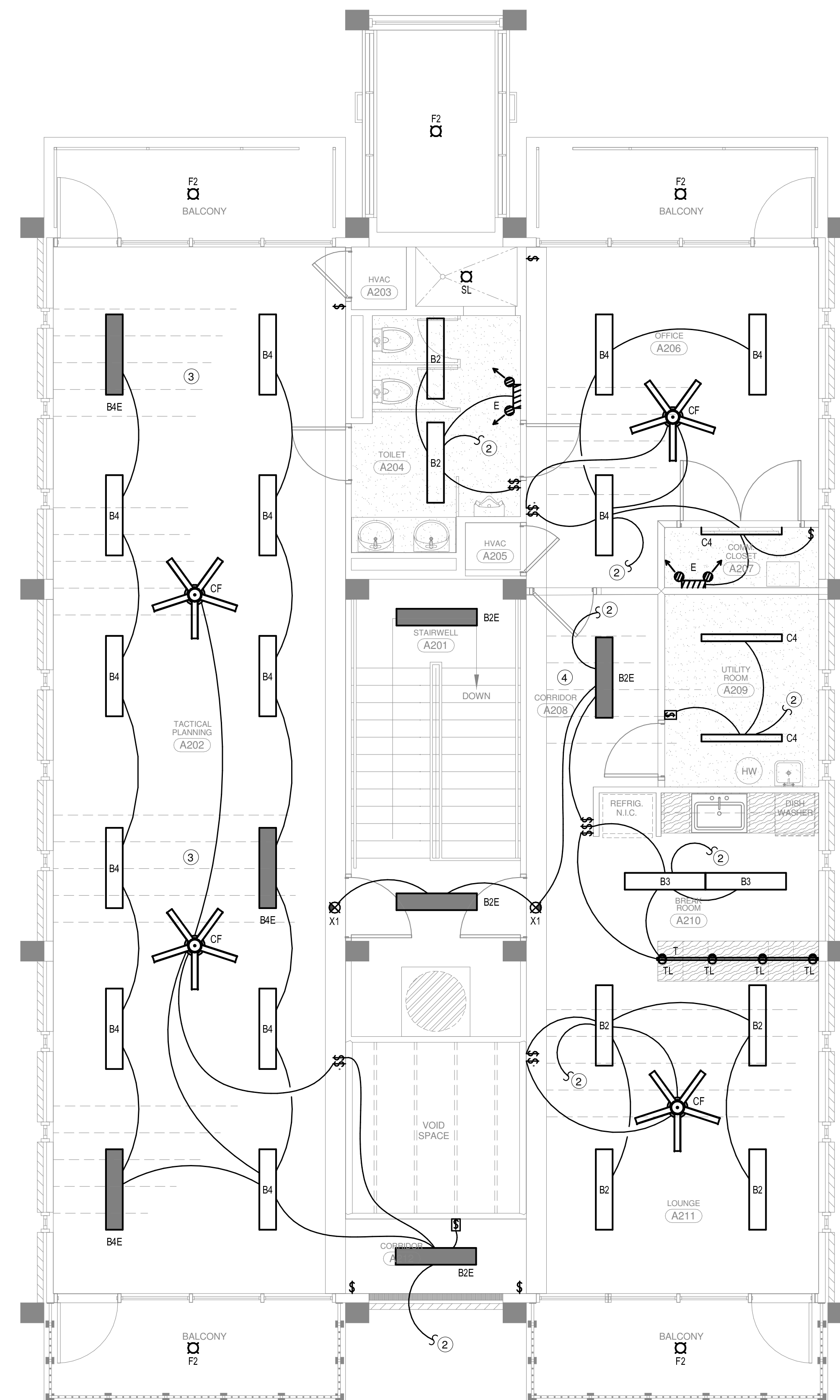
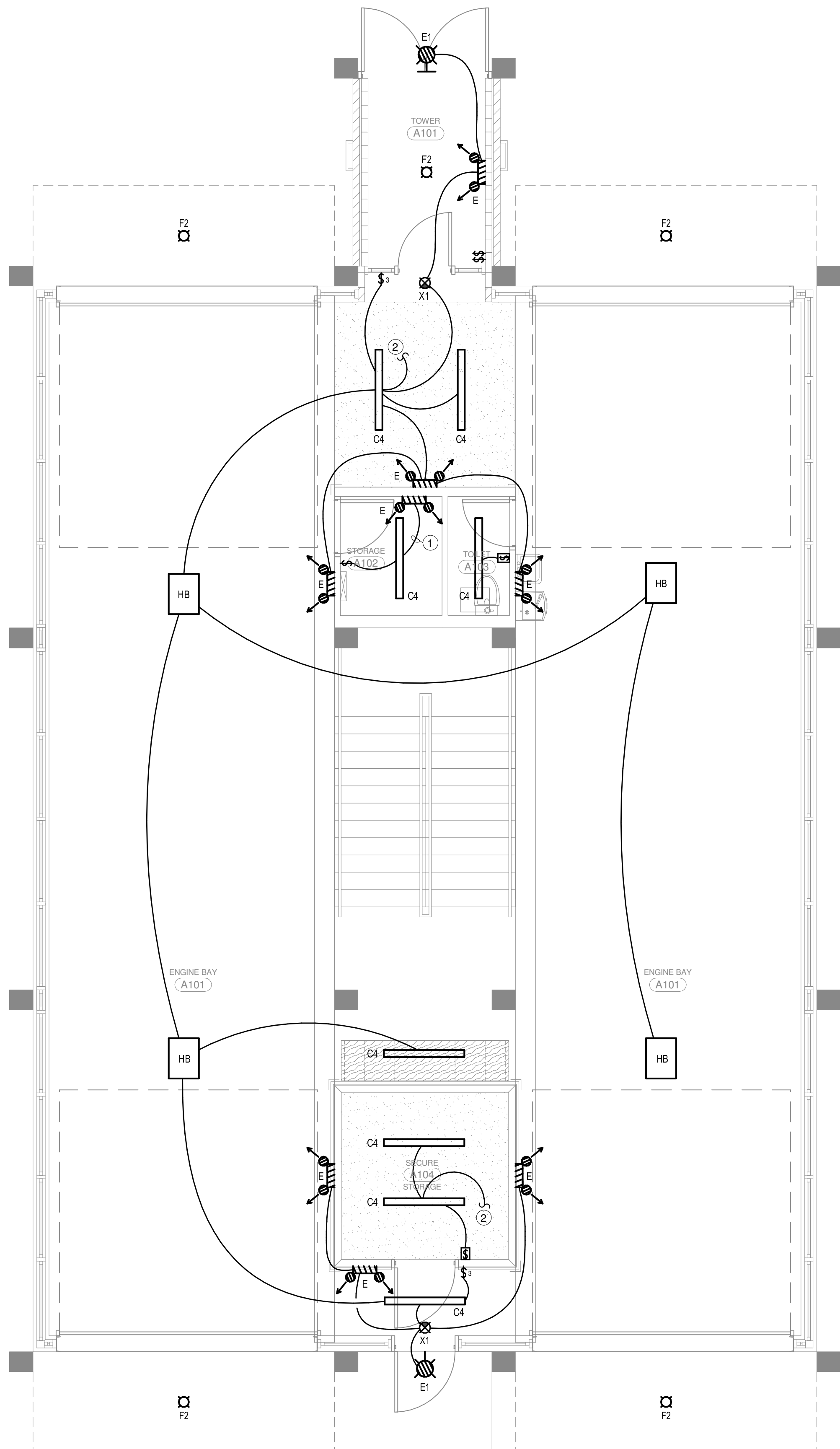
| TYPE MARK | DESCRIPTION   | WATTS    | LAMP |          | VOLTS | MANUFACTURER | MODEL                                      | COMMENTS   |
|-----------|---|----------|------|----------|-------|--------------|--|--|
|           |   |          | TYPE |          |       |              |  |  |
| B2        | 4' LED SURFACE MOUNT FIXTURE  | <varies> | LED  | <varies> | 120   | LITHONIA     | BLWP4 20L ADSMT MVOLT LP835                |  |
| B2E       | 4' LED SURFACE MOUNT FIXTURE W/ EMERGENCY BATTERY PACK                | 17       | LED  |          | 120   | LITHONIA     | BLWP4 20L ADSMT MVOLT LP835 E10WLCF        |  |
| B3        | 4' LED SURFACE MOUNT FIXTURE  | 25       | LED  |          | 120   | LITHONIA     | BLWP4 30L ADSMT MVOLT LP835                |  |
| B4        | 4' LED SURFACE MOUNT FIXTURE  | 35       | LED  |          | 120   | LITHONIA     | BLWP4 40L ADSMT MVOLT LP835                |  |
| B4E       | 4' LED SURFACE MOUNT FIXTURE W/ EMERGENCY BATTERY PACK                | 35       | LED  |          | 120   | LITHONIA     | BLWP4 40L ADSMT MVOLT LP835 E10WLCF        |  |
| C4        | 4' LED STRIP LIGHT  | 30       | LED  |          | 120   | LITHONIA     | ZL1D L48 3000LM FST MVOLT 35K 80CRI FINISH | FINISH BY ARCHITECT  |
| CF        | CEILING FAN WITH LIGHT KIT  | 41       | N/A  |          | 120   | HUNTER       | PRESTO 50812                               |  |
| E         | EMERGENCY WALL PACK   | 15       | LED  |          | 120   | LITHONIA     | ELM6L UVOLT LTP SDRT                       |  |
| E1        | EXTERIOR WALL MOUNTED EMERGENCY LIGHT WITH PHOTOCELL AND BATTERY PACK | 5        | LED  |          | 120   | LITHONIA     | AFO COLOR MVOLT N SD                       | COLOR BY ARCHITECT   |
| F2        | SURFACE MOUNTED EXTERIOR CANOPY LIGHT WITH PHOTOCELL                  | 17       | LED  |          | 120   | LITHONIA     | OLCFM 15 COLOR                             | COLOR BY ARCHITECT   |
| HB        | LED HIGH BAY  | 47       | LED  |          | 120   | LITHONIA     | IBG 15000LM HEF WD ACL 35K 80CRI           |  |
| SL        | LED SHOWER LIGHT  | 15       | LED  |          | 120   | JUNO         | JSF 5IN 07LM SSW5 90CRI MVOLT ZT FINISH    | FINISH BY ARCHITECT  |
| T         | TRACK   | 0        | -    |          | 120   | LITHONIA     | LTKNSTBF BR30 COLOR                        | COLOR BY ARCHITECT, PROVIDE MOUNTING ACCESSORIES AS NEEDED |
| TL        | TRACK LIGHT HEAD  | LED      | LED  |          | 120   | LITHONIA     | LTHNSTBF BR30 COLOR                        | COLOR BY ARCHITECT   |
| X1        | SINGLE FACE EXIT LIGHT  | 5        | LED  |          | 120   | LITHONIA     | LE S W 1 R EL N SD                         | UNIVERSAL MOUNTING   |

GENERAL LIGHTING NOTES:

- TIE NEW LIGHTS INTO EXISTING LIGHTING CIRCUIT IN SPACE. SWITCHING ARRANGEMENT TO REMAIN SAME UNLESS NOTED OTHERWISE. PROVIDE ADDITIONAL CONDUIT, WIRING, ETC AS NEEDED.
- EXTERIOR LIGHTS ON FIRST FLOOR TO BE CONTROLLED BY INTERMATIC 2 CIRCUIT ASTRONOMICAL TIME CLOCK WITH BATTERY BACK UP. PHOTOCELL "ON" TIMECLOCK "OFF".

LIGHTING NOTES #

|   |  |
|---|--|
| 1 | 1/2" CONDUIT WITH #12.   |
| 2 | 1/2" CONDUIT WITH #12 TO NEAREST AVAILABLE LIGHTING CIRCUIT.   |
| 3 | THIS SPACE TO BE CONTROLLED BY CEILING MOUNTED VACANCY SENSOR - MANUAL ON, AUTOMATIC OFF WITH LOW VOLTAGE OVERRIDE SWITCH. PLACEMENT, QUANTITY AND TYPE TO BE DETERMINED BY MANUFACTURE. REFER TO ELECTRICAL SPECIFICATION 26 09 23. |
| 4 | THIS SPACE TO BE CONTROLLED BY CEILING MOUNTED OCCUPANCY SENSOR - AUTOMATIC ON, AUTOMATIC OFF. PLACEMENT, QUANTITY AND TYPE TO BE DETERMINED BY MANUFACTURE. REFER TO ELECTRICAL SPECIFICATION 26 09 23.                             |



1 FIRST FLOOR - LIGHTING PLAN  
1/4" = 1'-0" Refer to Architectural Drawings for All Dimensions

2 SECOND FLOOR - LIGHTING PLAN  
1/4" = 1'-0" Refer to Architectural Drawings for All Dimensions



1304 BERTRAND DRIVE SUITE F7  
LAFAYETTE, LOUISIANA 70506  
(337) 234-7474  
Mechanical Contact: Dustin Duval, P.E.  
Email: dustin@meconsulting.com  
Electrical Contact: Terry Kirsch  
Email: terry@meconsulting.com  
PROJECT No.: 24067.00



**Braddock Companies, LLC**  
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**RE-BID 2024 Building Renovations**  
**City of Alexandria SWAT Building**  
1237 Texas Ave., Alexandria, Louisiana  
City of Alexandria - Owner

LIGHTING PLANS

DATE: DECEMBER 2024  
REVISIONS:  
JOB # BC2024-01

**E201**  
OF

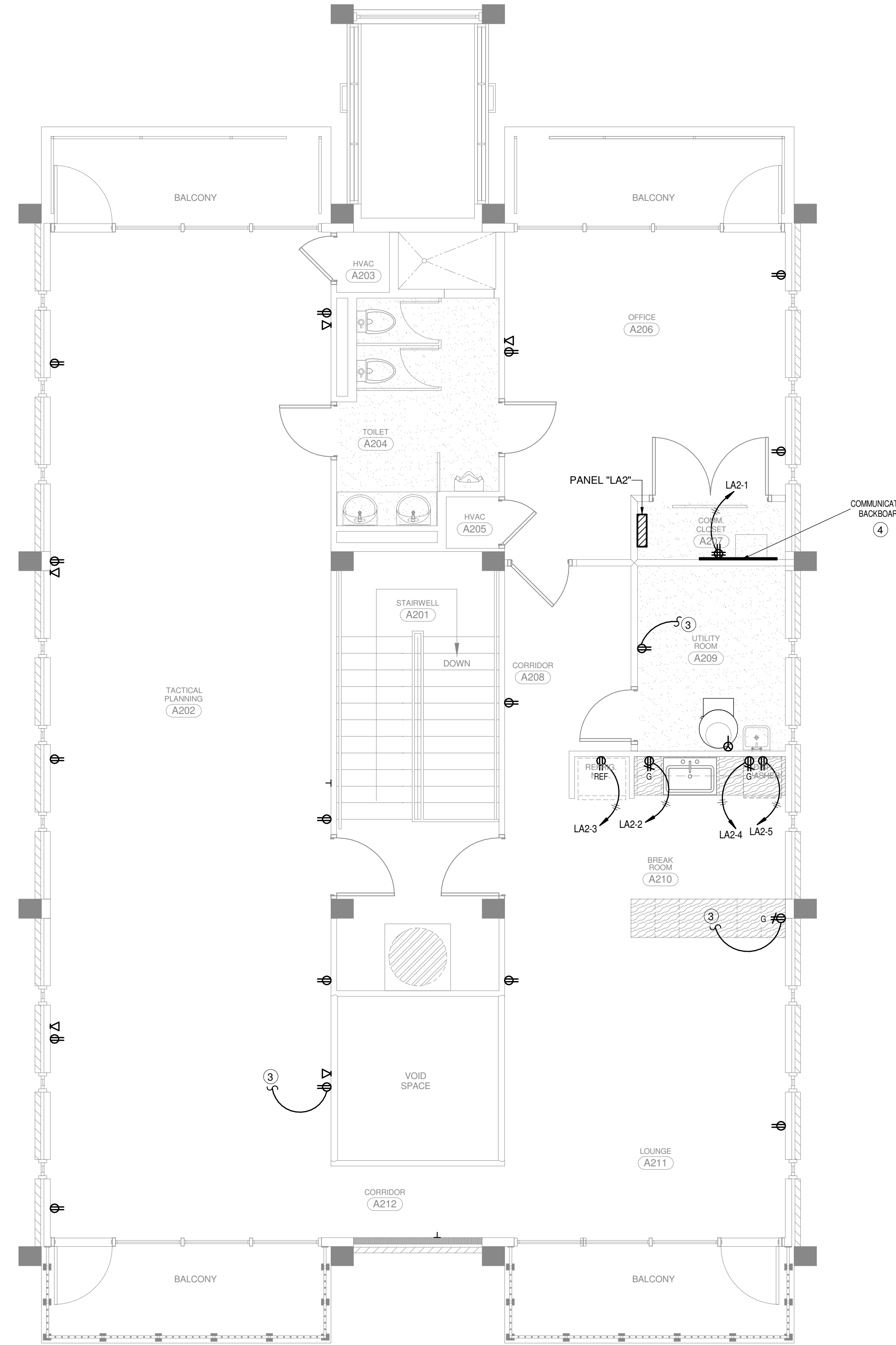
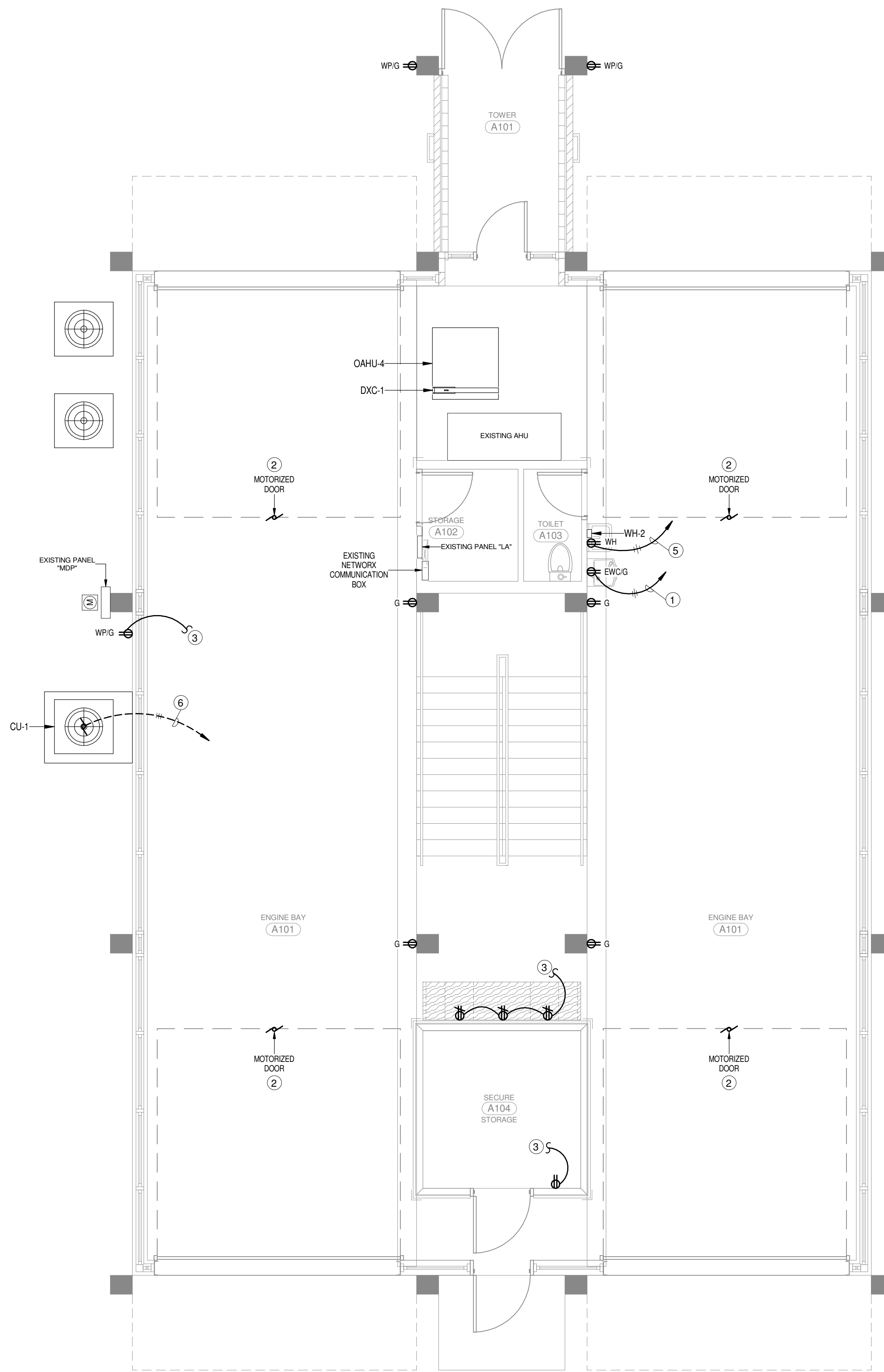


**ELECTRICAL GENERAL NOTES:**

- 1 BOLD RECEPTACLES WITHOUT CIRCUITRY INDICATE NEW DEVICE AND WALL PLATE. TIE INTO EXISTING CIRCUIT.

**ELECTRICAL NOTES #**

|   |   |
|---|---|
| 1 | 1/2" CONDUIT WITH 3 #12 TO A 20 AMP SINGLE POLE BREAKER IN EXISTING PANEL "LA". CONTRACTOR TO PROVIDE BREAKER.  |
| 2 | RECONNECT EXISTING ELECTRICAL TO NEW DOOR. PROVIDE ADDITIONAL CONDUIT, WIRING, ETC AS NEEDED. COORDINATE WITH DOOR PROVIDER PRIOR TO INSTALLATION.  |
| 3 | TIE INTO NEAREST AVAILABLE 120 VOLT POWER CIRCUIT WITH 3#12 IN 1/2" CONDUIT.  |
| 4 | NEW LOCATION OF COMMUNICATIONS HEAD END EQUIPMENT.  |
| 5 | 3/4" CONDUIT WITH 2#8, 1#10 TO 40 AMP 2 POLE SPARE BREAKER IN EXISTING PANEL "LA".  |
| 6 | 3/4" CONDUIT WITH 2#8, 1#10 TO A 40 AMP 2 POLE BREAKER IN EXISTING PANEL "MDP". VERIFY BREAKER SIZE WITH MANUFACTURE PROVIDER PRIOR TO SHOP DRAWING PHASE OF PROJECT. CONTRACTOR TO REMOVE EXISTING 20 AMP SINGLE POLE SPARE BREAKERS TO MAKE ROOM FOR NEW 40 AMP 2 POLE BREAKER. |



1 FIRST FLOOR - POWER AND SPECIAL SYSTEMS PLAN  
1/4" = 1'-0" Refer to Architectural Drawings for All Dimensions

2 SECOND FLOOR - POWER AND SPECIAL SYSTEMS PLAN  
1/4" = 1'-0" Refer to Architectural Drawings for All Dimensions



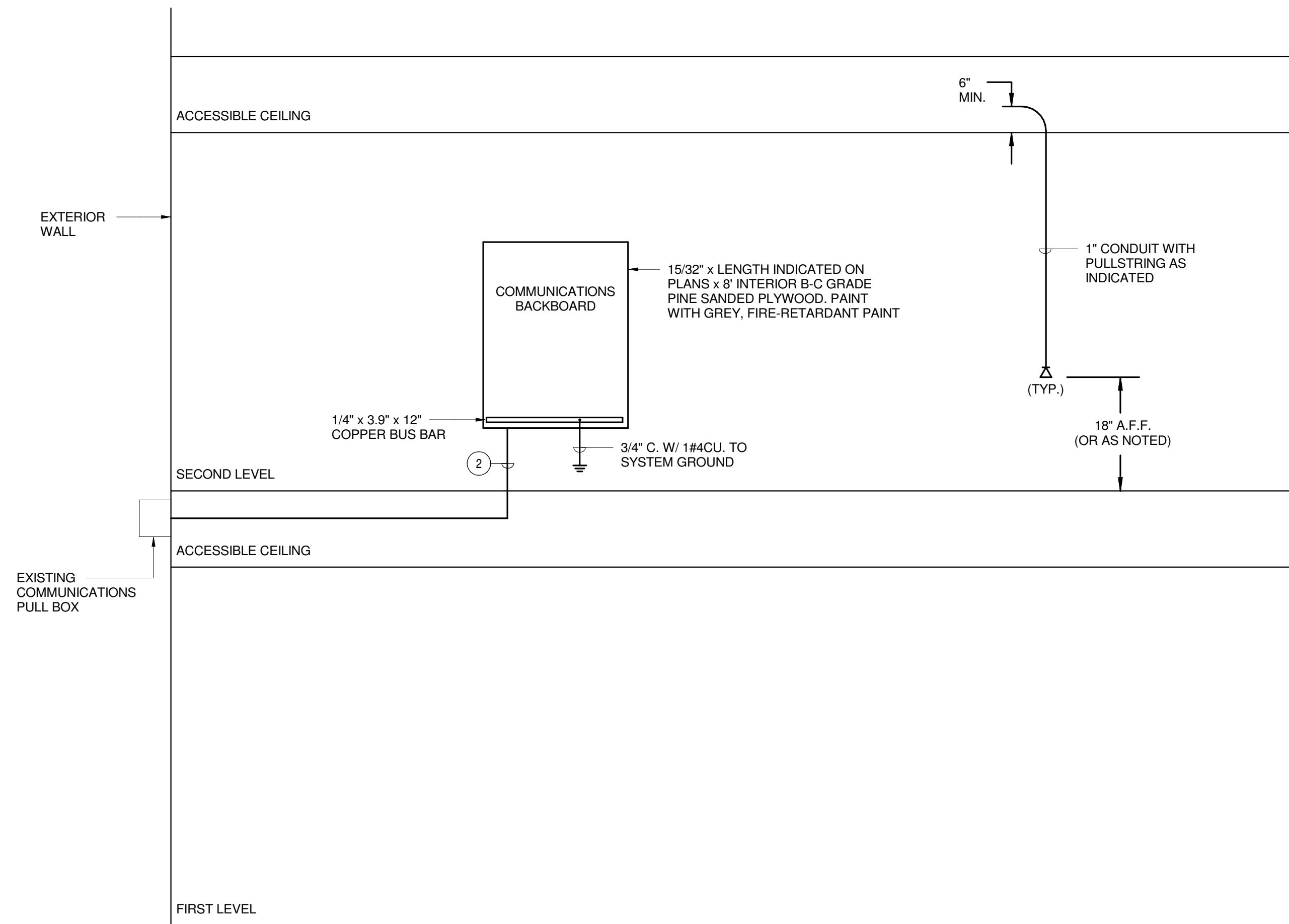
1304 BERTRAND DRIVE SUITE F7  
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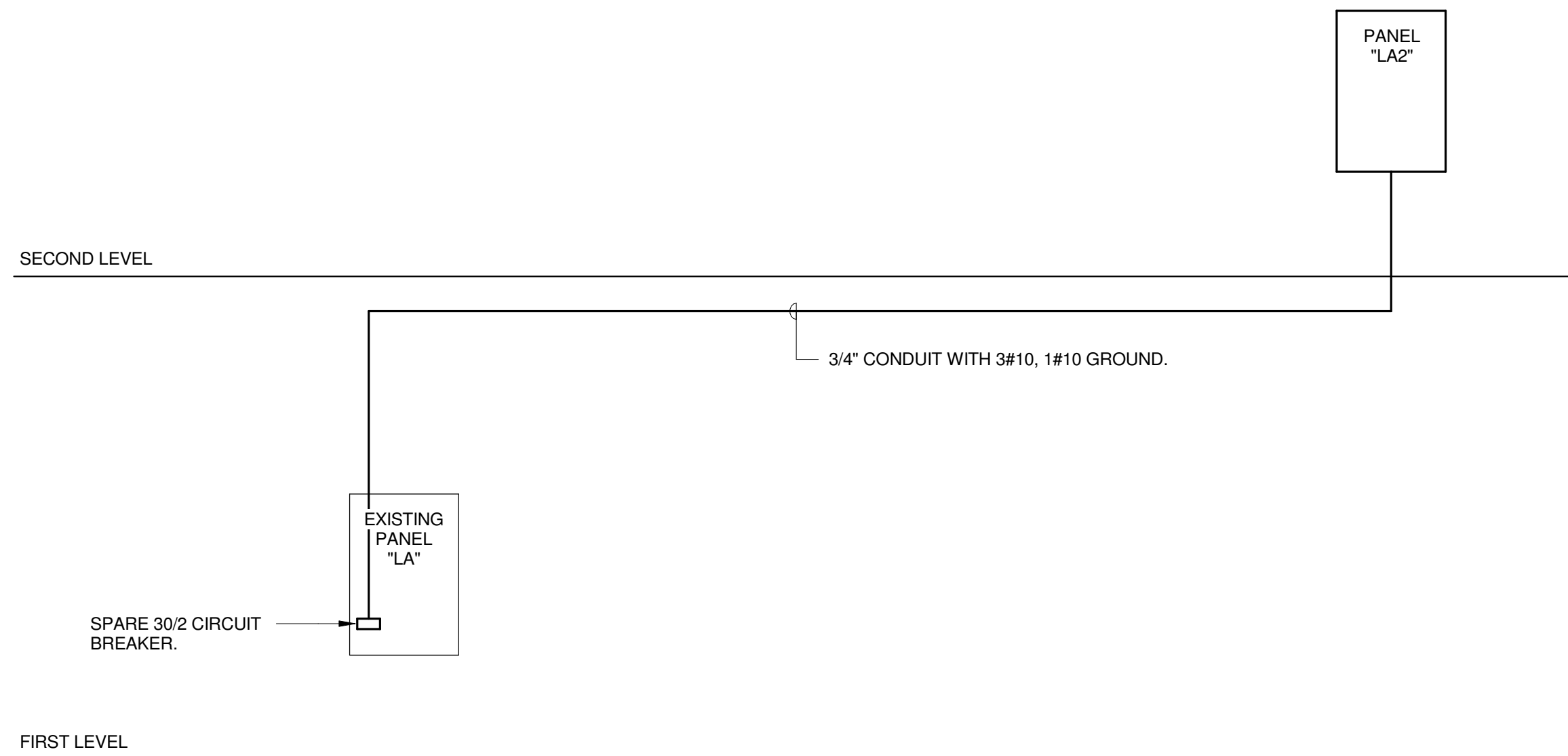


**COMMUNICATION RISER NOTES:**

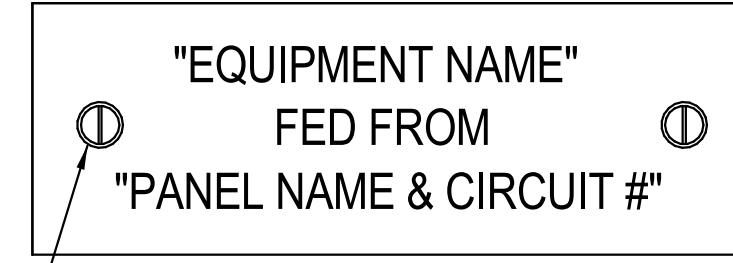
- 1 CONTRACTOR RESPONSIBLE FOR NOTIFYING OWNER TO SET UP COMMUNICATIONS SERVICE (CABLE TV, SATELLITE, PHONE AND INTERNET FOR FACILITY).
- 2 2" CONDUIT WITH CABLING PER COMMUNICATIONS PROVIDER REQUIREMENTS.



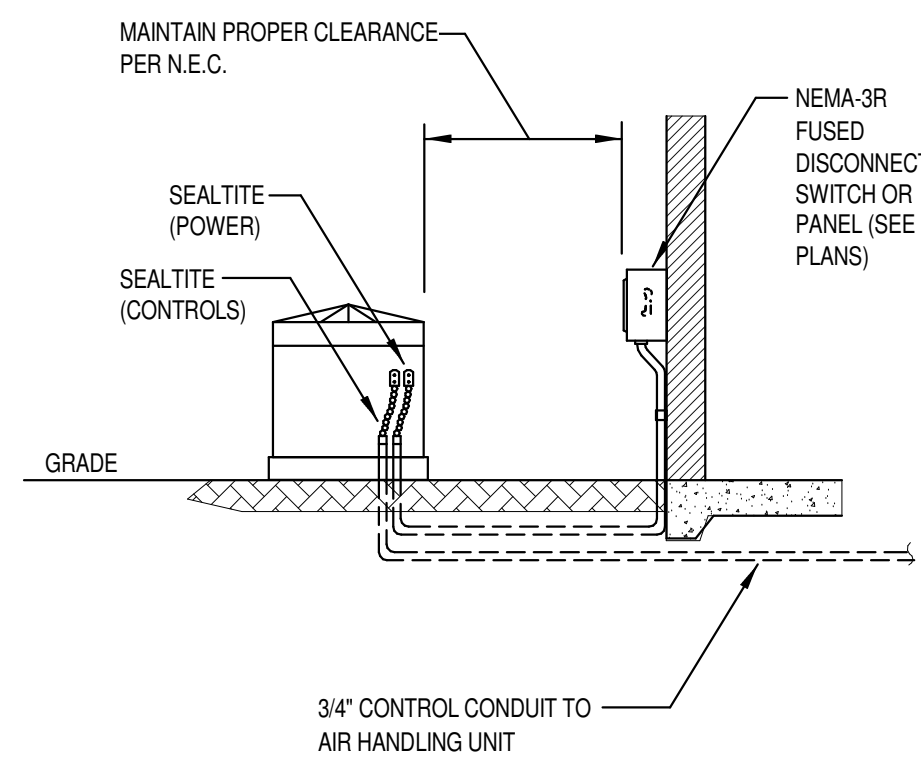
**COMMUNICATIONS RISER**  
NO SCALE



**ELECTRICAL RISER**  
NO SCALE

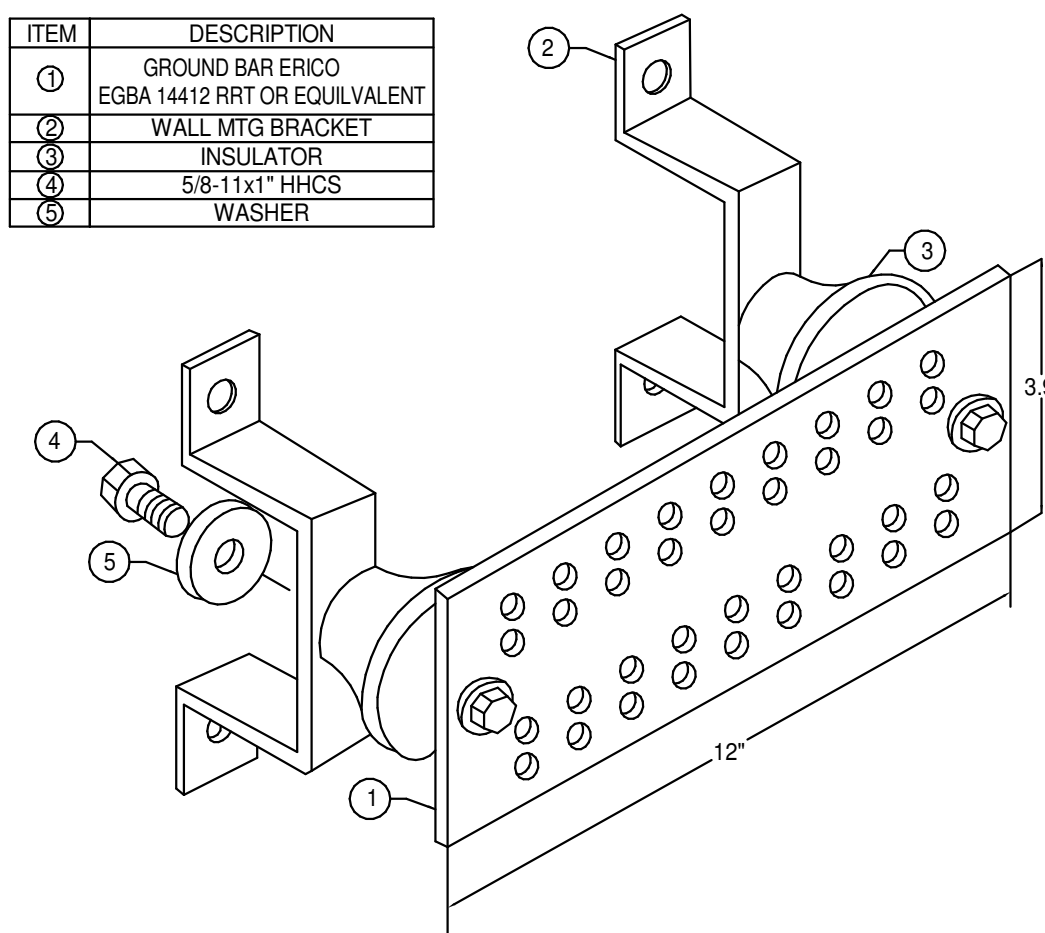


**1 PANEL & EQUIPMENT SIGNAGE DETAIL**  
NO SCALE



**2 CONDENSING UNIT DETAIL**  
NO SCALE

| ITEM | DESCRIPTION                                   |
|------|---|
| 1    | GROUND BAR ERICO EGBA 14412 RRT OR EQUIVALENT |
| 2    | WALL MTG BRACKET                              |
| 3    | INSULATOR                                     |
| 4    | 5/8-11X1" NUTS                                |
| 5    | WASHER  |



**3 TYPICAL COMMUNICATIONS GROUNDING BUSBAR DETAIL**  
NO SCALE

**Branch Panel: LA2**

Location:  
Mounting: Surface  
Enclosure: Type 1

Volts: 120/240 Single  
Phases: 1  
Wires: 3

A.I.C. Rating: MATCH EXISTING  
Mains Type: M.L.O.  
Mains Rating: 60 A

General Schedule Notes: Verify proper working clearances per N.E.C. prior to installation.

| Notes | #  | Circuit Description | Breaker | Wire | C. | A    | B    | C.   | Wire | Breaker | Circuit Description | #  | Notes |
|-------|----|---------------------|---------|------|----|------|------|------|------|---------|---------------------|----|-------|
|       | 1  | Comm. Bkdb.         | 20 A/1  |      |    | 360  | 180  |      |      | 20 A/1  | Rec. (Break Room)   | 2  |       |
|       | 3  | Refrigerator        | 20 A/1  |      |    |      | 1200 | 1000 |      | 20 A/1  | Rec. (Break Room)   | 4  |       |
|       | 3  | 5 Dish Washer       | 20 A/1  |      |    | 1000 | 0    |      | --   | 20 A/1  | Spare               | 6  |       |
|       | 7  | Space               | /1      | --   | -- |      | 0    |      | --   | 20 A/1  | Spare               | 8  |       |
|       | 9  | Space               | /1      | --   | -- | 0    |      |      | --   | 20 A/1  | Spare               | 10 |       |
|       | 11 |                     |         |      |    |      |      |      |      |         |                     | 12 |       |
|       | 13 |                     |         |      |    |      |      |      |      |         |                     | 14 |       |
|       | 15 |                     |         |      |    |      |      |      |      |         |                     | 16 |       |
|       | 17 |                     |         |      |    |      |      |      |      |         |                     | 18 |       |
|       | 19 |                     |         |      |    |      |      |      |      |         |                     | 20 |       |
|       | 21 |                     |         |      |    |      |      |      |      |         |                     | 22 |       |
|       | 23 |                     |         |      |    |      |      |      |      |         |                     | 24 |       |
|       | 25 |                     |         |      |    |      |      |      |      |         |                     | 26 |       |
|       | 27 |                     |         |      |    |      |      |      |      |         |                     | 28 |       |
|       | 29 |                     |         |      |    |      |      |      |      |         |                     | 30 |       |
|       | 31 |                     |         |      |    |      |      |      |      |         |                     | 32 |       |
|       | 33 |                     |         |      |    |      |      |      |      |         |                     | 34 |       |
|       | 35 |                     |         |      |    |      |      |      |      |         |                     | 36 |       |
|       | 37 |                     |         |      |    |      |      |      |      |         |                     | 38 |       |
|       | 39 |                     |         |      |    |      |      |      |      |         |                     | 40 |       |
|       | 41 |                     |         |      |    |      |      |      |      |         |                     | 42 |       |

| Load Classification | Connected Load | Demand Factor | Estimated Demand | Panel Totals             |
|---------------------|----------------|---------------|------------------|--------------------------|
| Receptacles         | 3740 VA        | 100.00%       | 3740 VA          |                          |
|                     |                |               |                  | Total Conn. Load: 4 kVA  |
|                     |                |               |                  | Total Est. Demand: 4 kVA |
|                     |                |               |                  | Total Conn.: 16 A        |
|                     |                |               |                  | Total Est. Demand: 16 A  |

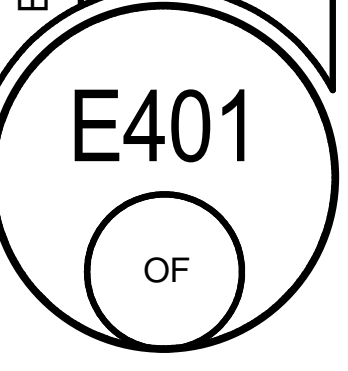
- Panel Schedule Notes: (Notes below do not necessarily appear in panel schedule)**
1. VERIFY BREAKER SIZE PER EQUIPMENT MANUFACTURER'S RECOMMENDED NAME PLATE RATING PRIOR TO SHOP DRAWINGS PHASE OF PROJECT.
  2. CIRCUIT VIA POLE LIGHTING CONTACTOR, CONTROL WITH (2) CIRCUIT INTERMATIC OR EQUAL ASTRONOMICAL TIME CLOCK WITH BATTERY BACKUP AND PHOTOCELL, PHOTOCELL "ON" TIME CLOCK "OFF".
  3. PROVIDE GFCI PROTECTED CIRCUIT BREAKER.
  4. CONDUIT, WIRE, AND BREAKER SIZE PER MANUFACTURER'S REQUIREMENTS.
  5. LABEL AS "MAIN SERVICE DISCONNECT".



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| ELECTRICAL SCHEDULES, DETAILS, AND RISERS | REVISIONS:    |
|---|---------------|
| DATE:                                     | DECEMBER 2024 |
| JOB #                                     | BC2024-01     |



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