



Community Development Department  
625 Murray Street, Suite 7  
3<sup>rd</sup> Floor, Alexandria, LA 71301  
318-449-5074 Office / 318-449-5031 Fax  
cda@cityofalex.com

# CmDv HOUSING REHAB SERVICES BID PACKET

**BIDS DUE BY:**  
**Friday, DECEMBER 13, 2024**  
**at 9:00 am (central)**

## **CmDv RFP #2405 – HOME MAJOR REHAB**

Attachment #1	Submittal Conditions
Attachment #2	General Conditions
Attachment #3	Specifications and Criteria for Scope of Work
Attachment #4	Definitions
Attachment #5	Contractor's Bid Proposal Price Sheet - <b>Itemize price for each structure</b> - <b>Complete, sign, return in sealed Bid Proposal packet</b>
Attachment #6	Subject Property Scopes of Work and Photos - <b>Multidiscipline work descriptions for 15 addresses</b> <b>With lead abatement required</b>



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## CmDv Housing Rehab Services Bid Packet - Submittal Conditions

**A MANDATORY PRE-BID CONFERENCE WILL BE HELD ON: December 4, 2024 at 3:pm (CST)**

The City of Alexandria's *Community Development Department* is soliciting bids from Louisiana State licensed Residential Contractors and/or Subcontractors with licensed EPA certified lead based paint abatement and renovation, repair and painting (RRP) Contractors, on behalf of eligible Homeowners, for the purpose of entering into a *Home Improvement Contract* to repair occupied residential structures that may require the abatement of lead based paint hazards. Submittal conditions shall be:

1. A **Mandatory Pre-Bid Conference** will be held at the time scheduled above. You may attend in-person at 625 Murray Street, Second Floor, Planning Conference room or you may also elect to attend via virtual meeting.
  - a. If you choose to participate via virtual meeting, you **MUST** have a live camera on so that we can visually see you during the meeting to ensure you are engaged and confirm who is attending the meeting on your company's behalf. If you do not have a live camera, you will be removed from the meeting and not allowed to participate or submit a bid proposal.
  - b. The Teams meeting link is:  
[https://teams.microsoft.com/l/meetup-join/19%3ameeting\\_YTFhYTM3YmUtZmlyMS00OTc1LThmNWUtNzE5YTRiNDJmN2M1%40thread.v2/0?context=%7b%22Tid%22%3a%22e921c35-7ccc-4b57-9cf8-55599520dd43%22%2c%22Oid%22%3a%2269d276fd-3831-4743-b1e8-0c87d7bd012f%22%7d](https://teams.microsoft.com/l/meetup-join/19%3ameeting_YTFhYTM3YmUtZmlyMS00OTc1LThmNWUtNzE5YTRiNDJmN2M1%40thread.v2/0?context=%7b%22Tid%22%3a%22e921c35-7ccc-4b57-9cf8-55599520dd43%22%2c%22Oid%22%3a%2269d276fd-3831-4743-b1e8-0c87d7bd012f%22%7d)  
Meeting ID: 219 687 284 330  
Passcode: n2C4JB
2. Sealed bid proposals are preferred, however, since this is an RFP and not a public bid, the Contractor may elect to submit the proposal electronically via email to [cda@cityofalex.com](mailto:cda@cityofalex.com). The subject line of the email submittal must state: *RFP #2405 – Contractor ID #xxxxx*.
  - a. All sealed bids submitted must be delivered to the address in the letterhead above by the deadline specified and must bear your *Community Development Contractor Registration ID#* on the **OUTSIDE FRONT** of the envelope.
  - b. No faxed or call-in bids will be accepted.
3. Any bid submitted must be on the Bid Proposal Price sheet(s) (Attachment #5) and signed by the Contractor or authorized party by hand and in ink by an authorized company representative per LA R.S. 38:2212.A.1.c.i. and shall be fully executed to include Company Name, Date, Street Address, Mailing Address, Telephone Number, UEI # or DUNS #, Contractor Authorized Signature, and Addendum Acknowledgement (if applicable). Any proposal without this information will be considered non-responsive and will be immediately rejected.
4. Conditional proposals, or those which take exception to the specifications, will be considered non-responsive and will be rejected.
5. Bidders are responsible for reading all parts of the *CmDv Housing Rehab Services Bid Packet*. The terms applicable to the bid award and contract are defined in this entire packet and may affect bid proposal pricing.
6. Bonds will be required for each job. They shall include: 5% bid bond, 100% performance bond and 100% payment bond. A ten percent (10%) retainer will be held for forty-five (45) calendar days after *Certificate of Acceptance*.

We appreciate your interest in working with Community Development on this federally funded program to improve the property standards within our community!



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## CmDv Housing Rehab Services Bid Packet – General Conditions

The City of Alexandria's *Community Development Department (CmDv)* is seeking to secure bid proposals, on behalf of eligible Homeowners, to provide Home Improvement Rehabilitation Services, and possibly lead abatement, at various privately owned residential properties within the city limits of Alexandria, Louisiana. These bids shall be in accordance with the terms, conditions, and specifications contained in the entire *CmDv Housing Rehab Services Bid Packet*. These services include and incorporate the repair and rehabilitation of occupied residential structures, in order to bring them up to current codes and ordinances, and extend the useful life of the structure.

1. All words within the entire *CmDv Housing Rehab Services Bid Packet* that are shown in *italics* are defined in Attachment #4. The definitions shall be reviewed by the Contractor for more information and understanding of the intent of the word and/or phrase, as well as further explanation that may impact bid pricing and work performed. These definitions are specific only to this particular bid packet.
2. Contractor shall furnish all labor, which may include Subcontractors licensed as EPA certified lead-based paint abatement and renovation, repair and painting (RRP), materials, and equipment necessary to accomplish all of the work required by the entire *CmDv Housing Services Bid Packet* of the attached properties. Labor shall be performed by skilled, competent craftsmen. The City Inspector shall have the right to have personnel removed from the job who are not performing their services in a workmanlike manner, violating the terms of the bid packet, laws and/or City ordinances.
  - a. Contractor shall be fully responsible for hiring any certified Lead Abatement Subcontractors required to perform necessary lead based paint abatement defined in the *Lead Inspection Risk Assessment (LIRA) and Work Plan*.
3. *CmDv* has a limited amount of funds to spend on rehab services per fiscal year. All properly submitted bids will be opened. Bids may be awarded in any order, in effort to rehab the maximum number of structures for the amount of funds budgeted. Bids will be awarded to the lowest responsive, responsible bidder per Bid Proposal Price Sheet. Multiple addresses may be bundled together and awarded as a group in effort to entice more Contractors to participate. Any bids not awarded due to budget shortfall or other reason deemed valid by *CmDv*, shall be identified on the *Bid Tabulations Sheet Notification*. See Definitions, Attachment #4, for more information.
4. Any Contractor interested in bidding on *CmDv Housing Rehab Services Bid Packets*, must hold an active *CmDv Contractor Registration*. This includes application, required licenses, required insurances and required documentation acknowledgements as described later in this document. See Definitions, Attachment #4, for more information. If you are NOT yet registered, go to [www.cityofalexandria.com/community-development](http://www.cityofalexandria.com/community-development) to download the application.
5. A *Mandatory Pre-Bid Conference* will be held and attendance is required for all interested parties. See meeting info on the Submittal Conditions shown on Attachment #1. See Definitions, Attachment #4, for more information.
6. The bidder has the option to visit each property location and evaluate the work to be performed, in accordance with the entire *CmDv Housing Rehab Services Bid Packet*, before submitting a proposal. The City Inspector is not required to accompany the Contractor. It shall be the bidder's responsibility to contact the Homeowner and coordinate a time for entry. Any oversight on the bidder's part shall not exempt them from the terms of the specifications and/or contract.
  - a. Quantities provided in the scopes of work are for obvious and visible material counts only. The Contractor shall be responsible to confirm actual quantities, visible or hidden, at the time of site visit and include pricing accordingly.

7. *Bid Proposals* must be submitted on the Bid Proposal Price Sheet (Attachment #5) provided. Proposals are subject to all conditions listed in *Submittal Conditions* (Attachment #1). All bid prices shall include any and all material, labor, equipment, disposal, tax and freight charges.
  - a. The Contractor must disclose the total price for the required lead based paint abatement work as one subtotal and the total price for the housing rehabilitation work as the other subtotal.
  - b. Any *Alternate* scopes of work delineated must also disclose in addition to the total price per *Alternate*.
  - c. A five percent (5%) *Bid Bond* must be submitted with the Bid Proposal. See Definitions, Attachment #4, for more information.
8. The *Bid Proposal* shall be awarded bids based on the selection of the *Owner*. The *CmDv Housing Rehab Services Program*, however, will use *HUD* federal funds to only pay the amount up to the lowest responsible, responsive bid price as defined on the Bid Proposal Price Sheet, on behalf of the *Owner*. A *Bid Tabulation Sheet Notification* shall be provided to all participating bidders once the *Owner* has selected the Contractor and authorized the award of the bid. See Definitions, Attachment #4, for more information.
  - a. The total base bid, including rehab and abatement work (if applicable), will be used to determine the lowest responsible, responsive bid price.
9. Participating bid Contractors can expect to receive a copy of the *Bid Tabulations Sheet Notification*, via email, within fifteen (15) business days after bid opening to identify the awarded bidder. See Definitions, Attachment #4, for more information.
10. Some scopes of work may list *Alternate* #1-3 beside specific line items. If applicable, the Contractor shall be responsible to include pricing for each *Alternate* line item. Awards will be made based on the scope of work excluding the *Alternate*, however, if there is available budget remaining per address, the *Alternate(s)* may be added to the base scope of work in effort to get the most repairs made to the home. Any proposal that does not include a price for the *Alternate* line items may be disqualified by *CmDv*.
11. Any bid price submitted must be honored by the Contractor, and their Subcontractors as applicable, for ninety (90) calendar days after the bid opening date. This is to provide a pool of alternate bid prices for a *secondary / subsequent award* consideration. The Contractor may also elect to request a *Bid Withdrawal*.
  - a. A five percent (5%) *Bid Bond* must be submitted with the Bid Proposal. See Definitions, Attachment #4, for more information.
12. A written *Home Improvement Services Contract*, for each awarded project, shall be executed on the date and time prescribed in the *Contractor Signing Notice* sent by the *CmDv* Rehab Program Manager. In the event that the Contractor cannot make that specific date and time, a maximum of three (3) business days will be the allowed window to reschedule *Home Improvement Contract* signing. The goal is for the Contractor to begin work as soon as possible.
  - a. A Performance Bond for 100% of the contract price shall be furnished to the City at the time of contract signing. See Definitions, Attachment #4, for more information.
  - b. A Payment Bond for 100% of the contract price shall be furnished to the City at the time of contract signing. See Definitions, Attachment #4, for more information.
13. The *CDA Rehab Permit* shall serve as the Notice to Proceed and the goal is for the Contractor to begin work as soon as possible. The *CDA Rehab Permit* shall be signed at the time of the *Home Improvement Contract* execution. The *CDA Rehab Permit* fee is waived for this Rehab Program. See Definitions, Attachment #4, for more information.
  - a. *CDA Rehab Permit* is valid for thirty (30) calendar days from the date of issuance.



- b. Any *CDA Rehab Permits* not issued at Contract signing must be signed and returned to CmDv within three (3) business days of receipt and prior to the start of work.
  - c. The Contractor shall start work on the first Contract address no later than five (5) business days after the *CDA Rehab Permit* is issued.
  - d. In the event the Contractor is awarded multiple contracts from one bid event, in no instance can more than five (5) business days lapse from a passing Building Final inspection from one project to the start work at another location, without written approval from the *CmDv* Administrator.
  - e. In the event a Contractor is awarded multiple contracts at one time, the Contractor shall plan to complete no less than two (2) rehabilitation addresses within the initial thirty (30) calendar days of Permit issuance.
    - i. The expectation is that the entire scope of work should be completed and pass all inspections and clearance tests in ten (10) business days from the start of work. The Contractor shall plan accordingly.
14. All *new Contractors* awarded a bid proposal for a *first time award* through *CmDv* may sign multiple contracts and Rehab Permits at one time, however, they will be required to successfully complete a minimum of one (1) project prior to starting work at any other locations.
15. The City shall make a one-time *payment* to the Contractor for 90% of the contracted amount due within thirty (30) calendar days of receipt of all requisite documentation, including the fully executed *Certificate of Acceptance*, and after the Certificate of Completion with Occupancy is issued. See Definitions, Attachment #4, for more information.
- a. The remaining ten percent (10%) balance due will be held as retainage for forty-five (45) calendar days after *Certificate of Acceptance* has been recorded at the Rapides Parish Clerk of Court's office by the CmDv Program Manager.
    - i. Once the forty-five (45) days expires, the Contractor shall record the *Contractor Release of Lien Affidavit* document at the Rapides Parish Clerk of Court's office and submit a copy of the recordation to the City for the final retainage payment. This document can be emailed to [cda@cityofalex.com](mailto:cda@cityofalex.com).
  - b. A Payment Bond for 100% of the contract price shall be furnished to the CmDv at the time of contract signing. See Definitions, Attachment #4, for more information.
16. Should an awarded bidder fail to execute a *Home Improvement Services Contract* within the prescribed time or unsatisfactorily complete an awarded project, the subsequent awards be withdrawn, and/or a contract be terminated, a *secondary / subsequent award* may be implemented. See Definitions, Attachment #4, for more information.
- a. A Performance Bond for 100% of the contract price shall be furnished to the City at the time of contract signing. See Definitions, Attachment #4, for more information.
17. The Contractor, and their Subcontractors as applicable, and City shall agree that should any dispute arise, a final *dispute resolution*, will be rendered by *CmDv* Administrator, Division Director and/or City Legal Division.
18. It is in the Contractor's best interest to fully document any pertinent discussions with the Owner and have them sign the same, in effort to avoid discrepancies later in the process.
19. A *contract termination* may occur for various reasons and can be initiated by the City on behalf of the *Owner*. The City may also take action to *debar* an awarded Contractor for various reasons. See Definitions, Attachment 4, for more information.
20. The City of Alexandria, on behalf of the Owner, reserves the right to reject for cause any and all bids or parts of bids, or accept bids most beneficial to the Owner.
21. Contractor shall be required to retain all records related to work performed under the *Home Improvement Contract* for a period of five (5) years and shall make such records available for inspection, examination, excerpts, and transcriptions to the City, *HUD*, the Comptroller General, or their duly authorized representatives.

22. Pursuant to LA R.S. 38:2212.A.1.b, the provisions and requirement of this bid shall not be considered as informalities and shall not be waived by the City of Alexandria. Therefore, conditions and specifications on this bid form shall be strictly enforced and any and all alterations, deviations, and non-compliance to said conditions and specifications, either on the bid form or by separate attachment, shall be grounds for immediate disqualification.
23. Pursuant to LA R.S. 38:2212.1C.2, any manufacturer's preference provided is descriptive, but non-restrictive, and is used only to indicate minimum requirement for type, grade and quality unless otherwise specified.
24. Contractor, and their Subcontractors as applicable, agrees to provide a drug free workplace which prohibits the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance in the workplace. Contractor or any of their workers or subcontractors will be prohibited from smoking inside an occupied residence.
25. The Contractor, and their Subcontractors as applicable, shall comply with all Federal, State and local laws, codes, ordinances and regulations of the residential structures, as well as abatement and disposal of materials. Contractor is responsible to account for these conditions in the bid proposal price submitted.
26. The Contractor, and their Subcontractors as applicable, shall protect and defend, at Contractor's expense, and indemnify and hold harmless, the City and its representatives, officers, agents, and employees from and against any and all losses, penalties, fines, damages, settlements, judgments, claims, costs, charges, expenses, or liabilities, including any award of attorney fees and any award of costs, in connection with or arising directly or indirectly out of any act or omission by the Contractor or by any officer, employee, agent, invitee, subcontractor, or sublicensees of Contractor.
27. The Contractor, and their Subcontractors as applicable, shall exercise proper precaution at all times from the protection of persons and property and shall be responsible for all damages to persons for property, either on or off the site, which occur as a result of his prosecution. Codes shall be observed. Contractor shall take additional safety and health measures as deemed reasonably necessary by *CmDv*. Machinery, equipment, and all hazards shall be managed in accordance with safety provisions of the "Manual of Accident Prevention in Construction" published by the Associated General Contractors of America, Inc., to the extent that such provisions are not in conflict with applicable local laws.
28. The Contractor, and their Subcontractors as applicable, shall be advised that no member or Delegate to the Congress of the United States, and no Resident Commissioner, shall be admitted to any share or part of any possible bid award or to any benefit to arise from the same.
29. The Contractor, and their Subcontractors as applicable, shall be advised that no member, officer, or employee of the Local Public Body, or its designees or agents, non-member of the governing body of the locality in which the (Program, Project, or Similar) is situated, and no other public official of such locality or localities who exercises any functions or responsibilities with respect to the (Program, Project or Similar) during their tenure or for one year thereafter, shall have any interest, direct or indirect, in any Contract or Sub-Contract, or the proceeds thereof, for work to be performed in connection with the (Program, Project, etc).



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## CmDv Housing Rehab Services Bid Packet – Specifications & Criteria

The Contractor or their authorized representative may elect to contact the Property Owner directly to schedule a time to review the scope of work described in the *CmDv Housing Rehab Services Bid Packet*. The City Inspector does not have to accompany the Contractor to visit the house. However, keep in mind that the scope of work is limited to the bid specification provided in the packet. The Property Owner, nor the Contractor, has any authority to alter the scope. The scope of work includes pictures taken by the City Inspector, and a Lead Inspection Risk Assessment (LIRA) Work Plan for any lead based paint scopes, to assist in the description of work. If you have questions concerning the scope of work description, please submit them in writing to [cda@cityofalex.com](mailto:cda@cityofalex.com) prior to the mandatory Pre-Bid Conference.

**Contractor shall note that each house is currently occupied and that neither the Owner, occupants or their belongings will be relocated offsite during this performance of work, therefore, the Contractor must plan accordingly.**

**Specifications:** Rehabilitation and lead remediation services requested for pricing from and to be performed by the Contractor shall include:

1. providing sufficient skilled labor, manpower and equipment to perform work safely and expeditiously with all equipment plainly marked with the company name or the rental company name, if applicable. This shall include having a qualified foreman on site at all times who is authorized to act on behalf of Contractor and capable of making on-site decisions;
  - a. A Louisiana State Licensed Residential Contractor shall be required to perform all rehabilitation work and act as a General Contractor (GC) for the hire of Subcontractors to perform discipline specific work;
  - b. An Environmental Protection Agency (EPA) Lead Based Paint Abatement Certification shall be required to perform all lead remediation and abatement work, who can be the GC and/or a Subcontractor of the GC.
    - i. Labor employees must be Certified Lead Abatement Workers and/or Certified Lead Abatement Supervisors for work requiring interim control or abatement
    - ii. Contractors must attach current copies of EPA Abatement Contractor's Certification and a list of certified employees and/or supervisor to their proposals.
    - iii. Scopes of work defining interim controls must be performed in accordance with the HUD's Lead Safe Housing Rule 24 CFR §35.1330 Interim Controls, 24 CFR §35.1345 Occupant protection and worksite preparation, 24 CFR §35.1350 Safe work practices, and Chapter 11 of the HUD Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing (2012 Edition).
    - iv. Scopes of work defining abatement must be performed in accordance with HUD's Lead Safe Housing Rule 24 CFR §35.1325, 24 CFR §35.1345 Occupant protection and worksite preparation, 24 CFR §35.1350 Safe work practices, and Chapters 12 and 13 of the HUD Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing (2012 Edition).
  - c. A Louisiana State Licensed Electrician, Plumber and or Mechanical Subcontractor shall be require to perform all rehabilitation discipline specific work.
2. awarded addresses will be provided with a Lead Inspection Risk Assessment (LIRA) and Work Plan for houses that have tested positive for lead based paint (LBP). The LIRA will define the necessary interim control and/or abatement scope of work to be performed, in addition to the regular rehabilitation work. See Definitions, Attachment #4, for more information.
  - a. HUD requires that any projects receiving over \$25,000 of federal rehabilitation assistance must be abated per 24 CFR 35.930(d), which specifically states: *abate all lead based paint hazards identified by the paint testing or risk assessment conducted pursuant to paragraphs (d)(1) and (d)(2) of this section, in accordance with 35.1325, except that interim controls are acceptable on exterior surfaces that are not disturbed by rehabilitation and on paint-lead hazards that have an area smaller than the de minimis limits of 35.1350(d). If abatement of a paint-lead hazard is required, it is necessary to abate only the surface area where with hazardous conditions.*

- b. Lead based paint work, defined for this RFP, shall require abatement on any interior surface, for any house receiving assistance, regardless of the dollar amount threshold because HUD deems abatement as the only permanent solution for removing lead hazards.
3. complete removal and disposal of all materials replaced in accordance with the scope of work, including but not limited to demolition debris, trash, garbage, appliances, plumbing fixtures or similar materials. All new work performed shall be in compliance with the current version of the International Residential Code;
4. all materials and products shall be new and un-used. Material products shall be of Builder Grade minimum and meet all requirements for code compliance with the current adopted version of the International Residential Code (IRC). Each respective bidder shall be responsible for ensuring that his/her product meets or exceeds this specification;
  - a. Per HUD Lead Abatement Window Program, window replacement will be Norandex extreme 3000 Double Hung White/Norandex perfection Gold Double Hung White windows or equivalent. See attached Norandex Window Exhibit.
  - b. It is recommended that the Contractor order all materials as soon as Contracts are executed to ensure timely delivery so that work can begin on time;
5. all materials shall be cut and fit tight and nailed (if applicable) in place on the job for permanent installation. Materials shall be free from all pencil and kerfed marks. Best practices shall be used in reference to all installation methods and in accordance with manufacturer's specifications. Finish materials shall be selected by the Contractor to match the quality, color and décor of existing like materials in the house;
6. responsibility to keep premises clean and orderly during the course of work and remove all debris upon completion of work. Where buildings to be repaired are furnished and occupied by *Owners* and their tenants, the prime Contractors, and Sub-Contractor shall make all allowances in their proposals for whatever inconvenience is incurred, i.e., working around furniture, adjusting working hours to accommodate Owners or tenants daily routines, etc. The Contractor shall cover all carpets, furniture, etc. in the work area with drop clothes. Passageways and hallways shall be kept clear of debris, lumber, or equipment. Bulk materials may not be stored inside the building. The *Owner* shall make a reasonable effort to move furniture and rugs to create clear working space for the Contractor;
7. any work not described above but necessary to provide a clean, functioning work site and livable space for the *Owner*;
8. materials containing lead base paint abatement, removal and legal disposal of hazardous materials, as applicable, shall be identified in the Lead Inspection Risk Assessment (LIRA) Work Plan that shall accompany the Property Identification Scope of Work Reports provided with each Subject Property Identification in Attachment #6;
9. all necessary coordination, arrangement, and scheduling of work tasks, as well as coordinate air monitoring activities and Post-Work Clearance Testing with the Environmental Consultant retained by the City. All clearance procedures will follow the HUD Guidelines (2012 edition) and consist of the following: visual inspection, dust sampling of interior and exterior surfaces (decided by the inspector/risk assessor), soil sampling if bare soil is present (decided by the inspector/risk assessor).
  - a. Contractor shall submit LPF-3 to LDEQ five (5) days prior to project initiation. Provide a copy of the completed form to the City and the Environmental Consultant (EC) retained by the City.
  - b. City will pay the Environmental Consultant for the first Post-Work Clearance Test performed.
  - c. Contractor will pay for any additional Post-Work Clearance Testing and shall provide at no additional costs, a re-cleaning of areas that did not meet standards until clearance level is achieved.
  - d. Additional Post-Work Clearance Test expenses shall be deducted from the Contractors final invoice for each address specific job.
10. Bonds will be required for each job. They shall include: 5% bid bond, 100% performance bond and 100% payment bond. A ten percent (10%) retainer will be held for forty-five (45) calendar days after *Certificate of Acceptance*.
11. honor all work performed, labor and materials installed for a *warranty* period of one (1) calendar year from the date of

issuance of the *Certificate of Completion with Occupancy*.

**Criteria:** Rehab services to be performed by the Contractor shall include:

1. Upon request by the City, the successful bidder may be required to furnish additional information / literature on material(s) and/or product(s) bid for evaluation purposes to ensure that they meet the minimum specification standards. Determinations on product compliance of “equal or better” will be made by the CmDv Administrator within fifteen (15) business days of the submittal request / review.
2. When any bid is awarded by the *Bid Tabulation Sheet Notification* on the *Owner’s* behalf for rehab services, the Contractor shall receive a *Contractor Signing Notice*, stating the date and time, that the written *Home Improvement Contract* shall be executed by and between the *Owner* and the Contractor at CmDv’s office.
3. No work, abatement or demolition, at any designated site shall begin until the Contractor has received a *CDA Rehab Permit / Notice to Proceed* from the City.
4. A CDA Site Preconference *inspection* is required at any time after the *Home Improvement Services Contract* is signed by the Contractor but before actual repair work has started. See Definitions, Attachment #4, for more information.
5. The Contractor shall notify the CmDv Office at 318-449-5072 to schedule inspection(s) deemed necessary on the *CDA Rehab Permit*, a minimum of 48 hours in advance. The Contractor must be present for each inspection to meet with the City Inspector to ensure work is code complaint and to ensure the job site has been left in a safe condition daily. See Definitions, Attachment #4, for more information.
  - a. Do not email and do not call the Inspector directly. Inspectors are scheduled for days in advance, therefore, you need to confirm availability with the Permit Tech.
  - b. Inspections can only be scheduled from 8:am to 3:30 pm Monday through Friday, without written consent from the Owner and CmDv Administrator.
  - c. The Contractor, not the job foreman, must be onsite at the time of the inspection to meet with the City Inspector to ensure work is code complaint and to ensure the job site has been left in a safe condition daily.
6. Allowed working hours per City Ordinances is 7:am to 6:pm Monday through Friday.
  - a. The Contractor shall plan to physically work on a site no less than six (6) hours per day and shall have all equipment, materials and personnel onsite first thing in the morning and ready to work.
  - b. Any hours planned for work after 3:30 pm will need to be approved by the Homeowner.
  - c. Any work planned outside of 7:am to 6:pm Monday through Friday will first need to request a Construction Noise Ordinance Variance Authorization from the CmDv Program Manager and it must be approved by the Division Director and fully executed by all neighboring property owners.
7. Contractor agrees to keep an open communication with both *CmDv* Program Manager, Inspector and the *Owner*. This communication shall include scheduling site visits to work with the *Owner*, scheduling inspections, scheduling *Lead Clearance Testing* (as required by the Scope of Work) and keeping the *CmDv* Program Manager abreast of any delays and project scheduling. Contractor agrees to be responsive to both parties in a timely and professional manner.
8. *CmDv* has secured the *Owners* approval for the Contractor’s use of all utilities to the structure prior to the issuance of the *CDA Rehab Permit* at no charge to the Contractor. The *Owner* will be required to allow the Contractor use existing utilities such as light, heat, power, and water necessary to carry out and complete the work. The *Owner* shall also consider allowing workers access to restroom facilities during the course of work.
  - a. In the event the Homeowner refuses access to their restrooms during working hours, the Contractor shall be responsible to provide an alternate portable facility for their crew.

9. Due to the Federal funding limitations of the program, *change orders* will be considered on a case by case basis, only where unforeseen conditions are uncovered during the course of the work, which are necessary to complete the defined scope of work. See more description in the Housing Rehab Program Guide, Article XV.
  - a. Change orders that exceed ten percent (10%) of the original contract price shall require written consent of the surety adding the additional cost to the Performance and Payment Bond and submittal of the same to CmDv.
10. Time is of the essence in the performance of the rehabilitation services for the structures. Failure of the Contractor to perform as described, or not complete all activities as required and provided herein, without reasonable justification and written approval from the *CmDv* Administrator, may result in the assessment of liquidated damages of \$500 per day.
  - a. Contractor shall be fully responsible for hiring any certified Lead Abatement Subcontractors required to perform necessary lead based paint abatement defined in the Lead Survey Report provided.
11. Contractor shall maintain safe working conditions by installing, operating, maintaining and protecting the project in a manner that will be safe, non-hazardous, sanitary and protective of persons and property. The Contractor shall provide all necessary barricades, signs and take all necessary precautions to protect buildings, property, personnel and the public.
  - a. The Contractor should have bee / wasp spray on-hand at all times.
12. The Contractor shall provide all necessary signs and take all necessary precautions to protect buildings, property, personnel and the public.
13. Contractor must execute daily cleaning procedures to ensure that buildings, grounds and public properties are maintained free from accumulations of waste materials and rubbish, and shall promptly remove and dispose of all debris that may be a result of services. Flammable material must be removed from the subject property location daily because storage will not be permitted on the premises. Precautions must be exercised at all times to safeguard the welfare of the City of Alexandria and the general public.
  - a. See additional lead based paint cleaning requirements in Attachment #4 for Definitions.
14. Contractor shall also be responsible to keep all dirt, mud, water, etc out of City streets and off the City sidewalk at all times. In the event the incident does occur, the Contractor shall be responsible to clean the same within two (2) hours.
15. Contractor shall keep all equipment and vehicles out of the City street and off the City sidewalk in effort to maximize the passage of traffic and street parking for neighboring residents. In the event the street must be closed to complete the required work, the Contractor shall responsible to notify the appropriate street authority and provide their own barricades on the street at the necessary locations. Contractor shall coordinate any traffic needs with the City of Alexandria Traffic Department (318-441-6126) and/or the LaDOTD.
16. During the rehab process, in the event there is an unauthorized discharge that causes an emergency condition, the discharger shall follow all procedures required in the Louisiana Administrative Code, Title 33, Part I, Subpart 2, Chapter 39 (LAC 33:I Ch39). The Contractor and/or their subcontractors may elect to maintain Pollution and Accidental Spill Coverage.
17. Contractor shall be responsible to notify 811 at least 48 hours prior to any digging operations.
18. Any materials and/or equipment left on the site are the responsibility of the Contractor. Any loss of materials or equipment due to theft, vandalism, etc. shall be the total responsibility of the Contractor. Contractor will remove all tools and equipment immediately after the completion of work daily. Any materials and/or equipment left on the site are the responsibility of the Contractor.
19. Salvage rights of removed debris materials belong to Contractor after the *Home Improvement Contract* is fully executed by both the *Owner* and the Contractor. After that time, it is the Contractors discretion to allow the owner or other parties the salvage of any debris materials left on the property.

20. Any damage caused by Contractor to public or private property shall be remedied by the Contractor, at Contractor's cost to the satisfaction of the City. Repairs to public property shall be in accordance with current City standards, for example, cracked or broken curbs or concrete panels, must be saw cut and squared off prior to new concrete installation. Contact the City Engineering Department (318-473-1173) for more details.
  - a. If the Contractor fails to make necessary repairs, the City may withhold estimated costs out of the Contractor's payment to have the repairs made.
  - b. Repairs shall be completed and pass City inspection no less than fifteen (15) calendar days after the work is completed on the house.
21. The Contractor shall indemnify the City of Alexandria and its representatives against all claims arising from injuries to persons or damages to property due to neglect by the Contractor.
22. The Contractor shall be solely responsible for all Subcontractors, construction means, methods, techniques, sequences and procedures, and for coordination of all portions of the work under the *Home Improvement Contract*.
23. The Contractor is responsible for installation of all materials and labor, in a method defined by the manufacturer's specifications, necessary to honor any product *warranty* by the manufacturer. The Contractor is also responsible for delivering all of the warranties, documentation and releases to the Owner prior to the issuance of the *Certificate of Completion with Occupancy*.
24. In the event the Contractor must temporarily disconnect of all utilities to the structure during the course of work, they shall contact the respective City Utility Departments listed below.
  - a. Electric (318-473-1354)
  - b. Gas (318-441-6137)
  - c. Water (318-441-6217)
  - d. Wastewater (318-441-6247)
25. The Contractor, nor any Subcontractor, shall not negotiate the scope of work with the *Owner*. Any potential changes to the scope of work must be approved in writing by the *CmDv* Administrator. It is imperative that the Contractor be diligent about notifying *CmDv*, and obtaining written consent, prior to any scope of work deviation, based on work to be performed and/or material standard. In the event that the Contractor performs work outside of the scope of this bid packet, the Contractor shall solely be responsible to the *Owner* for the quality and performance of the work performed.
  - a. The Contractor and *Owner* must also acknowledge that any complaints or issues for work performed outside of the scope of this bid packet shall not hold-up or delay the required inspections or signing of the *Owner-Contractor Certificate of Acceptance Form*, issuance of the *Certificate of Completion with Occupancy* or payment to the Contractor.
26. In the event that the *Owner* has made repairs that are listed on the scope of work, prior to the issuance of the *CDA Rehab Permit*, the Contractor shall notify *CmDv* immediately in writing. The *CmDv* Administrator shall be responsible to issue a *change order* to remove the scope of work from the bid specification. See Definitions, Attachment 4, for more information on Change Orders.



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## CmDv Housing Rehab Service Bid Packet - Definitions

Words and phrases, referenced by *italics*, in this bid packet are defined below for reference.

**ADDENDUM:** a written summary offering clarification and/or changes to the existing, published to supplement the *CmDv Housing Rehab Services Bid Packet*. An *Addendum*, if applicable, may be published after submitted written questions and/or a *Pre-Bid Conference*. Any questions requested by the Contractor prior to the *Pre-Bid Conference* must be submitted in writing at least one (1) business day before the *Pre-Bid Conference*. Answers will not be provided by CmDv staff over the telephone because all interested bidders must receive the same information up to bid opening. Any questions or clarifications requested after a *Pre-Bid Conference* will not receive a response.

- a. If applicable, an *Addendum* will be posted, at the same location as the original bid advertisement on the City's website, for clarification to all potential bidders a minimum of four (4) business days before bid opening / on the Monday of the same week of the bid opening.
- b. *CmDv* will make every attempt to notify Contractors who attended the scheduled *Pre-Bid Conference* of any *addendums* published, however, it is ultimately the Contractor's responsibility to verify the publication of the same.
- c. Also see definitions for *CmDv Housing Rehab Services Bid Packet*.

**ALTERNATE SCOPE OF WORK:** Some scopes of work may list *Alternate* beside specific line items. The Contractor shall be responsible to subtotal the base bid, then include pricing for each *Alternate* line item in the *Bid Proposal*.

- a. Any proposal that does not include a price for the *Alternate* line items may be disqualified by *CmDv*.
- b. Awards will be made based on the low bid for the base bid scope of work excluding the *Alternate*, however, if there is available budget remaining per address, the *Alternate* may be added to the base scope of work if effort to get the most repairs made to the home.
- c. The *Alternate* line items will be listed in the order of priority and how they will be awarded. For example: The base bid will be awarded, then if funding is available, *Add Alternates 1*, then *2*, then *3* will be awarded. It will not be the base bid, then *Add Alternate 2* or *3*.
- d. There will be a maximum of three (3) *Add Alternates* per address.

**BID PROPOSAL:** Any interested bidder, who holds a current, active CmDv Contractor Registration ID #, is allowed to submit a bid proposal in response to the RFP published. The proposal is the Contractor's price for providing skilled labor, materials, equipment, disposal, taxes and freight charges, insurances, etc. to perform the work described in the RFP. All properly submitted bids will be opened. Bids may be awarded in any order, in effort to rehab the maximum number of structures for the amount of funds budgeted. Any bids not awarded due to budget shortfall or other reason deemed valid by *CmDv*, shall be identified on the *Bid Tabulations Sheet Notification*. The successful bidder shall be awarded bids based on the lowest responsible, responsive bid price as defined on the *Bid Proposal Price Sheet*, Attachment #5, submitted and selected on behalf of the Owner.

- a. Bid proposals shall be submitted as defined in the Submittal Conditions, Attachment #1.
- b. All bids must be submitted on the specific Bid Price Proposal Sheet in this RFP, labeled Attachment #5.
- c. The following information is required on EACH bid proposal sheet submitted: Company Name, Date, Street Address, Mailing Address, Telephone Number, UEI # or DUNS #, Contractor Authorized Signature, and Addendum Acknowledgement (if applicable). Any proposal without this information will be considered non-responsive and will be immediately rejected.
- d. If there is a mathematical discrepancy between unit price and extensions, the unit price shall prevail.
- e. Sealed bid proposals are preferred, however, since this is an RFP and not a public bid, the Contractor may elect to submit the proposal electronically via email to [cda@cityofalex.com](mailto:cda@cityofalex.com). The subject line of the email submittal must state: *RFP #2404 – Contractor ID #xxxxx*.
  - i. All sealed bids submitted must be delivered to the address in the letterhead above by the deadline specified.



- ii. All sealed bid packages must bear your *Community Development Contractor Registration ID#* on the OUTSIDE FRONT of the envelope. Packages without this information will be considered non-responsive, will not be opened and will be immediately rejected.
- iii. No faxed or call-in bids will be accepted.
- f. Contractors shall be responsible to verify the *Addendum #*, if applicable on the Bid Proposal Price Sheet.
- g. A five percent (5%) Bid *Bond* must be submitted with the Bid Proposal.
- h. Any bid price submitted must be honored by the Contractor for ninety (90) calendar days after the bid opening date. This is to provide a pool of alternate bid prices for a secondary / subsequent award consideration.
- i. All bids shall be signed by hand in ink by an authorized company representative per LA R.S. 38:2212.A.1.c.i.
- j. If properties are grouped / bundled, there may be multiple Bid Proposal Price Sheets, indicating the properties grouped / bundled per bid price and/or those listed individually. See Bid Proposal Price Sheet, Attachment #5 for applicability. Bids will be awarded to the lowest responsive, responsible bidder per group / bundle on Bid Price Proposal Sheet. Should the bidder omit and/or swap out a property listed within the defined group / bundle, the group bid proposal will be considered non-responsive and will be rejected.
  - i. In the event that several properties are bid as a group and there is a discrepancy between the total group price and the unit prices, the unit price shall prevail to determine the corrected group price.
- k. *CmDv* will either award an entire grouping / bundle or will not award an entire grouping / bundle based on total bid price and available funding.
  - i. In the event that *CmDv* cannot award an entire grouping / bundle due to limited funding availability, *CmDv* reserves the right to select specific properties from a specific grouping / bundle and responsible responsive low group / bundle bidder will be asked if they will continue to honor their individual bid prices for selected properties. This is in effort to award as many projects as possible per bid event.
    - 1. If the Contractor agrees, the bid award will be made for those properties individually.
    - 2. If the Contractor does not agree, the properties will be re-advertised for bid.
- l. Conditional proposals, or those which take exception to the specifications, will be considered non-responsive and will be rejected.
- m. All erasures or corrections on the bid form must be initialed by the Contractor and the City of Alexandria may rely on the apparent authority represented by the initials.

*CmDv* reserves the right to group / bundle multiple rehab site locations together as one group bid price request, based on criteria to be pre-determined before bid advertisement, such as proximity, discipline or other reason deemed valid by *CmDv*. This is in effort to entice Contractors to participate and to solicit more competitive pricing by potentially reducing mobilization costs and other variables for the Contractor. Bids submitted, however, must still specify price per unit because any awards will be confirmed through individual *Home Improvement Services Contracts* per address location. This is required in order to comply with program guidelines and *HUD* requirements and the specific payment funding source.

***BID TABULATION SHEET NOTIFICATION:*** A *Bid Tabulation Sheet* shall be provided to all participating bidders via email within fifteen (15) business days of bid opening. Requests for the *Bid Tabulation Sheet* can be made by any party that did not submit a bid through a Public Records Request by emailing [ppr@cityofalex.com](mailto:ppr@cityofalex.com).

- a. If the Owner insists on selecting a bid other than the lowest responsible, responsive bidder, then the initial award to be paid with HUD funds shall be deemed ineligible. Past experience has proven that the arrangement and timing of a separate payment between the Owner and Contractor has caused problems that affected the success of the Rehab Program and is therefore prohibited.
- b. Payment for each Home Improvement Services Contract may be paid with HUD federal funds and/or other resources, on behalf of the Owner, based on the availability of money each fiscal year. Bid Tabulation Notification Sheet shall identify the funding source for each project awarded, however, this is subject to change during the course of the project with no impact to the Contractor.

***BID WITHDRAWAL:*** Any bid price submitted must be honored by the Contractor for ninety (90) calendar days after the bid opening date. In the event a Contractor, who was initially not awarded a bid on a specific property, wishes to withdraw that particular bid submittal, they must document the request in writing to the *CmDv* Administrator.

- a. The earliest a bid may be eligible to be withdrawn is forty five (45) calendar days after the bid opening date.

- b. A Contractor's written request to withdraw a bid submittal shall be reviewed and responded to in writing by *CmDv* within five (5) business days of receipt.
- c. If a Contractor is approved / accepted by *CmDv* to withdraw a bid submittal, the Contractor would not be able to participate in any *secondary / subsequent award* bid processes for that particular property within the ninety (90) calendar days from the date of initial bid opening, in the event that the project must be re-advertised for public bid. See definition for *secondary / subsequent award*.

**BONDS REQUIRED-BID BOND, PERFORMANCE BOND & PAYMENT BOND:** The HOME Major Rehab Program Policy Guidelines require that Bid Bond, Performance Bond and Payment Bonds shall be secured on all HOME Major Rehab Projects. The City of Alexandria shall be named as the Bond Holder / Grantor, on behalf of the Property Owner, in all three (3) types of required Bonds. All bonds submitted to the City shall be issued by surety companies authorized to do business within Louisiana and is listed on current United States Department of Treasury's Listing of Approved Sureties.

- a. **Bid Bond** in the amount of five percent (5%) of the bid price shall be submitted with the bid proposal. The bid bond shall be duly executed by the Contractor as principal and having as surety thereon a surety company.
  - i. Such bid bonds will be returned to all except the lowest bid Contractor within three (3) business days after the opening of the bids.
  - ii. Bid Security in the form of a bid bond.
- b. **Performance Bond** equaling 100% of the total of any bid submitted shall be provided for any contract awarded.
  - i. A valid Home Improvement Contract will not be executed until the City has received an acceptable Performance Bond.
- c. **Payment Bond** equaling 100% of the total of any bid submitted shall be provided for any contract awarded.
  - i. A Payment Bond for 100% of the contract price shall be furnished to the City at the time of Home Improvement Contract signing.
  - ii. The surety bond is conditioned upon the prompt payment by the Contractor to all claimants for all labor / subcontractors, and material / suppliers used or reasonably required for use in the performance of the Home Improvement Contract.
  - iii. The bond shall be deemed automatically and immediately, upon amendment to the Home Improvement Contract not increasing the contract price more than ten percent (10%), to bind the Contractor and surety to the full and faithful performance of the contract as amended.
  - iv. No final settlement between the City and the Contractor shall abridge the right of any beneficiary hereunder, whose claim may be satisfied.
  - v. The remaining ten percent (10%) balance due will be held as retainage for forty-five (45) calendar days after the fully executed *Certificate of Acceptance* has been recorded at the Rapides Parish Clerk of Court's office by the *CmDv* Program Manager.
    - i. Once the forty-five (45) days expires, the Contractor shall execute and record the *Contractor Release of Lien Affidavit* document at the Rapides Parish Clerk of Court's office and submit a copy of the recordation to the City for the release of the final ten percent (10%) retainage payment. This document can be emailed to [cda@cityofalex.com](mailto:cda@cityofalex.com).
    - ii. Once the forty-five (45) days has expired, the Contractor should notify the surety bond company to release the Performance and Payment Bonds.

**CAUSE:** justified reason deemed by *CmDv* on behalf of the *Owner*. If a contract is terminated for *cause* or bid awards are withdrawn for *cause*, *CmDv* shall provide written notification stating the reasons within thirty (30) calendar days of the infraction. The City reserves the right to terminate a contract between an *Owner* and a Contractor, on behalf of the *Owner* or the Contractor. Contractors who have been cited with reasons for *cause*, may be removed for an *in good standing status*, put on probation and/or may be *debarred* from future work with *CmDv* and/or the City for a minimum of two (2) years or longer. Proper allowance shall be made for circumstances beyond the control of the Contractor. *Cause* may be any of the following reasons but not limited to:

- a. Failure to follow procedures / requirements defined in the bid packet, program guidelines and/or contracts;
- b. Failure to communicate timely with *CmDv*, the Contractor and/or the *Owner*;
- c. Failure to have Subcontractor's perform work as defined and/or in the time prescribed;
- d. Failure to secure *CDA Rehab Permit* or a *CDA Pre-conference Site Inspection* before starting work;

- e. Failure to perform the specified scope of work;
- f. Failure to meet scheduled time inspections and/or appointments;
- g. Failure to provide access;
- h. Failure to perform secure change order approval to perform work outside of the scope of work;
- i. Failure to properly clean and/or abate materials prior to completion of work or in the act of removal / demolition;
- j. Failure to legally dispose of hazardous debris and materials;
- k. Failure to call for inspections as defined and noted on the *CDA Rehab Permit*;
- l. Failure to complete work within the time specified on the *CDA Rehab Permit*;
- m. Failure to complete tasks with good workmanship practices;
- n. Failure to work using HUD's Lead Safe Practices;
- o. Failure to provide passing *post-work lead clearance test* reports as required by the scope of work;
- p. Failure to provide required insurances, forms and/or documentation to *CmDv*, *HUD*, *EPA* or *LDEQ*;
- q. Failure to correct complaints / inspection failures within the allocated time period;
- r. Failure to honor one (1) calendar year warranty;
- s. Any event that is determined as *cause for a Home Improvement Contract* to be terminated by the City or for bid awards to be withdrawn.

**CDA REHAB PERMIT:** *CDA Rehab Permit* must be signed by the Contractor at the same time that the *Home Improvement Contract* is signed by the Contractor with the *Owner*. *CmDv* will hold the Permit until all necessary documentation is received and will then issue the *CDA Rehab Permit* as the Notice to Proceed after everything is complete.

- a. The Contractor shall not begin any work on the structure until a *CDA Rehab Permit* has been issued and a *CDA Site Preconference Inspection* is completed.
- b. The *CDA Rehab Permit* fee has been waived.
- c. The Contractor shall be responsible to hire any Subcontractors necessary to complete the work.
- d. *CDA Rehab Permits* issued by *CmDv* are valid for a maximum of thirty (30) calendar days from the date of issuance. Within that time, all work must be complete and pass all required *inspections*.
- e. Page 2 of the *CDA Rehab Permit* shall define the *inspections* required for the particular scope of work to be performed.
- f. Any *CDA Rehab Permits* not issued at Contract signing must be signed and returned to *CmDv* within three (3) business days of receipt and prior to the start of work.
- g. The Contractor shall start work on the first Contract address no later than five (5) business days after the *CDA Rehab Permit* is issued.
- h. In the event the Contractor is awarded multiple contracts from one bid event, in no instance can more than five (5) business days lapse from the Building Final from one project to the start work at another location, without written approval from the *CmDv* Administrator.
- i. In the event a Contractor is awarded multiple contracts at one time, the Contractor shall plan to complete no less than three (3) rehabilitation addresses within the initial thirty (30) calendar days of Permit issuance.
  - i. The expectation is that the entire scope of work should be completed and pass all inspections in five (5) business days from the start of work. The Contractor shall plan accordingly.
- j. The City Inspector may visit the site at any time if more than ten (10) business days have passed without any inspections being requested.
- k. Upon satisfactory completion of all work, the Contractor must schedule a Building Final *inspection* and a final *CDA Owner / Contractor Acknowledgement inspection*. The Contractor shall ensure the Owner and Inspector are present for these two inspections that shall happen simultaneously.
- l. In the instance that a Contractor is awarded multiple projects within one bid event or if the Contractor is new to working with *CmDv*, the Contractor or *CmDv* may delay subsequent *CDA Rehab Permit* issuances. Multiple Permits can be signed at the same time the *Home Improvement Contracts* are signed and the issuance dates can be adjusted accordingly if needed.
- m. No rain days or holidays will be allowed to extend the permit expiration date without written permission from the *CmDv* Administrator.
- n. The Contractor shall procure all permits and licenses under federal, state and local laws, pay all charges and fees. The City of Alexandria reserves the right to inspect any and all permits, licenses and work at any time prior to or during the construction process.

**CERTIFICATE OF COMPLETION with OCCUPANCY:** Legal instrument issued by the City Building Official, or their designee, after all requisite documentation is received, work is completed, all required *inspections* are satisfactorily passed, which may include a *post-work clearance test reports* where applicable. The *Certificate of Completion with Occupancy* must be issued in order for the Contractor to be paid.

**CHANGE ORDER:** Due to the nature of Rehab Repair work, some conditions of the repair may be unknown until the work is in progress. Contractor is responsible to account for these conditions in the bid proposal price submitted. *Change orders* shall be considered on a case by case basis and will only be considered for unforeseen conditions disclosed during the course of work and which are necessary to complete the defined scope of work.

- a. Any change order request must be submitted by the Contractor in writing on a *CmDv* standard form, with a detailed description of the work to be performed, the reason it is relevant to the original scope and specify a price increase or decrease based on the change.
- b. The dollar amount of the change order must be reasonable and substantiated by the Contractor with an itemization of all work hours, equipment, materials and associated expenses.
- c. The dollar amount may also be accepted, negotiated, or rejected by *CmDv* Administrator. In the event that a Change Order is rejected, the *Home Improvement Contract* may be terminated and the entire scope of work modified and re-advertised for public bid. *CmDv* also reserves the right to assign the revised scope to the next subsequent low bidder.
- d. The Contractor must request the City Inspector's review. The City Inspector must deem the requested change permissible and necessary. The City Inspector will sign the change order form, if deemed applicable.
- e. The Contractor must request the *Owner's* approve for the change order request. The *Owner* will sign the change order form, if agreed.
- f. If an error escapes *CmDv's* detection in the work description but is clearly a normal requirement to complete the work, that oversight shall not relieve the Contractor of the responsibility of complete compliance with the requirements of the City's adopted codes and ordinance. The Contractor shall carefully study and compare work description with pictures and shall at once report to the City Inspector any error, inconsistency, or omission he may discover.
- g. Contractor shall be responsible to submit the fully executed change order form to the *CmDv* Administrator for approval. The *CmDv* Administrator shall approve, reject or negotiate the change order with five (5) business days after submittal. No work related to the change order shall begin until approval has been authorized.
- h. Once approved, the *CmDv* Administrator will send the signed change order form back to the Contractor and prepare for the change in *payment* due to the Contractor. The Contractor may then begin work defined by the approved *change order*.
- i. Change orders that exceed ten percent (10%) of the original contract price shall require written consent of the surety adding the additional cost to the Performance and Payment Bond and submittal of the same to *CmDv*.

An example of an allowable versus an un-allowed change order would be:

- a. An existing bathroom tub was identified for replacement, however, after removal it was determined that the subfloor below is completely rotten and needs to be replaced in order to hold the weight of the new tub. This may not be discovered until after the *Home Improvement Contract* had been awarded. The work required to address these circumstances will alter the current bid specifications, therefore, affecting any related bid price submitted and would be deemed allowable.
- b. Change orders for roofing related issues, such as: number of layers to be removed; deteriorated decking that must be replaced; etc. shall not be considered. The bid specification shall also specifically note: "No change order will be allowed." Contractor shall be responsible to include those expenses in the original bid submittal.

In the event that *CmDv* initiates the reason for the change order, the scope of work will be defined in writing to the Contractor for pricing request. See more description in the Housing Rehab Program Guide, Article XV.

In the event that the *Owner* has made repairs that are listed on the scope of work, prior to the issuance of the *CDA Rehab Permit*, the Contractor shall notify *CmDv* immediately in writing, in the form of a *change order* for the reduction of work to remove the scope of work from the bid specification.

- a. There will be no substitutes or other work defined, as a trade.
- b. The Contractor shall also be responsible to issue a credit for the amount of work, for any associated material and/or labor, that will be deducted from the Contractor's final invoice. This credit must be reasonable for fair market value.
- c. This shall also remove any warranty related issues specific to this scope of work from the Contractor.

**CmDv HOUSING REHAB SERVICES BID PACKET:** The bid packet references all documents necessary to compile and define the work to be performed in an advertisement for a request for public bid price submittal. An electronic copy of the *CmDv Housing Rehab Services Bid Packet* and/or any *Addendums* can be downloaded at no charge. Visit the City of Alexandria's website, [www.cityofalexandriala.com](http://www.cityofalexandriala.com), under the heading "Business", and drop down to "RFP/RFQ/Bids". Search for the Bid name and number accordingly. The entire bid packet shall consist of:

- a. Cover Page;
- b. Submittal Conditions (Attachment #1);
- c. General Conditions (Attachment #2);
- d. Specifications and Criteria for Scope of Work (Attachment #3);
- e. Definitions (Attachment #4);
- f. Bid Proposal Price Sheet (Attachment #5); and
- g. Each Subject Property Scope of Work with work area photos (Attachment #6).

**CmDv CONTRACTOR REGISTRATION:** Any Contractor interested in bidding on repair services, must be registered with the *CmDv* and be assigned a Contractor Registration ID number. If the Contractor is not already registered with *CmDv*, they can download the application from [www.cityofalexandriala.com/community-development](http://www.cityofalexandriala.com/community-development) towards the very bottom of the webpage. It needs to be submitted to [cda@cityofalex.com](mailto:cda@cityofalex.com) a minimum of three (3) business day prior to the bid submittal. Once all paperwork is verified to meet the minimum registration requirements, a Contractor Registration ID number will be assigned. As part of the application requirements, the Contractor, and any hired Subcontractors, shall:

- a. be "in good standing" to be considered for participation in *CmDv* projects.
- b. Hold an active Louisiana State Contractor's license as a Residential Contractor. If the scope of work is specific to only one discipline trade, a Licensed Electrician and/or Master Plumber may be acceptable.
  - i. A LSLBC Home Improvement certification will not be accepted.
  - ii. A Residential Contractor with an EPA Renovation, Repair and Painting certification is preferred. Or, a certification of HUD's Lead Safe Work Practices is also an accepted preference.
- c. Hold and provide current / active Certificates of Insurance for the following required insurance coverages, which are to remain in force at all times during the contract period. It shall be the awarded Contractors responsibility to ensure that any subcontractor(s) hired also have the same insurance coverages.
  - i. Commercial General Liability Insurance covering premises-operations, products-completed operations, independent contractors and contractual liability. Minimum combined single limit bodily injury/property damage coverage shall be \$1,000,000. Property Damage liability shall be \$1,000,000 each occurrence.
    1. Within five (5) business days after notification of bid award tabulations, the Contractor shall have the City shall be added as an "Additional Insured" with regard to General Liability Insurance and shall provide a current Certificate of Insurance as confirmation of the same. The City shall receive ten (10) calendar day notice of cancellation of any required coverage.
  - ii. Workers' Compensation Insurance pursuant to Louisiana Law.
  - iii. Commercial automotive liability insurance coverage, not less than the minimum State Law requirements, on all vehicles being used on this project in the contract award. The Contractor shall be prohibited from using personal vehicles for the demolition of structures and hauling / removal of debris.
  - iv. The cost of any insurance deductibles shall be borne by the Contractor.
  - v. An Umbrella Policy or excess may be used to meet minimum requirements.
- d. Agree by document signature to show a good faith effort to comply with the City's AFEAT (Alexandria Fairness, Equality, Accessibility, and Teamwork) Program. Participation by minority and/or disadvantaged business enterprise

firms is encouraged. For more information on AFEAT and the City of Alexandria's Diversity in Action Initiative, and to explore a local and statewide directory of minority businesses, please visit [www.diversityinaction.org](http://www.diversityinaction.org). The AFEAT Program should be inquired about through the City's Legal Division (318-449-5015).

- e. Agree by document signature to show a good faith effort to comply with the City's Non-Discrimination Statement. The Non-Discrimination Program should be inquired about through the City's Legal Division (318-449-5015). Furthermore, Contractor shall acknowledge that all contracts shall contain provisions requiring compliance with E.O. 11246, "Equal Employment Opportunity," as amended by E.O. 11375, "Amending Executive Order 11236 Relating to Equal Employment Opportunity," and as supplemented by regulations at 41 CFR part 60, "Office of Federal Contract Compliance Programs, Equal Employment Opportunity, Department of Labor.
- f. Hold a status of "*in good standing*" with *CmDv*, if they have ever worked on *CmDv* projects in the past.
- g. Contractor must provide written proof that they are not listed as an EPLS (Excluded Parties List System) on the Federal Government's SAM's (System for Award Management) website at [www.sam.gov/portal/sam](http://www.sam.gov/portal/sam) . Any bidder that is found listed on SAM's as in violation, shall automatically be rejected from bidding privileges, *CmDv Contractor Registration* and/or bid award, by Category and/or in its entirety.
- h. By *CmDv Contractor Registration* application submittal, the Contractor is acknowledging that they have not been convicted of, nor has he/she entered into a plea of guilty or nolo contendere to any of the crimes or equivalent federal crimes listed below.
  - i. No individual partner, incorporator, director, manager, officer, organizer or member, who has a minimum of ten (10%) ownership in the Bidding Entity, has been convicted of, or nor has he/she entered into a plea of guilty or nolo contendere to any of the crimes or equivalent federal crimes listed below. A conviction of or plea of guilty or nolo contendere to the following state crimes or equivalent federal crimes shall permanently bar any person or bidding entity from consideration as a Qualified Registered Contractor and/or bidding privileges by *CmDv*, who is funded by Federal and/or local funds: Public bribery (RS 14:118); Corrupt influencing (RS 14:120); Extortion (RS 14:66); Money laundering (RS 14:230).
  - ii. A conviction of or plea of guilty or nolo contendere to any of the crimes or equivalent federal crimes shall bar any person or the bidding entity from consideration as a Qualified Registered Contractor and/or bidding privileges by *CmDv* for a period five (5) years from the date of conviction or from the date of the entrance of the plea of guilty or nolo contendere: Theft (RS 14:67) Identity Theft (RS 14:67, 16); Theft of a business record (RS 14:67.20); False accounting (RS 14:70); Issuing worthless checks (RS 14:71); Bank fraud (RS 14:71.1); Forgery (RS 14:72); Contractors - misapplication of payments (RS 14:202); Malfeasance in office (RS 14:134).
  - iii. The five (5) year prohibition provided for in this section shall apply only if the crime was committed during the solicitation or execution of a contract or bid awarded pursuant to these provisions. If evidence is submitted substantiating that a false attestation has been made and the project must be re-advertised or the contract cancelled, the awarded entity making the false attestation shall be responsible to the public entity for the costs of rebidding, additional costs due to increased costs of bids and any and all delay costs due to the rebid or cancellation of this project.

**COMMUNITY DEVELOPMENT DEPARTMENT (CmDv):** A Department, under the Planning Division, within the City of Alexandria. It manages *HUD* projects and funding, as well as City and other funding sources, to accomplish project goals as defined in the Consolidated Plan and at the direction of the Administration. The Contractor shall remain in contact with the *CmDv* Rehab Program Manager throughout the project and they can be reached at 319-449-5074 or [cda@cityofalex.com](mailto:cda@cityofalex.com). Typical customer availability office hours are Monday through Friday from 8:am through 4:pm.

**CONTRACT TERMINATION:** A contract may be terminated for the following reasons. *Contract termination* may also result in the *debarment* of the Contractor. Any contract termination may affect the potential award of future contracts. *Contract termination* may result:

- a. By mutual agreement of the *Owner* and Contractor via written consent of both parties. This termination consent agreement must be executed within fifteen (15) business days of the initial written notice may have additional conditions and acknowledgements stipulated at the time of termination for which signature may be required;
- b. By the *CmDv* Administrator, on behalf of the City of Alexandria, to the *Owner* and/or the Contractor, for *cause*. Proper allowance shall be made for circumstances beyond the control of the Contractor, and/or where *cause* may be by the *Owner*;

- i. If the contract is terminated by the City for any of the terms and conditions authorized under these definitions, Contractor and *Owner* shall be formally notified in writing by *CmDv*, by means of email or certified mail, informing them of cancellation of the contract and giving specific reasons for said cancellation within thirty (30) calendar days of the decision to terminate. This termination consent agreement may have additional conditions and acknowledgements stipulated at the time of termination for which signature may be required;
- c. Contractor or *Owner* shall have the right to submit a written appeal of a contract termination to the *CmDv* Administrator and/or the City's Legal Division within ten (10) business days from the date that written notification was sent. To initiate an appeal, the party must email written notice addressed to the *CmDv* Rehab Program Manager, stating that an appeal to the decision of termination / cancellation is requested. The *CmDv* Administrator and/or the City's Legal Division shall thereafter request documentation and/or hold a *dispute resolution* meeting on the appeal, giving all parties the opportunity to present any and all evidence concerning the decision of termination. After reviewing the files and/or hearing the appeal, the *CmDv* Administrator and/or the City's Legal Division will render a written determination, to which all parties shall agree to accept as a final decision. The written determination shall occur within thirty (30) calendar days of the receipt of the appeal notice. Any further pursuit of a secondary appeal will need to occur through the Rapides Parish 9th Judicial District Court.
- d. A contract termination may affect the Contractor's Registration status with *CmDv*, depending on the circumstances leading to the termination. It may also result in *debarment*. The decision to the change in status shall be made by *CmDv* Administrator and/or the City's Legal Division.

**CONTRACTOR SIGNING NOTICE:** *CmDv* Rehab Program Manager will prepare a written notice with the time and date of when the *Home Improvement Contract* shall be signed by the Contractor. This date will be determined by the date that the Grant Agreements between the City and the *Owner* are signed by the Mayor, authorizing the funding of the project and shall occur as soon as possible after that date. City Council approval is not required to authorize the Mayor to sign contracts since authority has been given via Ordinance #157-2024. In the event that the Contractor cannot make the specific date and time, a maximum of five (5) business days will be the allowed window to reschedule. The goal is for the Contractor to begin work as soon as possible.

- a. *CmDv* will have a maximum of forty five (45) calendar days from the date of bid opening to sign contracts. This will be due to the availability of funding and the Mayor to execute contracts. However, this does not mean that the Contractor can delay the date of *Home Improvement Contract* signing by his discretion.
- b. An exception would be in the event there is an unforeseen delay in receiving funding greater than forty five (45) calendar days but within the ninety (90) calendar days after the bid opening date, the *Home Improvement Services Contract* will be signed as soon as the funds are received.
- c. In the event there is an unforeseen delay in receiving funding greater than ninety (90) calendar days after the bid opening date, once funds are received, the lowest, responsible responsive bidder will be asked if they will continue to honor their bid prices.
  - i. If the Contractor agrees, the *Home Improvement Services Contract* will be signed as soon as the funds are received.
  - ii. If the Contractor does not agree, the properties will be re-advertised for bid.

**DEBAR:** The City has the authority to revoke the Contractor's bidding privileges for a period of two (2) calendar years, or longer depending on the infraction, for *cause*. In the event that a Contractor has been *debarred* from working with the City and wishes to participate in the *CmDv* bid process again after their debarment period, they will be considered as a *new Contractor*.

**DISPUTE RESOLUTION:** The Contractor, *Owner* and City shall agree that should any dispute arise concerning the work performed under the *Home Improvement Contract*, *payment*, or *warranty*, the parties agree to submit the dispute in writing within ten (10) calendar days to the *CmDv* Rehab Program Manager. The *CmDv* Administrator, Division Director and/or the City's Legal Division shall thereafter request documentation and/or hold a *dispute resolution* meeting on the appeal, giving all parties the opportunity to present any and all evidence concerning the dispute. After reviewing the files and/or hearing the



appeal, the *CmDv* Administrator, Division Director and/or the City's Legal Division will render a written determination, to which all parties shall agree to accept as a final decision. The written determination shall occur within thirty (30) calendar days of the receipt of the dispute notice in accordance with Article IXX of the Housing Rehab Program Guidelines. Any further pursuit of a secondary appeal will need to occur through the Rapides Parish 9th Judicial District Court.

**FUNDING SOURCE:** *CmDv* shall manage programs authorized by the City's Five Year Consolidated Plan and Annual Action Plan. These plans determine which programs will be made available each fiscal year, the criteria for eligibility, and the amounts allowable to each. The qualification for each funding source is predetermined prior to the bid advertisement by the *CmDv* Staff. *HUD* is one of the funding sources to the City. See Housing Rehab Program Guidelines for other requirements.

**HOME IMPROVEMENT CONTRACT:** A written agreement of terms shall be fully executed between the eligible *Owner* and the Contractor and shall be binding upon any and all parties. The *Home Improvement Contract* shall be executed within the time prescribed in the *Contractor Signing Notice* that will be sent after the *Bid Tabulation Sheet*.

- a. In the event that the Contractor cannot make that specific date and time, a maximum of three (3) business days will be the allowed window to reschedule Home Improvement Contract signing. The goal is for the Contractor to begin work as soon as possible.
- b. Once the *Home Improvement Contract* is fully executed, all terms and conditions of the contract shall be in effect and honored upon any and all parties involved until the contract is satisfied and/or terminated.
- c. The *Owner* must enter into a Grant Agreement with the City of Alexandria prior to the signing of a *Home Improvement Contract*, in order to authorize payment for services on the *Owner's* behalf.
- d. The Contractor, by the execution of the *Home Improvement Contract*, shall in no way be relieved of any obligation under it, due to their failure to receive or examine any form of legal instrument or to visit the site and acquaint themselves with the existing conditions. *CmDv* will be justified in rejecting any claims based on "Conditions", latent or otherwise.

**HOUSING AND URBAN DEVELOPMENT (HUD):** The federal agency responsible for national policy and programs that address America's housing needs, improve and develop the Nation's communities and enforce fair housing laws. *HUD* is a source of federal funds to the City of Alexandria in order to execute defined programs.

**HOUSING REHAB POLICY GUIDELINES:** *CmDv* is required by the City of Alexandria and *HUD* to establish the guidelines for the federally funded Housing Rehab Programs that they manage. Each funding source has specific Housing Rehab Policy Guidelines that were adopted by City Council via Ordinance and/or Resolution. These guidelines are developed to establish a clear and consistent method and expectation of how the programs are to be executed from start to finish. These guidelines are a precursor to the *CmDv Housing Rehab Services Bid Packet*, the Grant Agreement and the *Home Improvement Contract*. An electronic copy of this document can be downloaded from [www.cityofalexandria.com/community-development](http://www.cityofalexandria.com/community-development) in the gray tabs to the right side of the page. It is the Contractor's responsibility to download, read and review the terms of the Program prior to contract signing.

**IN GOOD STANDING:** The awarded Contractor must be *in good standing* with *CmDv* and the City of Alexandria, if they have ever performed work for the City in the past, in order to participate in the bid process. This means that prior work experiences and contracts have been satisfactorily completed, along with requisite documentation. See *cause* for reasons that may prohibit a Contractor for being *in good standing*.

**INSPECTIONS:** Each *CDA Rehab Permit* issued shall list the required *inspections* on the second page of the Permit specific for that address. The Contractor shall notify *CmDv* at 318-449-5072 to schedule all inspections a minimum of 48 hours in advance of requested time. The Contractor must be present for each inspection to meet with the City Inspector to ensure work is code complaint and to ensure the job site has been left in a safe condition daily. Contact the City Inspector at 318-449-5069 to discuss the stage at which the inspection should be requested and the type of work to be inspected. All requisite inspections, listed on page 2 of the *CDA Rehab Permit*, CANNOT be scheduled on the same day. A minimum of two (2) inspections shall be required and others that may be applicable, depending on the scope of work:

- a. *CDA Site Preconference Inspection* – (required) to be scheduled after the *Home Improvement Contract* is signed but a minimum of two (2) business day before the start of work. This provides the Inspector the opportunity to



introduce the Contractor to the *Owner* and for all parties to review the scope of work. The Contractor shall not begin work prior to this CDA Site Preconference Inspection and/or the issuance of the *CDA Rehab Permit*.

- b. Framing Inspection; Roof Decking Inspection; Electrical Final Inspection; Plumbing Final Inspection; Gas Final Inspection; Mechanical Final Inspection – (optional depending on Scope of Work and *CDA Rehab Permit* requirements) to be scheduled by the Contractor after each phase of work is completed by the Contractor and before subsequent work is covered up. This provides the City an opportunity to meet with the Contractor and *Owner*, onsite to confirm that the specifications and criteria for the scope of work has been completed in compliance with current adopted ICC codes and ordinances or identifies remaining work to be performed by the Contractor before the next inspection.
- c. Building Final Inspection –to be scheduled by the Contractor after each phase of work is completed to ensure that all requested scopes of rehabilitation work and lead abatement have been completed in compliance with current adopted ICC codes and ordinances.
- d. CDA Post-Work Clearance Inspection – (optional depending on the Lead Risk Assessment Work Plan and *CDA Rehab Permit* requirements) to be scheduled by the Abatement Subcontractor and must be performed by the *CmDv* approved State Licensed Lead Paint Risk Assessor / Inspector within a minimum of one (1) hour after work area is cleaned and work is completed. These inspection types should be completed as soon as possible to prevent other factors from contaminating the site. A representative from LDEQ may be present for the Post-Work Clearance Inspection. This provides the City and the *Owner* confirmation that Lead Safe Practices were used during the scope of work. The awarded Subcontractor is required to be present. See Definitions, Attachment #4, for more information on LBP inspections.
- e. CDA Contractor / Owner Acknowledgement Inspection – (required) to be scheduled by the Contractor after the entire scope of work is completed. This provides the City an opportunity to meet with the Contractor and *Owner*, onsite to confirm that the specifications and criteria for the scope of work have been completed with warranties provided or identifies remaining work to be performed by the Contractor before a *Certificate of Completion with Occupancy* can be issued and/or the Contractor be paid for services. The awarded Contractor is required to be present, along with the *Owner*. Complete execution of this form is required as a pre-requisite for payment.
- f. The City Inspector may visit the site at any time if more than ten (10) business days have passed without any inspections being requested.

**LAWS TO BE OBSERVED:** The Contractor shall comply with all Federal, State and local codes, laws, ordinances and regulations affecting the repair and rehabilitation of structures, and shall indemnify the City and its representatives against any claim or liability arising from violation of any such law, ordinance or regulation.

**LEAD BASED PAINT HAZARD (LBP):** Any project receiving HUD federal funds of \$5,000 or more is subject to HUD's Lead Safe Housing Rule (24 CFR Part 35 Subpart J); EPA's Lead Renovation, Repair and Painting Program Rule (40 CFR Part 745) ); and LDEQ regulations, LA Title 33, Part III, Chapter 28. HUD defines a lead-based paint hazard as any deteriorated paint surface in a unit built before 1978 and occupied by a family with a child under 6 years of age. Deteriorated paint means any interior or exterior paint or other coating that is peeling, chipping, chalking or cracking, or any paint or coating on an interior or exterior surface or fixture that is otherwise damaged or separated from the substrate. This also includes friction surfaces, impact surfaces and chewable surfaces where lead and/or lead dust can be found. HUD requires that all houses built prior to 1978 be tested for LBP hazards or allows the municipality to assume LBP hazards are present, therefore, requiring Best Lead Safe Practices, in all areas of work above the de minimis levels, and Post-Work Clearance Tests.

HUD requires that any projects receiving over \$25,000 of federal rehabilitation assistance must be abated per 24 CFR 35.930(d), which specifically states: *abate all lead based paint hazards identified by the paint testing or risk assessment conducted pursuant to paragraphs (d)(1) and (d)(2) of this section, in accordance with 35.1325, except that interim controls are acceptable on exterior surfaces that are not disturbed by rehabilitation and on paint-lead hazards that have an area smaller than the de minimis limits of 35.1350(d). If abatement of a paint-lead hazard is required, it is necessary to abate only the surface area where with hazardous conditions.*

- a. Lead based paint work, defined for this RFP, shall require abatement on any interior surface, for any house receiving assistance, regardless of the dollar amount threshold because HUD deems abatement as the only permanent solution for removing lead hazards. Lead testing has been performed by a hired Environmental Risk Assessment Consultant for the City and a Lead Risk Assessment Work Plan shall be submitted for each address.

- b. Contractor shall submit LPF-3 to LDEQ five (5) days prior to project initiation. Provide a copy of the completed form to the City and the Environmental Consultant (EC) retained by the City.
1. **License / Certification:** An Environmental Protection Agency (EPA) Lead Based Paint Abatement Certification shall be required to perform all lead remediation and abatement work, who can be the GC and/or a Subcontractor of the GC.
    - a. Labor employees must be Certified Lead Abatement Workers and/or Certified Lead Abatement Supervisors for work requiring interim control or abatement.
    - b. Contractors must attach current copies of EPA Abatement Contractor's Certification and a list of certified employees and/or supervisor to their proposals.
    - c. possesses a worker protection and medical surveillance program consistent with the requirements of OSHA and/or the state health officer
    - d. an accredited lead supervisor must be present at all times for each abatement project and site cleanup
  2. **Interim Controls:** When interim controls are specified in the LIRA, this type of lead hazard control must be performed in accordance with the HUD's Lead Safe Housing Rule 24 CFR §35.1330 Interim Controls, 24 CFR §35.1345 Occupant protection and worksite preparation, 24 CFR §35.1350 Safe work practices, and Chapter 11 of the HUD Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing (2012 Edition).
  3. **Abatement:** Abatement activities specified in the LIRA must be performed in accordance with HUD's Lead Safe Housing Rule 24 CFR §35.1325, 24 CFR §35.1345 Occupant protection and worksite preparation, 24 CFR §35.1350 Safe work practices, and Chapters 12 & 13 of the HUD Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing (2012 Edition).
  4. **Occupant Protection Plan:** shall be provided by the City's hired, licensed Environmental Risk Assessment Consultant in the address specific Lead Inspection Risk Assessment (LIRA) Work Plan as required in 40 CFR 745.277(e)(5). The Contractor and/or Subcontract shall be required to implement and follow this plan as provided.
    - a. This may include occupant relocation will be set-up and coordinated by the City's Rehab Program Manager, if needed.
  5. **Worker Protection:** specific worker protection measures shall be implemented in accordance with [Chapter 9](#) of the HUD Guidelines for the Evaluation and Control of Lead-based Paint Hazards in Housing. If lead hazard control will include manual demolition, manual scraping, manual sanding, heat gun use, or use of power tools such as needle guns, then specific worker protection measures are required until an initial exposure assessment is completed. If the initial exposure assessment indicates exposures are less than 30 µg/m<sup>3</sup>, the requirements do not apply, although exposure to lead should always be kept as low as possible.
  6. **Housing Waste:** Properly dispose of all construction material and waste in accordance with the local health or Environmental Department or waste management providers for management and disposal of waste from work that may disturb surfaces covered with known or presumed lead-based paint and fulfill those requirements.
  7. **Cleaning:** Cleaning must occur during the job, daily, and final cleanings in the project design or specifications using the recommendations contained in [Chapter 14](#) of the HUD Guidelines for the Evaluation and Control of Lead-based Paint Hazards in Housing to achieve lead clearance per Chapter 15 of the HUD Guidelines. Assign responsibilities to specific workers for cleaning and for maintaining cleaning equipment. Cleaning equipment and supplies must always be available.
    - a. Clean/HEPA vacuum all surfaces worked on in the vicinity at the completion of each workday and after the abatement project is completed
    - b. All work must be done in a workmanlike manner comply with all applicable state, federal, and local laws, rules, regulations and guidelines. These standards may include, but are not limited to the following:
      - 29 CFR 1910.134 Respiratory Protection
      - 29 CFR 1926 - Construction Industry Standards
      - 29 CFR 1926.62 - Construction Industry Lead Standard

29 CFR 1910.1200 - Hazard Communication  
40 CFR Part 261 - United States Environmental Protection Agency (EPA) Regulations  
24 CFR Parts 35, 36, 37 HUD Lead-Based Paint Regulations  
HUD Guidelines for the Evaluation and Control of Lead- Based Paint Hazards in Housing (most recent edition)

- 8. Recordkeeping:** Contractor shall be responsible to maintain:
- a. Detailed site-specific compliance plan for LBP-related work (OSHA) – create prior to the LBP abatement work and a copy must be present on the job site along with copies of all applicable certificates, licenses/permits;
  - b. Material Safety Data Sheets (MSDS) for all materials used during an abatement project;
  - c. Work plan for waste containment, removal, and disposal - Name, address, and ID number of hazardous waste hauler, waste transfer route, and proposed disposal site;
  - d. Additional recordkeeping requirements per Federal, State, or local regulations or guidelines for a minimum of five (5) years after the work is complete.

CmDv's Rehab Program Manager shall provide each *Owner* with copies of: the federal lead information pamphlet, , such as Protect Your Family from Lead in Your Home and Notice of Presumption; lead warning Statement; Lead Inspection Risk Assessment (LIRA) Work Plan; and disclose knowledge, records and reports about LBP and its hazards. This information is provided at the time the Grant Agreement is signed so that the Owner(s) has the option to not continue participation in the program based on the information provided.

**LOUISIANA DEPARTMENT OF ENVIRONMENT QUALITY (LDEQ):** The responsible entity to manage all environmental concerns of the State. The local LDEQ field office contact is 318-484-2115 or visit their website at [deq.louisiana.gov](http://deq.louisiana.gov).

**MANDATORY PRE-BID CONFERENCE:** Anyone interested in submitting a proposal for this RFP shall be required to attend the Pre-Bid Conference. See Submittal Conditions, Attachment #1, for the date, time and place for the meeting to be held.

- a. Attendees are allowed to join the meeting virtually, however, the Contractor MUST have a live camera on so that we can visually see you during the meeting to ensure you are engaged and confirm who is attending the meeting on your company's behalf. If Contractor does not have a live camera, they will be removed from the meeting and not allowed to participate or submit a bid proposal. The virtual meeting link is provided in the Submittal Conditions, Attachment #1.
- b. Any questions or clarification requested shall be discussed in the Pre-bid meeting in effort to not have to post an addendum.
  - i. However, if written *Addendum(s)* is deemed necessary by CmDv, it will be posted to inform Contractors of responses to additional questions, clarifications and/or changes to the published *CmDv Housing Rehab Services Bid Packet*.
  - ii. Addendum(s) will be posted at the same location that the original RFP was posted. It shall be the Contractors responsibility to visit the site and download necessary Addendum(s).

**NEW CONTRACTOR / FIRST TIME AWARD:** All Contractors awarded a bid for the first time through *CmDv* or those previously *debarred*, may sign multiple contracts and Rehab Permits at one time, however, they will be required to successfully complete a minimum of one (1) project prior to starting work at any other locations, in the event they are awarded multiple addresses. This shall also be considered a probationary status. However, in no instance can more than five (5) business days lapse from a passing Building Final inspection from one project to the start of work at another location, without written approval from the *CmDv* Administrator. Should *CmDv* determine *cause* against the *new Contractor* on any awarded project, remaining *Bid Tabulation Sheet Notifications* / awards to that Contractor may be *withdrawn* by *CmDv*, on behalf of the *Owner*. Written notification stating the reasons will be provided to the Contractor within thirty (30) calendar days of the infraction.

**OWNER:** The person who applied for Housing Rehab assistance and deemed eligible to receive assistance based on a defined criteria. The *Owner* enters into a Grant Agreement with the City to authorize the work to be performed at their primary residence and have the City pay the Contractor for the work performed. However, the *Owner* is not authorized to alter the scope of work defined by *CmDv*. The *Owner* selects the Contractor after bids are submitted based on the lowest responsive,

responsible bidder. The *Owner* must be present for the *CDA Contractor / Owner Acknowledgement Inspection* to acknowledge the completion of work and authorize payment to the Contract.

**PAYMENT:** The City shall be responsible for making the full payment to the Contractor on the Owner's behalf based on the Home Improvement Contract amount. A Payment Bond for 100% of the Home Improvement Contract amount shall be required at the time of contract signing. Contractor shall make any and all provisions to pay for labor, Subcontractors, materials, testing fees, invoices and expenses incurred to avoid a lien from suppliers or subcontractors during the thirty (30) day period until the City issues the first payment. After all work is completed and the Contractor submits an invoice, the payments will be broken into two (2) parts:

- a. The City shall make a one-time payment to the Contractor 90% of the contracted amount due within thirty (30) calendar days of receipt of all requisite documentation, passed inspections and the fully executed *Certificate of Acceptance* is recorded at the Rapides Parish Clerk of Court's Office.
  - i. City will pay the Environmental Consultant for the first Post-Work Clearance Test performed.
    1. Contractor will be responsible for the expense of any additional Post-Work Clearance Testing and shall provide at no additional costs, a re-cleaning of areas that did not meet standards until clearance level is achieved.
    2. Additional Post-Work Clearance Test expenses shall be deducted from the Contractors final invoice for each address specific job.
  - ii. In the event there is a significant time frame (more than forty-five (45) working days) from the issuance of the *CDA Rehab Permit* and the *Certificate of Completion with Occupancy*, with validated reason approved reason by the CmDv Administrator, the Contractor may submit a written request for one (1) partial payment to CmDv Rehab Program Manager. This one (1) partial payment shall be at a maximum of twenty-five (25%) of the total amount due, only if at least that amount of work has been performed and passed inspection to date.
- b. The remaining ten percent (10%) balance due will be held as retainage for forty-five (45) calendar days after *Certificate of Acceptance* has been recorded at the Rapides Parish Clerk of Court's office by the CmDv Program Manager.
  - i. Once the forty-five (45) calendar days expires, the Contractor shall record the *Contractor Release of Lien Affidavit* document at the Rapides Parish Clerk of Court's office and submit a copy of the recordation to the City for the release of the final ten percent (10%) retainage payment.

The process for payment shall be defined as:

- a. Invoices and documentation shall be emailed to [cda@cityofalex.com](mailto:cda@cityofalex.com) or call 318-449-5073 with questions.
- b. Invoice shall clearly state the address of where work was performed and the cost of that work.
- c. One invoice can contain multiple addresses, if awarded, however, the list must be itemized.
- d. Payment for each *Home Improvement Contract* may be paid with HUD federal funds and/or other sources based on the availability of money each fiscal year.

The terms of the contract shall be deemed completed and accepted by the Owner and CmDv after final *payment* is made. Requisite documentation for final 100% *payment* shall include:

- a. Satisfactory completion of the *CDA Rehab Permit* and required inspections;
- b. Passed *CDA Post-Work Clearance Test*, if applicable;
- c. signed *Owner & Contractors Certificate of Acceptance*, Warranty & Release form;
- d. copy of *Certificate of Acceptance* recorded at the Rapides Parish Clerk of Court's Office;
- e. Issuance of a *Certificate of Completion with Occupancy* by the City Building Official (CBO) or their designee;
- f. Submittal of a *change order* invoice, if applicable;
- g. Copy of Contractor's *Release of Lien Affidavit* recorded certificate that the Contract is clear of any liens or privileges;
- h. Other documentation deemed necessary by CmDv.

**SANITARY PROVISIONS:** The Contractor shall observe rules and regulations of the State Board of Health and of all local health officials, and shall take all necessary precautions to avoid unhealthy conditions. In the event the *Owner* refuses to allow workers access to their bathroom facilities, the Contractor shall provide toilet facilities, as needed, for their employees during the period of work.

**SECONDARY / SUBSEQUENT AWARD:** Should an awarded bidder fail to execute a *Home Improvement Services Contract* within the prescribed time or unsatisfactorily complete another awarded project, the subsequent award be withdrawn, and/or a contract be terminated, a *secondary / subsequent award* may be implemented. The decision for a *secondary / subsequent award* shall be the discretion of the CmDv Administrator, on behalf of the City and the *Owner*. The options for *secondary / subsequent award* shall be to either: award to the next lowest responsible, responsive bidder (if within the specified allotted timeframe to honor bid prices) or re-advertise the property scope of work for public bid. Reasons that could create a *secondary / subsequent award* would be in the event that a project is initially awarded to a Contractor, then the awarded Contractor:

- a. fails to execute a *Home Improvement Contract*;
- b. fails to satisfactorily complete a project;
- c. fails to use Lead Safe Practices as required;
- d. rejects the terms of a *change order* for scope of work and/or price by either the Contractor or the City;
- e. has multiple awards withdrawn by CmDv for *cause*; and/or
- f. has their contract terminated by cause of the Contractor or *Owner*.

**WARRANTY:** All work performed will be guaranteed by the Contractor for a period of one (1) calendar year from the date of issuance of the *Certificate of Completion with Occupancy*. One copy of the Parts Manual, Service Manual, Operator's Manual and/or Warranty for all products and materials installed shall be given to the *Owner* by the Contractor once the work is complete. The Contractor is responsible for installation of all materials and labor, in a method as defined by the manufacturer's specifications, necessary to honor any product warranties by the manufacturer. The Contractor is also responsible for delivering all of the warranties and releases to the *Owner*. Failure to comply and/or honor work performed may result in *Contract termination* and/or *debarment*.

The *Owner* is responsible for notifying the Contractor regarding any warranty claim during the warranty period. Upon receipt of the claim the Contractor will have fifteen (15) working days to assess the claim and determine if complaint originates from the scope of work performed and is covered by the warranty. If the claim is covered, the Contractor shall have a maximum of thirty (30) working days after the assessment to complete the repairs necessary.

The *Owner* may elect to notify CmDv of the warranty repair request made to the Contractor, however, CmDv is not responsible to coordinate or assume responsibility for the work performed or to be performed. The *Owner* must notify CmDv in writing.

If the Contractor fails to respond to the *Owner's* claim or if there is a dispute between the Owner and the Contractor as to whether the claim is covered under warranty, either party may file a grievance under the procedures set forth in the Housing Rehab Program Guidelines, Article IXX and/or Article XX.

If the Contractor does not complete the necessary corrections within a maximum of forty five (45) calendar days from the date the complaint was received, the *Owner* shall notify the CmDv Rehab Program Manager in writing and provide evidence of notification to the Contractor of the claim for warranty work. CmDv will notify the Contractor of the *Owner's* claim by certified mail and advise the Contractor that all corrections must be completed within ten (10) working days from the receipt of the letter. The letter will also state that if corrections are not completed within the specified time, the Contractor will be debarred from further participation in the Housing Rehab Program for a period of two (2) years or longer. The *Owner* may bring additional legal action against the Contractor to honor the warranty.

**BID BOND**

**BOND #** \_\_\_\_\_

<b>CONTRACTOR / PRINCIPAL:</b>	Contractor Business Name
<b>CONTRACTOR'S / PRINCIPAL'S BUSINESS ADDRESS:</b>	Contractor Business Address, City, State, Zip
<b>SURETY AGENCY:</b>	Insurance Company Business Name
<b>SURETY COMPANY'S BUSINESS ADDRESS:</b>	Insurance Company Business Address, City, State, Zip
<b>TOTAL CONTRACT AMOUNT:</b>	Contract Value
<b>BID BOND AMOUNT OF FIVE PERCENT (5%):</b>	Bid Bond Total
<b>PROPERTY OWNER / MORTGAGEE:</b>	Owner Contact First Last Name
<b>PROPERTY OWNER'S ADDRESS:</b>	Project Address, City, State, Zip
<b>BOND HOLDER / MORTGAGOR:</b>	CITY OF ALEXANDRIA, LOUISIANA 625 MURRAY STREET, SUITE 7 ALEXANDRIA, LOUISIANA 71301
<b>CITY OF ALEXANDRIA'S PROGRAM:</b>	HOME MAJOR REHAB

KNOW ALL MEN BY THESE PRESENTS, that we, the CONTRACTOR / PRINCIPAL and the SURETY AGENCY, a corporation duly organized under the laws of the State of Louisiana, as listed above and undersigned herein, are held and firmly bound unto:

the City of Alexandria, Louisiana, hereinafter called BOND HOLDER / MORTGAGOR, on behalf of the PROPERTY OWNER as listed above, who resides at the address above,

for the five percent (5%) Bid Bond amount, for the payment of which sum, well and truly to be made, the said CONTRACTOR / PRINCIPAL and the said SURETY, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the CONTRACTOR / PRINCIPAL has submitted a BID for **Home Major Rehab improvements** to the Property Owner's Address as listed above.

NOW THEREFORE,

- a. If said BID shall be rejected, or in the alternate,
- b. If said BID shall be accepted, and the Contractor / Principal shall execute and deliver a Home Improvement CONTRACT attached hereto (properly completed in accordance with said BID) and shall furnish a BOND for his faithful performance of said CONTRACT, and for the payment of all persons performing labor or furnishing materials in connection therein, and shall in all other respects perform the agreement created by the same shall remain in force and effect; it being expressly understood and agree that the liability of the SURETY for any and all claims hereunder shall, in no event, exceed the penal amount of this obligation as herein stated.

**BID BOND**

**BOND #** \_\_\_\_\_

The SURETY, for value received, hereby stipulates and agrees that the obligations of said SURETY and its BOND shall be in no way impaired or affected by any extensions of the time within which the BOND HOLDER / MORTGAGOR, on behalf of the PROPERTY OWNER, may accept such BID; and said SURETY does hereby waive notice of any such extension.

SIGNED AND SEALED THIS \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_ A.D.

\_\_\_\_\_  
NOTARY Signature

\_\_\_\_\_  
CONTRACTOR / PRINCIPAL Signature

\_\_\_\_\_  
NOTARY printed name

\_\_\_\_\_  
by CONTRACTOR / PRINCIPAL printed name

\_\_\_\_\_  
NOTARY Bar # & Commission expires

\_\_\_\_\_  
CONTRACTOR / PRINCIPAL Title

AND

\_\_\_\_\_  
NOTARY Signature

\_\_\_\_\_  
SURETY Signature

\_\_\_\_\_  
NOTARY printed name

\_\_\_\_\_  
by SURETY printed name

\_\_\_\_\_  
NOTARY Bar # & Commission expires

\_\_\_\_\_  
SURETY Title

**NOTICE:**

1. SURETY Companies executing BONDS must appear on the Treasury Department’s most current list (Circular 570 as amended) and be authorized to transact business in the State of Louisiana with a Louisiana established agent.
2. Date of BOND shall not be prior to date of Home Improvement Contract execution.
3. If CONTRACTOR / PRINCIPAL is partnership, all partners shall execute BOND or provide POWER OF ATTORNEY for all.

# PREFORMANCE BOND

BOND # \_\_\_\_\_

CONTRACTOR / PRINCIPAL:	Contractor Business Name
CONTRACTOR'S / PRINCIPAL'S BUSINESS ADDRESS:	Contractor Business Address, City, State, Zip
SURETY AGENCY:	Insurance Company Business Name
SURETY COMPANY'S BUSINESS ADDRESS:	Insurance Company Business Address, City, State, Zip
TOTAL CONTRACT / PERFORMANCE BOND AMOUNT:	Contract Value
PROPERTY OWNER / MORTGAGEE:	Owner Contact First Last Name
PROPERTY OWNER'S ADDRESS:	Project Address, City, State, Zip
BOND HOLDER / MORTGAGOR:	CITY OF ALEXANDRIA, LOUISIANA 625 MURRAY STREET, SUITE 7 ALEXANDRIA, LOUISIANA 71301
CITY OF ALEXANDRIA'S PROGRAM:	HOME MAJOR REHAB

KNOW ALL MEN BY THESE PRESENTS, that we, the CONTRACTOR / PRINCIPAL and the SURETY AGENCY, a corporation duly organized under the laws of the State of Louisiana, as listed above and undersigned herein, are held and firmly bound unto:

the City of Alexandria, Louisiana, hereinafter called BOND HOLDER / MORTGAGOR, on behalf of the PROPERTY OWNER as listed above, who resides at the address above,

for the AGGREGATE PENAL SUM / TOTAL CONTRACT AMOUNT, for the payment of which sum, well and truly to be made, the said CONTRACTOR / PRINCIPAL and the said SURETY, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the CONTRACTOR / PRINCIPAL has entered into a **Home Major Rehab improvement Contract** with the PROPERTY OWNER for repairs and improvements to the Property Owner's Address as listed above. A copy of the fully executed CONTRACT is attached and made part hereof.

NOW THEREFORE,  
if the CONTRACTOR / PRINCIPAL shall well, truly and faithfully perform its duties, all the undertakings, covenants terms, conditions and agreements of said CONTRACT during the original term thereof, and any extensions thereof which may be granted by the MORTGAGOR, on behalf of the OWNER, with or without notice to the SURETY and during the one (1) year guaranty period and if the CONTRACTOR / PRINCIPAL shall satisfy all claims and demands incurred under such CONTRACT, and shall reimburse and repay the MORTGAGOR, on behalf of the OWNER, all outlay and expense which the MORTGAGOR, on behalf of the OWNER, may incur in making good any default, then this obligation shall be void, otherwise to remain in full force and effect.

PROVIDED, further, that the said SURETY, for value received, hereby stipulates and agrees that no change, extension of time, alteration or addition to the terms of the CONTRACT, or to WORK to be performed thereunder, or the SPECIFICATIONS accompanying same shall in any way affect its obligation of this BOND, and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the CONTRACT or to the WORK or to the SPECIFICATIONS.



**PREFORMANCE BOND**

**BOND #** \_\_\_\_\_

PROVIDED, further, that it is expressly agreed that the BOND shall be deemed amended automatically and immediately, without formal and separate amendments hereto, upon amendment to the CONTRACT not increasing the CONTRACT PRICE more than 10 percent (10%), so as to bind the CONTRACTOR / PRINCIPAL and the SURETY to the full and faithful performance of the CONTRACT PERFORMANCE BOND, and whether referring to this BOND, the CONTRACT DOCUMENTS shall include any alteration, addition, extension, or modification of any character whatsoever.

PROVIDED, further, that final settlement between the MORTGAGOR, on behalf of the OWNER, and the CONTRACTOR / PRINCIPAL shall abridge the right of the other beneficiary hereunder, whose claim may be unsatisfied. The MORTGAGOR, on behalf of the OWNER, is the only beneficiary hereunder.

SIGNED AND SEALED THIS \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_ A.D.

\_\_\_\_\_  
NOTARY Signature

\_\_\_\_\_  
CONTRACTOR / PRINCIPAL Signature

\_\_\_\_\_  
NOTARY printed name

\_\_\_\_\_  
by CONTRACTOR / PRINCIPAL printed name

\_\_\_\_\_  
NOTARY Bar # & Commission expires

\_\_\_\_\_  
CONTRACTOR / PRINCIPAL Title

AND

\_\_\_\_\_  
NOTARY Signature

\_\_\_\_\_  
SURETY Signature

\_\_\_\_\_  
NOTARY printed name

\_\_\_\_\_  
by SURETY printed name

\_\_\_\_\_  
NOTARY Bar # & Commission expires

\_\_\_\_\_  
SURETY Title

**NOTICE:**

1. SURETY Companies executing BONDS must appear on the Treasury Department’s most current list (Circular 570 as amended) and be authorized to transact business in the State of Louisiana with a Louisiana established agent.
2. This instrument shall be executed in five (5) counterparts with each one being deemed an original.
3. If CONTRACTOR / PRINCIPAL is partnership, all partners shall execute BOND or provide POWER OF ATTORNEY for all.

# PAYMENT BOND

BOND # \_\_\_\_\_

CONTRACTOR / PRINCIPAL:	Contractor Business Name
CONTRACTOR'S / PRINCIPAL'S BUSINESS ADDRESS:	Contractor Business Address, City, State, Zip
SURETY AGENCY:	Insurance Company Business Name
SURETY COMPANY'S BUSINESS ADDRESS:	Insurance Company Business Address, City, State, Zip
TOTAL CONTRACT / PERFORMANCE BOND AMOUNT:	Contract Value
PROPERTY OWNER / MORTGAGEE:	Owner Contact First Last Name
PROPERTY OWNER'S ADDRESS:	Project Address, City, State, Zip
BOND HOLDER / MORTGAGOR:	CITY OF ALEXANDRIA, LOUISIANA 625 MURRAY STREET, SUITE 7 ALEXANDRIA, LOUISIANA 71301
CITY OF ALEXANDRIA'S PROGRAM:	HOME MAJOR REHAB

KNOW ALL MEN BY THESE PRESENTS, that we, the CONTRACTOR / PRINCIPAL and the SURETY AGENCY, a corporation duly organized under the laws of the State of Louisiana, as listed above and undersigned herein, are held and firmly bound unto:

the City of Alexandria, Louisiana, hereinafter called BOND HOLDER / MORTGAGOR, on behalf of the PROPERTY OWNER as listed above, who resides at the address above, and unto all persons, firms and corporations who or which may furnish labor, or who furnish materials to perform as described under the CONTRACT and to their successors and assigns,

for the AGGREGATE PENAL SUM / TOTAL CONTRACT AMOUNT, in lawful money of the United States, for the payment of which sum, well and truly to be made, the said CONTRACTOR / PRINCIPAL and the said SURETY, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the CONTRACTOR / PRINCIPAL has entered into a **Home Major Rehab improvement Contract** with the PROPERTY OWNER for repairs and improvements to the Property Owner's Address as listed above. A copy of the fully executed CONTRACT is attached and made part hereof.

NOW THEREFORE, the CONTRACTOR / PRINCIPAL shall promptly make payment to all persons, firms and corporation furnishing materials for or performing labor in the prosecution of the WORK provided for in such CONTRACT, and any authorized extensions or modifications thereof, including all amounts due for materials, lubricants, oils, gasoline, diesel, coal, repairs on machinery, equipment and tools, consumed or used in connection with the construction of such WORK, and for labor cost incurred in such WORK including that by a SUBCONTRACTOR, and any mechanic or material man lien holder, whether it acquires its lien by operation of State or Federal Law; then this obligation shall be void, otherwise, to remain in full force and effect.

PROVDDED, that beneficiaries or claimants hereunder shall be limited to the SUBCONTRACTORS, and persons, firms, corporations having a direct CONTRACT and the PRINCIPAL OR ITS SUBCONTRACTORS.

**PAYMENT BOND**

**BOND # \_\_\_\_\_**

PROVIDED, further, that the SURETY for valued received, hereby stipulates and agrees that no change, extension of time, alteration or addition to the terms of the CONTRACT or to the WORK to be performed thereunder or the SPECIFICATIONS accompanying the same shall in any way affect this obligation on the BOND, and it does hereby waive notice of any such change, extensions of time, alteration or addition to the terms of this CONTRACT or to the WORK or to the SPECIFICATIONS.

PROVIDED, further, that no suit or action shall be commenced hereunder by any claimant: (a) unless claimant, other than one having a direct CONTRACT with the CONTRACTOR / PRINCIPAL, shall have given written notice to any two (2) of the following:

The CONTRACTOR / PRINCIPAL, MORTGAGOR, on behalf of the OWNER, or the SURETY above named, within ninety (90) days after such claimant did or performed the last of the WORK or labor, or furnished the last of the materials for which said claim is made, stating with substantial accuracy the amount claimed and the name of the party to whom the materials were furnished, or for whom the WORK or labor was done or performed. Such notice shall be served by mailing the same by registered mail or certified mail, postage paid, in an envelope addressed to the CONTRACTOR / PRINCIPAL, MORTGAGOR, on behalf of the OWNER, or SURETY, at any place where an office is regularly maintained for the transaction of business, or served in any manner which legal process may be served in the state in which the aforesaid project is located; save that such service need not be made by a public officer; (b) after CONTRACTOR / PRINCIPAL ceased work on said CONTRACT, it being understood, however, that if any limitation embodied in the BOND is prohibited by any law controlling the construction, such limitation shall be deemed to be amended so as to be equal to the minimum period of limitation permitted by such law.

PROVIDED, further, that it is expressly agreed that this BOND shall be deemed automatically and immediately, without formal and separate amendments hereto, upon amendment to the CONTRACT not increasing the CONTRACT PRICE more than ten percent (10%), so as to bind the CONTRACTOR / PRINCIPAL and the SURETY to the fill and faithful performance of the CONTRACT as so amended. The "Amendment", wherever used in this BOND and whether referring to this BOND, the CONTRACT or the Loan DOCUMENTS shall include any alteration, addition, extension or modification of any character whatsoever.

PROVIDED, further, that no final settlement between the MORTGAGOR, on behalf of the OWNER and CONTRACTOR / PRINCIPAL shall abridge the right of any beneficiary hereunder, whose claim may be satisfied.

Acknowledgment that this Agreement is executed in two or more counterparts, each shall be considered an original, and shall be binding when fully executed by both parties.

SIGNED AND SEALED THIS \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_ A.D.

\_\_\_\_\_  
NOTARY Signature

\_\_\_\_\_  
CONTRACTOR / PRINCIPAL Signature

\_\_\_\_\_  
NOTARY printed name

\_\_\_\_\_  
by CONTRACTOR / PRINCIPAL printed name

\_\_\_\_\_  
NOTARY Bar # & Commission expires

\_\_\_\_\_  
CONTRACTOR / PRINCIPAL Title

**PAYMENT BOND**

**BOND #** \_\_\_\_\_

AND

\_\_\_\_\_  
NOTARY Signature

\_\_\_\_\_  
SURETY Signature

\_\_\_\_\_  
NOTARY printed name

\_\_\_\_\_  
by SURETY printed name

\_\_\_\_\_  
NOTARY Bar # & Commission expires

\_\_\_\_\_  
SURETY Title

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1. SURETY Companies executing BONDS must appear on the Treasury Department’s most current list (Circular 570 as amended) and be authorized to transact business in the State of Louisiana with a Louisiana established agent.
2. This instrument shall be executed in five (5) counterparts with each one being deemed an original.
3. If CONTRACTOR / PRINCIPAL is partnership, all partners shall execute BOND or provide POWER OF ATTORNEY for all.



## CmDv Housing Rehab Services Bid Packet – Bid Proposal Price Sheet 1 of 3

The undersigned offers to complete the Rehab Services for the following structures at the payment price stated for EACH property location listed on this sheet. Each structure listed will be awarded to the lowest, most responsive, responsible bidder as budget allows. The City reserves the right to reject any / all proposals on behalf of the Property Owner.

#	MPN Project #	Address	Property Owner & Phone #	Bid Line Type	Itemized Price per structure	Owner's initials for Acceptance of Bid Price
1	CD-15076	3004 3 <sup>rd</sup> St.	Jacqueline Allen 318-709-8385	Rehab Base Bid:	\$	
				Lead Base Bid:	\$	
2	CD-15083	4124 3 <sup>rd</sup> St.	Creggory Morrison 318-446-8334	Rehab Base Bid:	\$	
				Lead Base Bid:	\$	
				Alternate #1:	\$	
3	CD-14988	1025 13 <sup>th</sup> St.	Wanda Long 318-290-8660	Rehab Base Bid:	\$	
				Lead Base Bid:	\$	
4	CD-15001	327 Daspit St.	Donna Mickens 318-613-2743	Rehab Base Bid:	\$	
				Lead Base Bid:	\$	
				Alternate #1:	\$	
5	CD-14992	3447 Halsey St.	Neal Blanchard 318-880-8358	Rehab Base Bid:	\$	
				Lead Base Bid:	\$	
<b>MULTI-DISCIPLINE (BUNDLE 1) TOTAL:</b> <b>(ITEMIZE PRICE FOR EACH PROPERTY LISTED ABOVE IS REQUIRED)</b>					\$	

- Proposals must be submitted in accordance with the Bid Submittal Conditions (Attachment #1).
- All bids must be honored for ninety (90) calendar days from the date of bid opening.

ADDENDUM NUMBER(S) ACKNOWLEDGED, IF APPLICABLE: \_\_\_\_\_

COMPANY NAME \_\_\_\_\_ DATE \_\_\_\_\_

STREET ADDRESS \_\_\_\_\_ P O BOX \_\_\_\_\_

CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

TELEPHONE NUMBER \_\_\_\_\_ DUNS NUMBER \_\_\_\_\_

AUTHORIZED SIGNATURE: \_\_\_\_\_

## CmDv Housing Rehab Services Bid Packet – Bid Proposal Price Sheet 2 of 3

The undersigned offers to complete the Rehab Services for the following structures at the payment price stated for EACH property location listed on this sheet. Each structure listed will be awarded to the lowest, most responsive, responsible bidder as budget allows. The City reserves the right to reject any / all proposals on behalf of the Property Owner.

#	MPN Project #	Address	Property Owner & Phone #	Bid Line Type	Itemized Price per structure	Owner's initials for Acceptance of Bid Price
1	CD-15021	2332 Harris St.	Brenda Wallace 318-880-1980	Rehab Base Bid:	\$	
				Lead Base Bid:	\$	
2	CD-15007	1516 Holly St.	Carrie Taylor 318-229-1209	Rehab Base Bid:	\$	
				Alternate #1:	\$	
3	CD-15070	3026 Houston St.	Michael Gaines 318-619-0504	Rehab Base Bid:	\$	
				Lead Base Bid:	\$	
4	CD-15014	1924 Kelly St.	Ike Sewell 318-229-1391	Rehab Base Bid:	\$	
				Lead Base Bid:	\$	
5	CD-14987	19 Mary St.	Patricia Fairley 318-709-8453	Rehab Base Bid:	\$	
				Lead Base Bid:	\$	
				Alternate #1	\$	
				Alternate #2	\$	
				Alternate #3	\$	
<b>MULTI-DISCIPLINE (BUNDLE 2) TOTAL:</b> (ITEMIZE PRICE FOR EACH PROPERTY LISTED ABOVE IS REQUIRED)					\$	

1. Proposals must be submitted in accordance with the Bid Submittal Conditions (Attachment #1).
2. All bids must be honored for ninety (90) calendar days from the date of bid opening.

ADDENDUM NUMBER(S) ACKNOWLEDGED, IF APPLICABLE: \_\_\_\_\_

COMPANY NAME \_\_\_\_\_ DATE \_\_\_\_\_

STREET ADDRESS \_\_\_\_\_ P O BOX \_\_\_\_\_

CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

TELEPHONE NUMBER \_\_\_\_\_ DUNS NUMBER \_\_\_\_\_

AUTHORIZED SIGNATURE: \_\_\_\_\_

## CmDv Housing Rehab Services Bid Packet – Bid Proposal Price Sheet 3 of 3

The undersigned offers to complete the Rehab Services for the following structures at the payment price stated for EACH property location listed on this sheet. Each structure listed will be awarded to the lowest, most responsive, responsible bidder as budget allows. The City reserves the right to reject any / all proposals on behalf of the Property Owner.

#	MPN Project #	Address	Property Owner & Phone #	Bid Line Type	Itemized Price per structure	Owner's initials for Acceptance of Bid Price
1	CD-14983	220 Mary Ln.	Bonita Battiste 318-599-6108	Rehab Base Bid:	\$	
				Lead Base Bid:	\$	
2	CD-14990	400 N. 18 <sup>th</sup> St.	Sondra Wilson 318-450-8503	Rehab Base Bid:	\$	
				Lead Base Bid:	\$	
				Alternate #1:	\$	
				Alternate #2:	\$	
3	CD-15077	5403 Rutland Rd.	Rochelle Lee 318-344-8459	Rehab Base Bid:	\$	
				Lead Base Bid:	\$	
4	CD-15030	1936 Thornton Ct.	Daniel Thibeaux 318-812-2217	Rehab Base Bid:	\$	
				Lead Base Bid:	\$	
				Alternate #1:	\$	
5	CD-15016	2424 Webster St.	Reginald Goff 318-623-8833	Rehab Base Bid:	\$	
				Lead Base Bid:	\$	
				Alternate #1:	\$	
<b>MULTI-DISCIPLINE (BUNDLE 3) TOTAL:</b>					\$	
<b>(ITEMIZE PRICE FOR EACH PROPERTY LISTED ABOVE IS REQUIRED)</b>						

1. Proposals must be submitted in accordance with the Bid Submittal Conditions (Attachment #1).
2. All bids must be honored for ninety (90) calendar days from the date of bid opening.

ADDENDUM NUMBER(S) ACKNOWLEDGED, IF APPLICABLE: \_\_\_\_\_

COMPANY NAME \_\_\_\_\_ DATE \_\_\_\_\_

STREET ADDRESS \_\_\_\_\_ P O BOX \_\_\_\_\_

CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

TELEPHONE NUMBER \_\_\_\_\_ DUNS NUMBER \_\_\_\_\_

AUTHORIZED SIGNATURE: \_\_\_\_\_



**CmDv Housing Rehab Services Bid Packet –**

**Subject Property Identification including:**

**Scope of work to be performed and Photo relevant to scope of work for each location advertised for bid**

Properties are inserted in alphabetical order by street name, then street number.

Full LIRAs and Lead Specifications are available upon request.

**Attachment #6**

**Current Tentative Schedule of Events:**

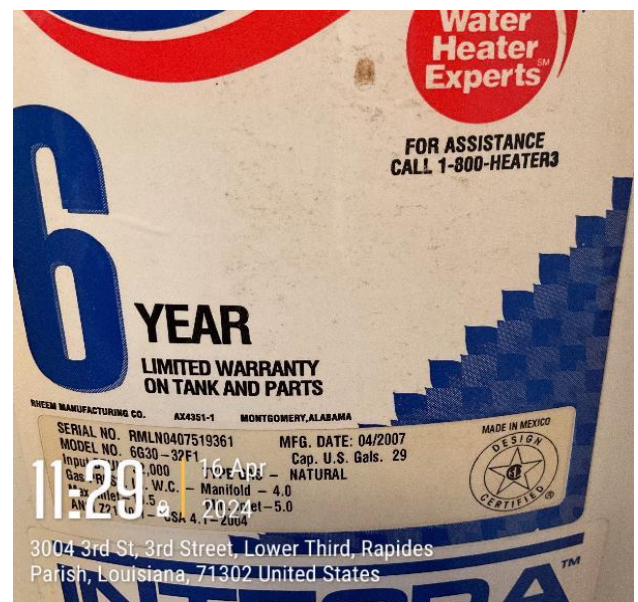
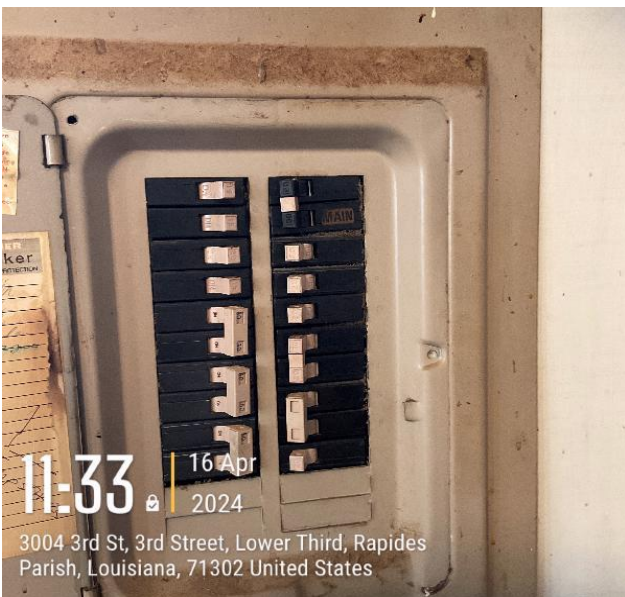
(subject to change without notice)

November 22, 2024	Posted to COA website by 4:pm
November 22, 2024	RFP Advertisement #1 published in the Town Talk
December 4, 2024	RFP Advertisement #2 published in the Town Talk
December 4, 2024	Mandatory Pre-bid Conference at 3:pm
December 13, 2024	Bid opening at 9:am
December 20, 2024	Tentative Release Bid Tab Notification
January 6, 2024	Tentative Week of Owner Grant Agreement Signing
January 20, 2024	Tentative Week of Home Improvement Contract Signing
January 20, 2024	Tentative Week for Notice to Proceed & begin Work
February 10, 2024	Tentative Week for completion of all Work



MPN #: **CD-15076**

Street Address: **3004 3rd Street**







**Case Number: CD-15076**  
**Address: 3004 3RD STREET**  
**Inspection Date: 4/25/2024**

**Jacqueline Allen**  
**(318) 709-8385**

Category	Question	Comment	Amount
	This home has tested positive for lead-based paint.		
Carpentry	Remove deteriorated, warped or split porch column(s) and replace with new #2 grade treated lumber or prefinished fiberglass / composite decorative column(s). Column size shall be in compliance with current International Residential Code. Replacement column style shall match any columns that are structurally sound to remain. In the event that the same style for new cannot be matched to existing, all columns shall be replaced with new one uniform style. Treated lumber shall remain unfinished with regard to stain or paint finish.	LEVEL OFF FRONT PORCH, CENTER AND CORNER POST NEEDS TO BE SHIMMED UP	
	Remove existing to install new 3ft-0in x 6ft-8in minimum metal factory pre-primed and pre-hung exterior door unit with 1in x 4in o/s trim. Door unit to have built in weather stripping and threshold. All hinges, screws, passage lockset and trim to be new. Door to be flush and plumb with walls. Door(s) shall remain in manufacturer's pre-primed finish.	INSTALL NEW, IN KITCHEN	
	Remove existing damaged windows, framing and casing / trim to repair or replace with new. The window shall be a complete unit assembly in mill finish. Replace damaged framing lumber with new #2 or better grade lumber. Replace with double paned aluminum windows, factory weatherstripped with full locking capabilities. Caulk around frames with acrylic latex caulking to prevent any air infiltration. Include new screens on all operable portion of windows. Irregular size units shall be custom made to fit properly. If exact size to match existing is not available, wall / header / frame modification may be required. At least one window must be of adequate size in each bedroom to meet emergency egress escape requirements of the current International Residential Code. Prep and paint all new wood installed to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	REPAIR WINDOW UNIT, RIGHT SIDE FRONT, SACHE HAS FALLEN	
Electrical	Rebuild electric service from transformer to house, as needed, to minimum 200 amps. New service shall include new copper ground rod. Shall be in compliance with current National Electrical Code and City Ordinances.		
	Label all circuits on panel box, both new and old, with identification data for its function and location.		

	Examine all visible wiring. Replace / replace dangerous or deficient wiring and any visible spliced wiring with junction boxes. Repair / replace any and all dangerous or deficient duplex receptacles and/or switches. Replace missing or broken cover plates with color to match existing.	ONE OPEN WIRE AT ATTIC ENTRANCE, USE JUNCTION BOX, CHECK DOORBELL, REPAIR/REPLACE IF NEEDED	
	Install new Builders grade fan forced electrical heat/vent/light ceiling fixture in bathroom with new wall mount switch. New fixture to be on a new separate circuit. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.	1 TOTAL	
	Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.	ASSURE ALL RECPT. ARE IN PROPER OPERATION IN EACH ROOM	
	Install new separate 110V circuit duplex receptacle in bathroom and kitchen in compliance with International Residential Code Section 3902.6-8. New circuit to be on ground fault interrupter.	BATH AND KITCHEN	
	Remove any existing to install new Builders Grade hard wired smoke detectors in all areas as required in current International Residential Code and manufacturer specifications. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination smoke / carbon monoxide units are acceptable.	7 TOTAL. SMOKE AND CARBON MON COMBOS MAY BE USED	
	Remove any existing to install new Builders Grade hard wired carbon monoxide detector in all areas as required in current International Residential Code and International Fuel Gas Code and manufacturers specifications. When more than one carbon monoxide detector is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination units smoke / carbon monoxide units are acceptable.	7 TOTAL, SMOKE AND CARBON MON. COMBOS MAYBE USED	
	Remove all standard light bulbs in ceiling fixtures throughout interior and exterior of house (excluding motion lights) and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Contractor to discard or salvage old removed light bulbs so that none are left onsite.	42	
Plumbing	Repair/replace all exposed drains under kitchen sink and/or lavatories inside house. This could include basket strainer, tail pieces, continuous waste, p-trap and/or pop-up assemblies. All work shall be in compliance with current International Plumbing Code.	BATH AND KITCHEN	

	<p>Repair/replace all exposed water supply assembly to fixtures inside house. This may include stops, shut-off valves and flex connectors. Supply lines to be equipped with cut off valves. All work shall be in compliance with current International Plumbing Code.</p>	BATH AND KITCHEN	
	<p>Install standard Builders grade white vinyl tub surround kit around bathtub area. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.</p>	CAULK EXISTING TUB SURROUND	
	<p>Repair/replace water distribution lines under house up to building water service line. Install shut-off valve assembly at junction or at back side of meter. Old water lines may remain in place, due to limited working space, if disconnected from water service line, when the entire supply lines are being replaced.</p>	REMOVE ALL PVC WATER LINES, TO FIXTURES AND REPLACE WITH PEX, W/H,W/D, SINK, BATH SINK, TUB AND SHOWER	
	<p>Remove existing to install new adequately sized (but not less than 40 gallon) gas water heater per manufacturer specifications and in compliance with the current International Plumbing Code, International Fuel Gas Code and International Residential Code. Water heater to have gas cock and water inlet cut off valves. Rheem Energy Miser or agency approved equal. Vent water heater to exterior as required by code. If unit is installed in attic, bracing, service platforms and walkways shall be required. If there is adequate space, the old water heater may remain in place as long as it is drained and disabled. Contractor shall be responsible to confirm adequate space within existing current water heater location for the replacement of new, as size may be different than original tank. If new unit must be relocated, Contractor shall budget for relocation in price submittal because a change order will not be allowed. *Contractor to have scheduled a GSW Repair/Replace inspection for immediately after water heater is replaced.</p>	30 GALLON, INSTALL NEW DRIP PAN	
Mechanical	<p>Install new Builders grade central heating and cooling system of adequate tonnage to service the interior volume of the structure. Unit shall be all electric. Install programmable wall mounted thermostat. Return air vent to be installed as practicable for proper function of the unit. This shall include new thermostat, plenum, compressor, duct work, registers, etc. Install as per International Residential code and manufacturer specs. Licensed Mechanical Contractor shall make installations and be responsible for warranty.</p>	COMPLETE UNIT, DUCTS, REGISTERS, GRILLS	
Painting	<p>Paint any newly hung sheetrock in other scopes and/or areas replaced due to physical damage such as holes and severe water stains. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	REPAIRED SHEETROCK TO MATCH	

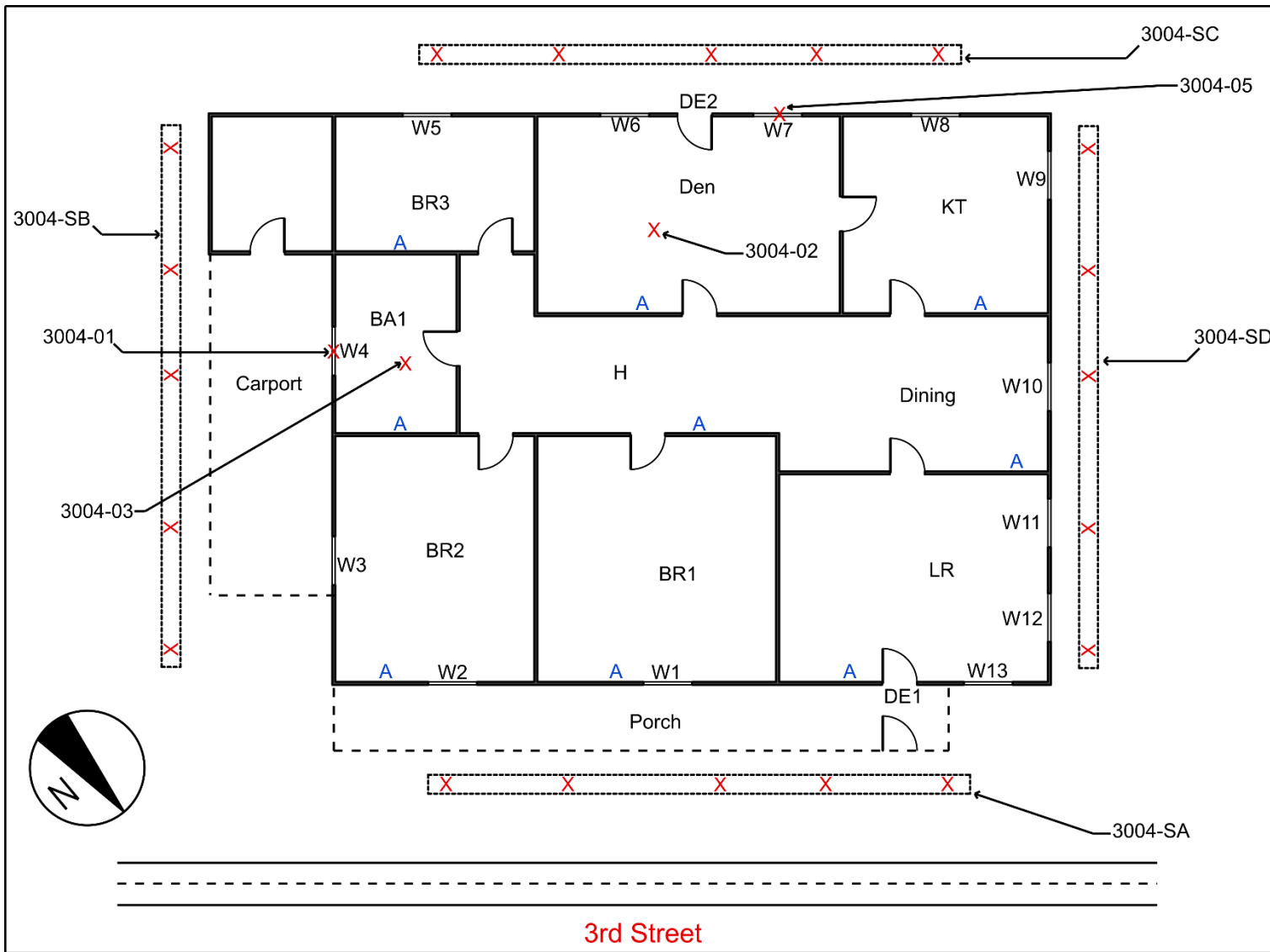
<p>Exterior/Interior Paint/Stain Specification (LEAD)</p>	<p>Paint shall be mixed and applied in accordance with manufacturers specifications, including temperature recommendations. Paint brand to be Benjamin Moore or equal. Previously painted/stained wood shall be thoroughly cleansed of peeling, blistered or razed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All nail holes shall be filled, sanded and covered. All surfaces shall be smooth and clean prior to painting/staining. All wood shall receive enough coats to provide adequate coverage but no less than two (2) full strength coats. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Prime and paint exposed side of materials to match existing. Use best practices to prevent splatter, dripping or spray onto other surfaces and clean / remove any created. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.</p>		
		<b>TOTAL \$</b>	

## 2.1 Scope of Work

Base Scope 3004 3 <sup>rd</sup> Street Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Bathroom 1	Window Sills	Wood	Beige	-	Specialized Cleaning
Den	Window Sills	Wood	White	-	Specialized Cleaning
Exterior Wall B	Window Sash, Frame, Casing, and Sill	Wood	Green	3 Windows	<sup>1</sup> Remove and Replace
Exterior Wall C	Window Sash, Frame, Casing, and Sill	Wood	Green	6 Windows	<sup>1</sup> Remove and Replace
Exterior Wall D	Dripline	-	-	-	Soil – Remove and Replace

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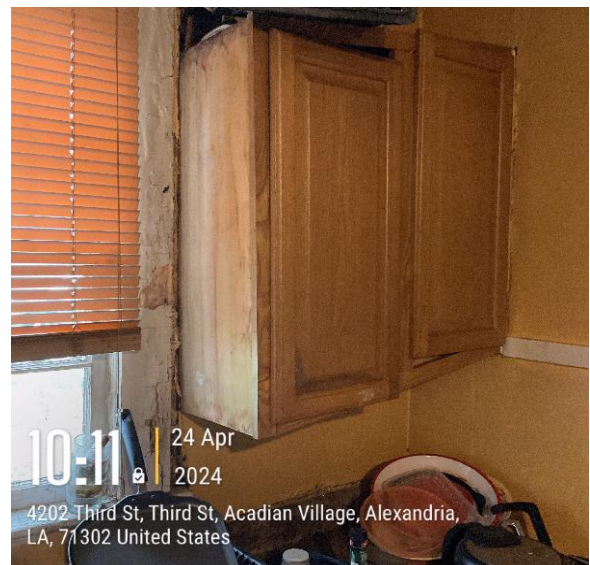
<sup>1</sup> Removal will include window casings and sills of impacted window system’s corresponding interior/external locations.



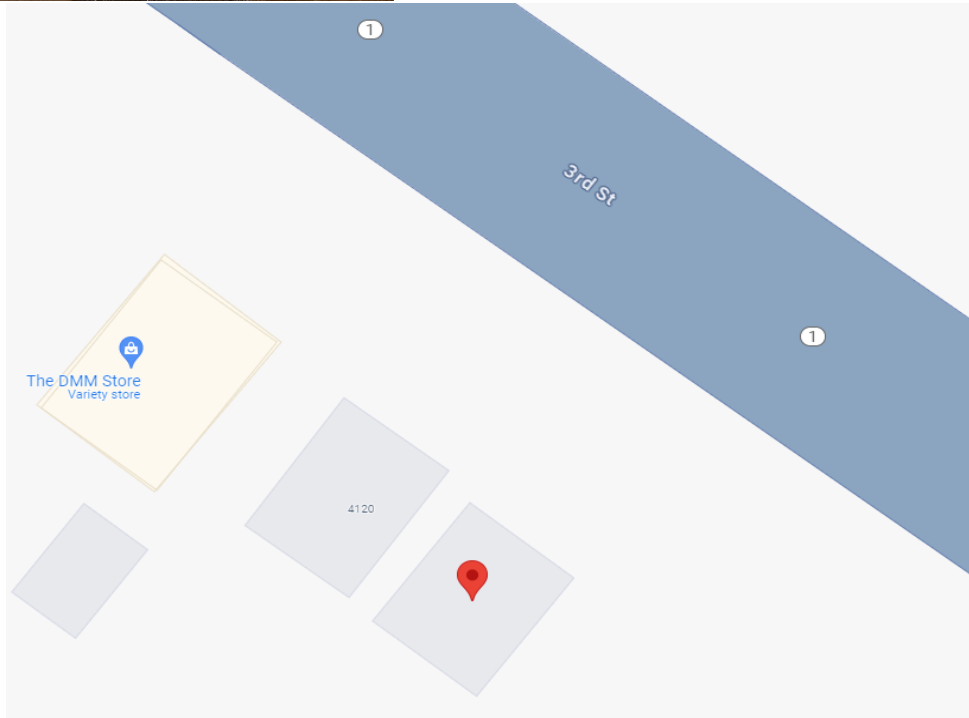


MPN #: **CD-15083**

Street Address: **4124 3<sup>rd</sup> Street**







<b>Case Number: CD-15083</b> <b>Address: 4124 3RD STREET</b> <b>Inspection Date: 4/30/2024</b>	<b>Creggory Morrison</b> <b>(318) 446-8334</b>
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Category	Question	Comment	Amount
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	<p>This home has tested positive for lead-based paint.</p>		
Roof	<p>Remove existing roof assembly and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of new 15# felt, continuous ridge vent, shingle laced valleys with ice and water underlayment, new flashing, new roof jacks and new drip edge. Remove deteriorated decking material and replace with material of same thickness or replace an entire section with minimum 7/16" osb. Remove roof jacks and replace existing roof turbines with continuous ridge vent. Use same decking thickness of existing or minimum 7/16" osb decking to cover holes from roof turbines removed. Remove all roofing debris from jobsite. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Weathered Wood shall be the standard color selection or equal. Install per manufacturers specs. Contractor shall be responsible to walk the roof to try to locate soft decking spots that will need to be replaced and tour the inside of the house and attic to determine deteriorated decking and/or water damage spots. Contractor shall also be responsible to verify number of layers to be removed and proper decking method for new installation. Contractor shall include all work listed in the bid price submitted. No change orders for unforeseen layers or inadequate decking will be allowed. *Contractor is responsible to call for a Roof Decking inspection and a Building Final inspection.</p>		
	<p>Replace all deteriorated roof rafter framing material in the attic, including any deteriorated exposed rafter tails. New material to be #2 grade or better with size, spans and weight / bearing to be in compliance with current International Residential Code. Prime and paint all new exposed rafter tail materials with color to match existing. In addition, scrape, prime and paint adjoining materials along the entire same side, corner to corner, of the area replaced to minimize the detection of the area of work. All painting color and sheen to match existing. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting. Do not paint over soffit vents. No change orders for rafter replacement material will be allowed. Contractor to factor in possible damage or cracking to ceilings or walls below in the course of repair. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached. **Contractor is responsible to call for a Framing inspection once all framing members are replaced. Contractor is responsible to call for a Building Final inspection once all work is complete.</p>	LEFT SIDE	

	<p>Remove swag from roof and level. Replace all broken, rotten or deficient rafters, decking, felt and shingles as necessary to correct the roof swag. Reframe in compliance with International Residential Code requirements. Replacement materials shall be minimum 7/16 inches osb decking, 15# felt and 25 year shingles. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Color to match remaining shingles as much as possible. Install per manufacturer specs. Contractor to factor in possible damage or cracking to ceilings or walls below in the course of repair. Contractor shall include all work listed in the bid price submitted. No change orders to replace unforeseen materials will be allowed. *Contractor is responsible to call for a Framing inspection once all framing members are replaced. Contractor is responsible to call for a Building Final inspection once all work is complete.</p>	LEFT SIDE IN VALLEY	
Carpentry	<p>Remove damaged existing soffit and/or fascia and replace with new like materials or perforated hardiboard soffit panels. Prime and paint all new materials with color to match existing. In addition, scrape, prime and paint adjoining materials along the entire same side, corner to corner, of the area replaced to minimize the detection of the area of work. All painting color and sheen to match existing. Do not paint over soffit vents. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	REPLACE MISSING FACIA BOARDS AND 2X6 RIBBON (30SF ON WALL A)	
	<p>Remove existing and replace with new aluminum threshold(s) with weatherstripping on exterior door(s). New weather-stripping shall be approximately 3/4in width rigid aluminum with vinyl bead on the end, nailed to the inside and bead pressing firmly against the door. Jamb shall be tightened or caulked in such a manner as to prevent outside air from entering residence.</p>	SIDE DOOR [ENTRANCE]	
	<p>Remove existing damaged attic pull-down stair and replace with new Builders grade. Adequate length for existing ceiling heights.</p>	FRAME OPENING IN HALL FOR NEW ATTIC STAIRWAY	
	<p>Insulate attic according to current International Residential Code standards. Contractor to be responsible for attic access for sub-contractor, including the installation of new scuttle hole where applicable. Care shall be exercised to provide 6 inches clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile or sheetrock dislodged by weight of insulation.</p>		

	Remove, replace and/or repair all broken, cracked, or deficient sheetrock in walls and ceilings. Sheetrock thickness to match existing but no less than 3/8 inch thick. Tape and mud float all joints with feathered edges. Fill all holes. Sand and texture sheetrock to match adjacent finish. Inspection required prior to painting. Prime and paint new sheetrock to match existing color. If removal of crown, base and/or shoe mould is required to replace sheetrock, then the replacement of the same shall also be replaced with new. Prime and paint / stain all new wood trim to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	KITCHEN, BATH	
	Remove existing interior door and replace with new pre-primed masonite interior hollow core door unit & trim. On all newly installed doors, all hinges, screws, locks, hardware and trim to be new. Hardware color to match existing. Doors are to be flush, plumb and balanced with existing walls. Make all necessary adjustments to frame and/or walls and replace frames to ensure adequate, proper and secure fit. Doors to remain in manufacturers pre-primed finish.	BED 1, HALL 2, INSTALL DOOR TRIM TO LEFT SIDE ENTRANCE DOOR, INTERIOR PAINT, THRESHOLD TO SAME	
	Replace all interior door locksets with Builders grade equivalent. Use privacy locksets on bedroom and bathroom doors. Use passage locksets on closets. Door hardware color shall match existing.	3 TOTAL	
	Remove existing cabinets. Replace with new prefinished wood 32in base cabinets (bathrooms) and/or 36in base cabinets with 30in upper wall cabinets (kitchens). Cabinets to be plumb, level with tight fit. Fillers shall be used in corners as needed. No portion of cabinet to be of partical board. A minimum of one base cabinet shall be a drawer bank. Cabinet doors shall be made in such a manner to not require cabinet pull hardware. Applicant shall have a choice of 1 color prefinished stained cabinets or 1 standard white laminated prefinished cabinets.	REPLACE UPPER RIGHT CABINET AFTER WALL IS REPAIRED	
	Remove existing and replace with new wood threshold(s) at room flooring surface transitions. New threshold shall be nailed or glued, according to manufacturer's specifications.	AS NEEDED	
Electrical	Update existing breaker and fuse boxes as needed. A minimum of 2 blanks shall be left on panel box after all circuits are run. This may involve adding a new breaker box, and using existing breaker box as a junction for service. Installation of new breaker box can be located in place of existing, beside existing, on the exterior opposite side of the existing panel or beside meter base. Removal of the old breaker panel, if a new one is installed, may not be required.		

Label all circuits on panel box, both new and old, with identification data for its function and location.		
Install new Builders grade fan forced electrical heat/vent/light ceiling fixture in bathroom with new wall mount switch. New fixture to be on a new separate circuit. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.	BATH	
Install new separate (110- 220V) circuits for existing window heat/air conditioner unit (over 5000 btus).	LIVING ROOM, DINING ROOM, BED 1-2	
Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.	ASSURE ALL RECEPETS ARE IN PROPER OPERATING CONDITION, REPLACE ANY BROKEN OR MISSING PLATES	
Install new wall switches and ceiling lights in the living room, the dining room, the bathroom, each bedroom, kitchen and garage/carpot. Fixture type shall be replaced with the same type as existing. Contractor to field verify each. Finish/Color to match existing.	LIVING ROOM & DINING ROOM, FAN AND LIGHT KIT, KITCHEN FIXTURE, FIXTURE OVER SINK, FIXTURE OVER STOVE, SMALL AND LARGE HALLS FIXTURES AND SWITCHES, BATH FIXTURE OVER SINK, BED 1 FIXTURE AND SWITCH	
Install new Builders grade exterior porch light fixture. All fixtures to be controlled by inside switches. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.	FRONT AND SIDE	
Remove existing damaged windows, framing and casing / trim to repair or replace with new. The window shall be a complete unit assembly in white finish. Replace damaged framing lumber with new #2 or better grade lumber. Replace with double paned vinyl windows, factory weatherstripped with full locking capabilities. Caulk around frames with acrylic latex caulking to prevent any air infiltration. Include new screens on all operable portion of windows. Irregular size units shall be custom made to fit properly. If exact size to match existing is not available, wall / header / frame modification may be required. At least one window must be of adequate size in each bedroom to meet emergency egress escape requirements of the current International Residential Code. Prep and paint all new wood installed to match existing. *Painting/staining requirements shall comply with Exterior/interior Paint/Stain specification attached.	5 WINDOWS	
Install new separate 110V circuit duplex receptacle in bathroom and kitchen in compliance with International Residential Code Section 3902.6-8. New circuit to be on ground fault interrupter.	KITCHEN AND BATH	

	Remove any existing to install new Builders Grade hard wired smoke detectors in all areas as required in current International Residential Code and manufacturer specifications. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination smoke / carbon monoxide units are acceptable.	5 TOTAL	
	Remove any existing to install new Builders Grade hard wired carbon monoxide detector in all areas as required in current International Residential Code and International Fuel Gas Code and manufacturers specifications. When more than one carbon monoxide detector is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination units smoke / carbon monoxide units are acceptable.	5 TOTAL	
	Remove all standard light bulbs in ceiling fixtures throughout interior and exterior of house (excluding motion lights) and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Contractor to discard or salvage old removed light bulbs so that none are left onsite.	28	
Plumbing	Install supply line cut off valves on all toilet, lavatory and sink lines lacking cut off valves. Replace all leaking or deficient cut off valves with new chrome plated valves. All supply lines and traps shall be equipped with chrome plated escutcheon plates.		
	Repair/replace all exposed drains under kitchen sink and/or lavatories inside house. This could include basket strainer, tail pieces, continuous waste, p-trap and/or pop-up assemblies. All work shall be in compliance with current International Plumbing Code.		
	Repair/replace all exposed water supply assembly to fixtures inside house. This may include stops, shut-off valves and flex connectors. Supply lines to be equipped with cut off valves. All work shall be in compliance with current International Plumbing Code.		
	Remove existing toilet and replace with new standard white Builders grade handicap toilet and seat in bathroom. New toilet to have new wax ring base and sealing compound. New toilet shall be standard white and have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet. This work may include slightly relocating toilet and installing waste arm for required clearances.		

<p>Remove existing lavatory sink and drain assembly in bathroom, replace with new standard Builders grade pedestal or wall mount (type to match existing) white sink and Builders grade faucet. New faucet to be of cast metal construction in chrome or brass finish, with brass valve stems with replaceable neopryne washers and removable seats. Supply lines shall have cut off valves and chrome plated escutcheon plates. Drain pipe and trap to be replaced with new pvc.</p>		
<p>Remove existing tub, faucet and drain assembly, replace with new Builders grade one piece standard (or 4 piece kit if necessary for accessibility) white prefabricated 3ft x 5ft fiberglass tub/shower combination, complete with brass waste and tub faucet and shower head. (Tub width may have to be 32 inch to match existing available opening). Installation shall be in compliance with the current International Residential Code and International Plumbing Code. Faucet finish to be brass or chrome. *If existing wall tile must be removed for adequate fit and/or new end cap stud wall needed, frame / surface / finish as needed to match existing walls. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.</p>	COMPLETE UNIT	
<p>Install standard Builders grade white vinyl tub surround kit around bathtub area. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.</p>		
<p>Remove existing tub faucet and shower head to replace with new Builders grade. New faucet to be of cast metal construction, brass valve stems with replaceable neopryne washers and removable seats. Faucet finish to be brass or chrome.</p>		
<p>Remove existing tub and/or sink drain assembly, complete with waste. Drain cover to be brass or chrome to match existing.</p>		
<p>Remove existing kitchen sink and faucet to replace/install new Builders grade 7 inch deep double compartment stainless steel sink and trim in kitchen. Secure per manufacturer feets specs. Sink faucet to be chrome or brass finish, cast metal with brass valve stems with replaceable neoprene washers and removable seats. Strainer basket(s) to be stainless steel. Wastes to be pvc. Supply lines to be chrome plated brass with cut off valves, complete with escutcheon plates.</p>		



	<p>Remove existing to install new adequately sized (but not less than 40 gallon) gas water heater per manufacturer specifications and in compliance with the current International Plumbing Code, International Fuel Gas Code and International Residential Code. Water heater to have gas cock and water inlet cut off valves. Rheem Energy Miser or agency approved equal. Vent water heater to exterior as required by code. If unit is installed in attic, bracing, service platforms and walkways shall be required. If there is adequate space, the old water heater may remain in place as long as it is drained and disabled. Contractor shall be responsible to confirm adequate space within existing current water heater location for the replacement of new, as size may be different than original tank. If new unit must be relocated, Contractor shall budget for relocation in price submittal because a change order will not be allowed. *Contractor to have scheduled a GSW Repair/Replace inspection for immediately after water heater is replaced.</p>		
	<p>Vent water heater to exterior as required by the International Fuel Gas Code.</p>		
Painting	<p>Paint shall be mixed and applied in accordance with manufacturers specifications, including temperature recommendations. Paint brand to be Benjamin Moore or equal. Previously painted/stained wood shall be thoroughly cleansed of peeling, blistered or razed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All nail holes shall be filled, sanded and covered. All surfaces shall be smooth and clean prior to painting/staining. All wood shall receive enough coats to provide adequate coverage but no less than two (2) full strength coats. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Prime and paint exposed side of materials to match existing. Use best practices to prevent splatter, dripping or spray onto other surfaces and clean / remove any created. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.</p>	PAINT NEW INSTALLED SIDING	
	<p>Use exterior grade caulk to seal all openings in exterior walls leading to the interior of the house. This includes holes for doors, windows, drainage lines, water supply lines, cracks and holes, telephone, electrical and cable T.V. lines. This excludes doors and windows, if the exterior surface is brick, where caulking shall occur on interior side. Caulking to be installed in such a manner as to be permanent and prevent air infiltration. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>		
	<p>Repaint ceiling. Fill all holes and sand. First coat shall be KILZ paint product or equal if smoke or water damage is evident. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	LIVING ROOM, DINING, KITCHEN, BATH ,BED 1-2, KILTZ WALLS AND PAINT IN LIVING ROOM AND DINING	

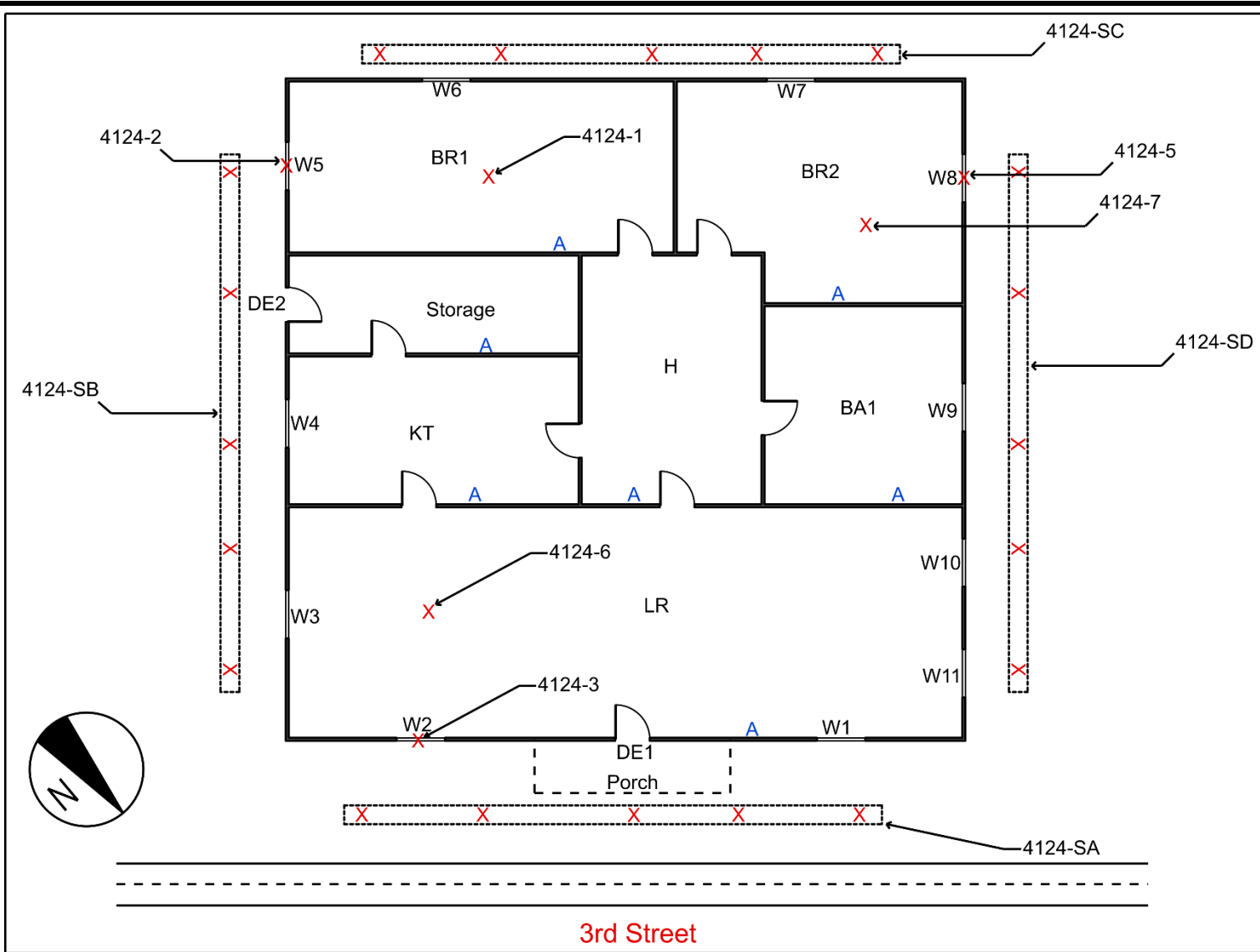
	Paint any scuttle hole covers and/or pull-down attic stairs door in other scopes. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.		
	Repaint / restain existing and/or new interior doors and casing trim. Doors to be covered with product on both sides of door and all 4 edges of door thickness. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	3 TOTAL	
		<b>SUBTOTAL \$</b>	
<b>ADD ALTERNATE</b>	Remove existing deteriorated subfloor and replace with new framing members and floor decking of #2 standard grade minimum. Framing members and floor decking shall be adequately sized to support the dead and live load weight it holds in accordance with current International Residential Code. If supporting floor is concrete slab, flash patch / shave / grind all cracks at joints to ensure the floor is level and void of humps or cavities. Install patternless sheet vinyl, per manufacturers specifications and warranty, with appropriate thresholds, carpet bars and new finished shoe mold to match existing finish. Installation shall be free of ripples or raised pockets. Edges shall be cut to tightly fit corners, minimal joints and minimize the appearance of the room being unsquare. If vinyl is in visible proximity, the direction of the pattern shall be the same. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	REMOVE CARPET IN BED 1-2, INSTALL SHEET GOODS, BEDS 1-2, KITCHEN AND BATH	
		<b>ADD ALTERNATES SUBTOTAL \$</b>	
		<b>TOTAL \$</b>	

## 2.1 Scope of Work

Base Scope 4124 3 <sup>rd</sup> Street Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Exterior Wall A	Wall	Wood	White	400 SF	Paint Stabilization
Exterior Wall A	Door, Door Frame, Door Casing	Wood	White	1 Door System	Remove and Replace Component
Exterior Wall B	Window Sash, Sill, Frame, and Casing	Wood	White	6 Windows	<sup>1</sup> Remove and Replace Component
Exterior Wall C	Window Sash, Sill, Frame, and Casing	Wood	White	5 Windows	<sup>1</sup> Remove and Replace Component
Bedroom 2	Window Sash, Sill, Frame, and Casing	Wood	White	2 Windows	<sup>1</sup> Remove and Replace Component
Bedroom 1	Windowsills	Bedroom 1	-	-	Specialized Cleaning
Bedroom 2	Windowsills	Bedroom 2	-	-	Specialized Cleaning
Living Room	Windowsills	Living Room	-	-	Specialized Cleaning
Exterior Wall A	Dripline	-	-	-	Soils – Remove and Replace
Exterior Wall C	Dripline	-	-	-	Soils – Remove and Replace

<sup>1</sup> Removal will include window casings and sills of impacted window system’s corresponding interior/exterior locations.

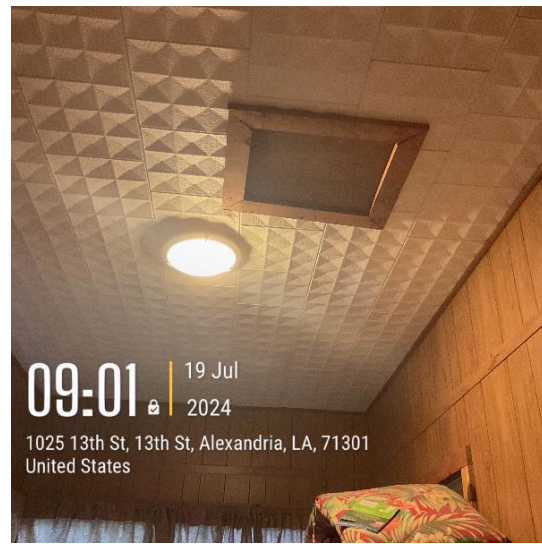
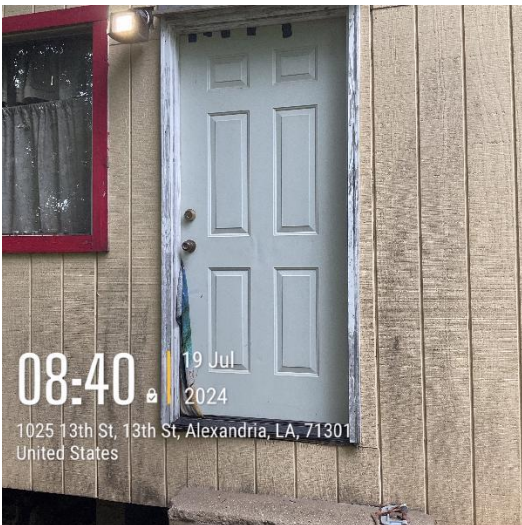
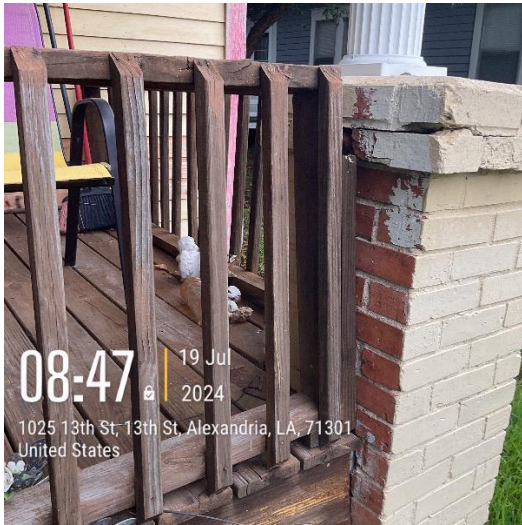
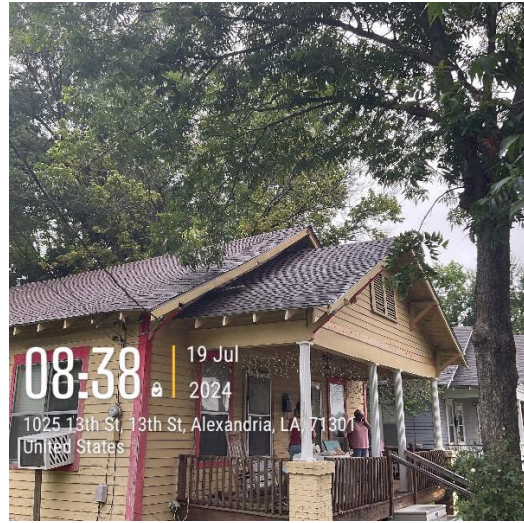
<b>Alternate Scope                      4124 3<sup>rd</sup> Street                      Alexandria, LA</b>					
<b>Room/Area</b>	<b>Component</b>	<b>Substrate</b>	<b>Color</b>	<b>Estimated Quantity</b>	<b>Treatment</b>
Exterior Wall A	Door Casing	Wood	White	1 Door Casing	Paint Stabilization
Exterior Wall A	Door	Wood	White	1 Door	Paint Stabilization
Exterior Wall A	Column	Wood	White	2 Columns	Paint Stabilization
Exterior Wall A	Ceiling	Wood	White	15 SF	Paint Stabilization
Exterior Wall A	Soffit	Wood	White	60 SF	Paint Stabilization
Exterior Wall A	Fascia	Wood	White	30 LF	Paint Stabilization



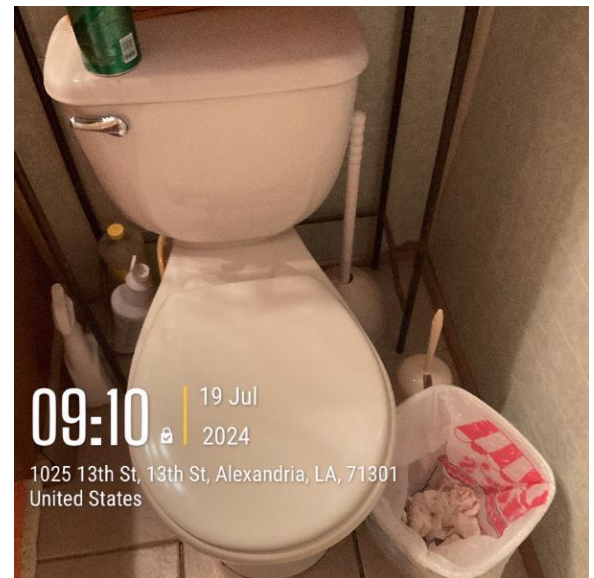
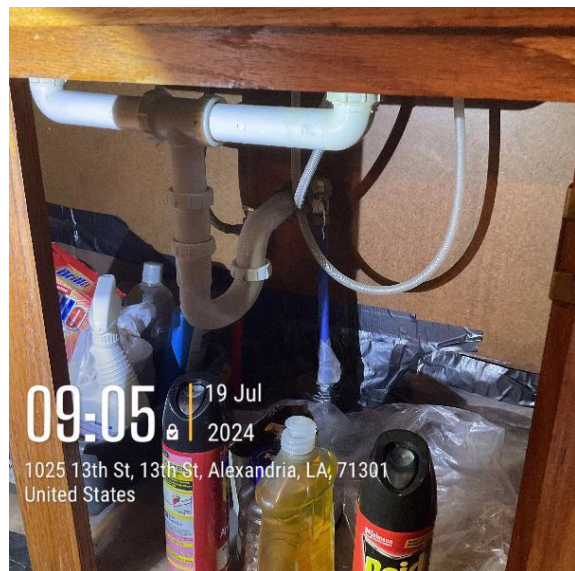
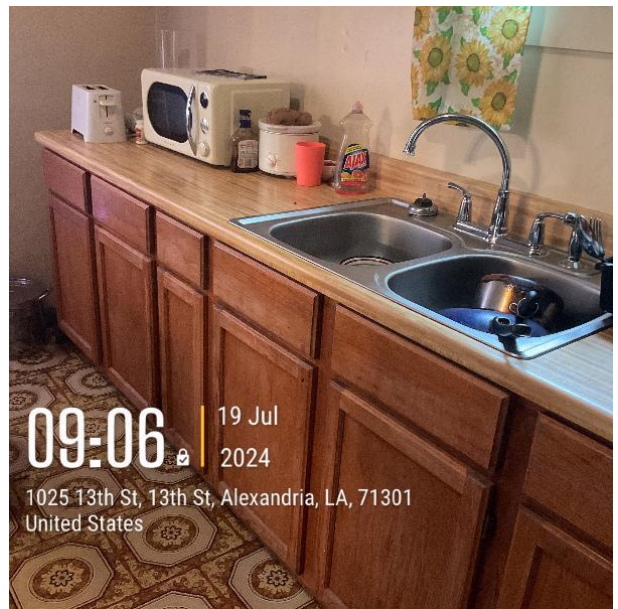
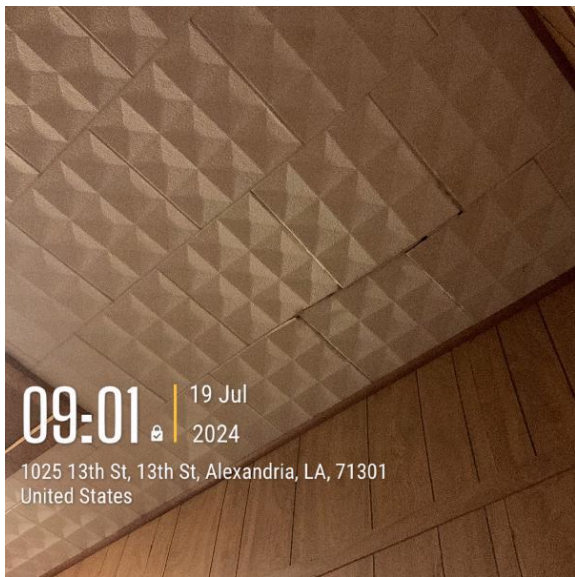


MPN #: **CD-14988**

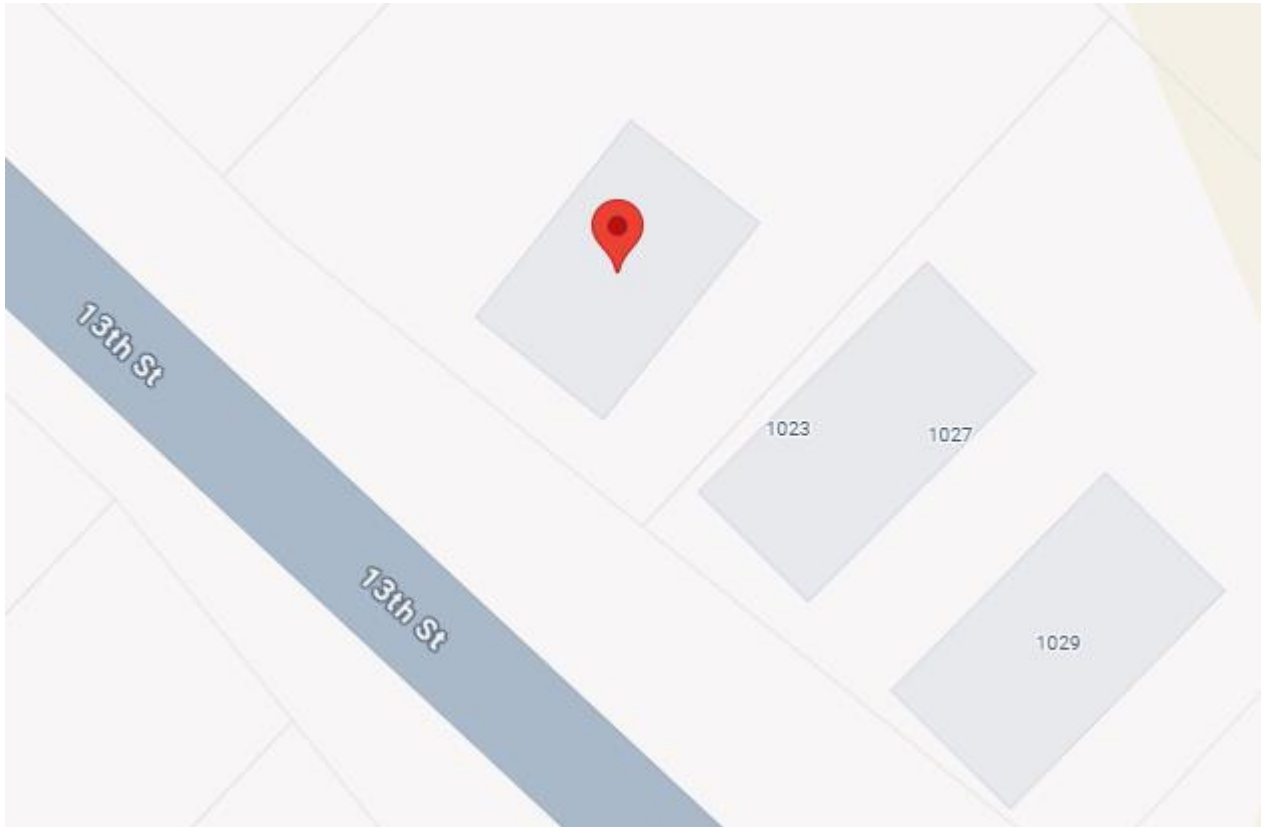
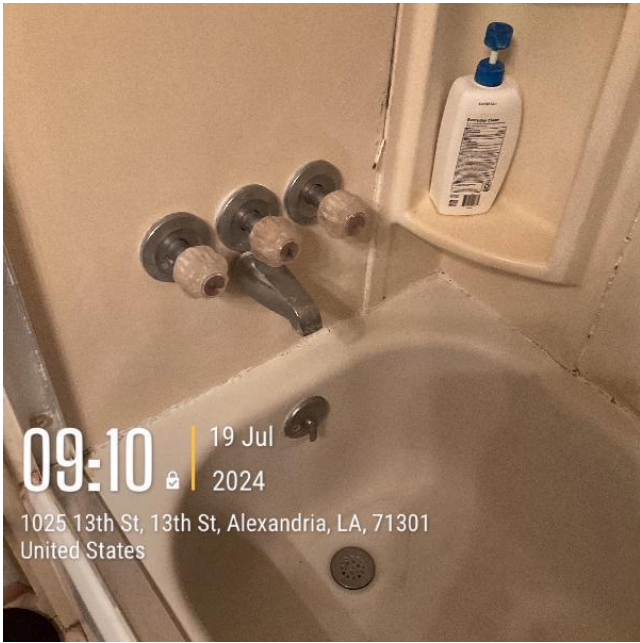
Street Address: **1025 13<sup>th</sup> Street**













**Case Number: CD-14988**  
**Address: 1025 13TH STREET**  
**Inspection Date: 7/31/2024**

**Wanda Long**  
**(318) 290-8660**

Category	Question	Comment	Amount
This home has	tested positive for lead-based paint.		
Roof	<p>Remove existing roof assembly and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of new 15# felt, continuous ridge vent, shingle laced valleys with ice and water underlayment, new flashing, new roof jacks and new drip edge. Remove deteriorated decking material and replace with material of same thickness or replace an entire section with minimum 7/16" osb. Remove roof jacks and replace existing roof turbines with continuous ridge vent. Use same decking thickness of existing or minimum 7/16" osb decking to cover holes from roof turbines removed. Remove all roofing debris from jobsite. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Weathered Wood shall be the standard color selection or equal. Install per manufacturers specs. Contractor shall be responsible to walk the roof to try to locate soft decking spots that will need to be replaced and tour the inside of the house and attic to determine deteriorated decking and/or water damage spots. Contractor shall also be responsible to verify number of layers to be removed and proper decking method for new installation. Contractor shall include all work listed in the bid price submitted. No change orders for unforeseen layers or inadequate decking will be allowed. *Contractor is responsible to call for a Roof Decking inspection and a Building Final inspection.</p>		

	<p>Replace all deteriorated roof rafter framing material in the attic, including any deteriorated exposed rafter tails. New material to be #2 grade or better with size, spans and weight / bearing to be in compliance with current International Residential Code. Prime and paint all new exposed rafter tail materials with color to match existing. In addition, scrape, prime and paint adjoining materials along the entire same side, corner to corner, of the area replaced to minimize the detection of the area of work. All painting color and sheen to match existing. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting. Do not paint over soffit vents. No change orders for rafter replacement material will be allowed. Contractor to factor in possible damage or cracking to ceilings or walls below in the course of repair. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached. **Contractor is responsible to call for a Framing inspection once all framing members are replaced. Contractor is responsible to call for a Building Final inspection once all work is complete.</p>	<p>REPLACE BARGE RAFTERS ON FRONT AND REAR GABLE ENDS, SECURE ROOF BRACING AS NEEDED (CORBELLOS)</p>	
	<p>Remove swag from roof and level. Replace all broken, rotten or deficient rafters, decking, felt and shingles as necessary to correct the roof swag. Reframe in compliance with International Residential Code requirements. Replacement materials shall be minimum 7/16 inches osb decking, 15# felt and 25 year shingles. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Color to match remaining shingles as much as possible. Install per manufacturer specs. Contractor to factor in possible damage or cracking to ceilings or walls below in the course of repair. Contractor shall include all work listed in the bid price submitted. No change orders to replace unforeseen materials will be allowed. *Contractor is responsible to call for a Framing inspection once all framing members are replaced. Contractor is responsible to call for a Building Final inspection once all work is complete.</p>	<p>SAGS ON RIGHT SIDE OF HOUSE, GABLE ENDS</p>	
<p>Carpentry</p>	<p>Install new pre-cast reinforced concrete steps with 3ft minimum landing at exterior side of residence. Any steps over 3 risers high or 30in whichever is greater shall have metal handrail, secured at base in cement, on one side of steps. Handrail to be placed on door latch side of exterior door.</p>	<p>REAR ENTRANCE, WITH HAND RAILS</p>	
	<p>If porch is greater than 30in above grade, install pre-finished aluminum / metal handrail, minimum of 36in high, secured at floor, columns and/or exterior wall. Installed in compliance with current International Residential Code. Century Group Model #P11047SR or equal. Modify onsite to fit length.</p>	<p>FRONT PORCH RAILS</p>	

<p>Remove existing exterior door units, replace with new, pre-primed, metal factory hung exterior door unit(s) with 1"x 4" o/s trim. Door type to be as required by code based on location per International Residential Code 302.5.1. Door unit(s) are to have built-in weather-stripping and threshold(s). All hinges, screws, hardware locks and trim to be new. Doors are to be flush and plumb with existing walls. Make all necessary adjustments to frame and walls or rebuild walls and replace frames to ensure adequate, proper and secure fit. Add interior side casing / trim to match existing. Door(s) shall remain in manufacturer's pre-primed finish. Install peep-hole in new door(s) determined by applicants height. Install new entry knob hardware with deadbolt lock(s) on door(s). Lock(s) to be keyed on one side and all keyed alike. *Contractor may be required to install header if one does not exist.</p>	<p>FRONT AND REAR ENTRANCES</p>	
<p>Install new Builders grade aluminum exterior storm door over existing exterior doors. Croft Storm Door, Gibraltar Series, Self-Storing (1/2 door has operable screened opening) Door or equal, mill or white finish. Doors to have 3 1/8" x 1 1/4" thick aluminum frame, four hinges, a standard kickplate, heavy duty pneumatic closer, shatter resistant tempered safety glass, aluminum or vinyl screen, and adjustable bottom sweep. Make all necessary adjustments to frame for proper operation. Irregular door sizes shall be custom made to ensure proper fit in existing door frames.</p>	<p>FRONT AND REAR ENTRANCES</p>	
<p>Remove existing damaged windows, framing and casing / trim to repair or replace with new. The window shall be a complete unit assembly in white finish. Replace damaged framing lumber with new #2 or better grade lumber. Replace with double paned vinyl windows, factory weatherstripped with full locking capabilities. Caulk around frames with acrylic latex caulking to prevent any air infiltration. Include new screens on all operable portion of windows. Irregular size units shall be custom made to fit properly. If exact size to match existing is not available, wall / header / frame modification may be required. At least one window must be of adequate size in each bedroom to meet emergency egress escape requirements of the current International Residential Code. Prep and paint all new wood installed to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>11 TOTAL, NOTE 2 REAR AREA WINDOWS ARE FIXED GLASS, FRAME AND INSTALL STANDARD REPLACEMENT WINDOWS TO MATCH OTHERS</p>	

<p>Install 22in x 30in attic access scuttle hole or larger, enough to allow passage for the largest appliance located in the attic. Install 1in x 4in pine trim and 3/4in plywood to cover opening. Paint opening cover to match existing ceiling. Weather strip and insulate scuttle hole cover. *Scuttle hole to be used in areas where drop-down attic stair would not be accessible.</p>	<p>NOT CORRECT SIZE</p>	
<p>Insulate attic according to current International Residential Code standards. Contractor to be responsible for attic access for sub-contractor, including the installation of new scuttle hole where applicable. Care shall be exercised to provide 6 inches clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile or sheetrock dislodged by weight of insulation.</p>		
<p>Remove, replace and/or repair all broken, cracked, or deficient sheetrock in walls and ceilings. Sheetrock thickness to match existing but no less than 3/8 inch thick. Tape and mud float all joints with feathered edges. Fill all holes. Sand and texture sheetrock to match adjacent finish. Inspection required prior to painting. Prime and paint new sheetrock to match existing color. If removal of crown, base and/or shoe mould is required to replace sheetrock, then the replacement of the same shall also be replaced with new. Prime and paint / stain all new wood trim to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>DINNING ROOM EXTERIOR WALL</p>	
<p>Remove existing ceiling surface material. Reframe and strip as necessary. Install new 1/2 inch minimum sheetrock, tape, and mud float all joints and holes with feathered edges. Ceiling to be level with no visible sag or humps so attic bracing or work may be required. Inspection required prior to painting. Prime and paint new sheetrock to match existing color. If removal of crown, base and/or shoe mould is required to replace sheetrock, then the replacement of the same shall also be required. Prime and paint / stain all wood trim to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>LAUNDRY ROOM CEILING</p>	

	Remove existing countertop material and impacted fixtures and appliances. Install new preformed laminate countertop, bullnosed with 3 1/2in rolled backsplash. Sidesplashes shall also be installed of matching material on countertop sides that kill into a wall. Countertop to have minimal joints as needed at directional turns and securely glued and screwed (on bottom side) tight to base cabinet. Install 1/8" plywood over existing wall above countertop backsplash up to underside of upper wall cabinets (+/- 18 in) and install / overlay with new laminate that matches new countertop. Applicant shall have a choice of 4 standard countertop colors / designs.		
	Remove existing cabinets. Replace with new prefinished wood 32in base cabinets (bathrooms) and/or 36in base cabinets with 30in upper wall cabinets (kitchens). Cabinets to be plumb, level with tight fit. Fillers shall be used in corners as needed. No portion of cabinet to be of partial board. A minimum of one base cabinet shall be a drawer bank. Cabinet doors shall be made in such a manner to not require cabinet pull hardware. Applicant shall have a choice of 1 color prefinished stained cabinets or 1 standard white laminated prefinished cabinets.	SINK BASE AREA APPROX 12'	
	Remove existing cabinet pulls and replace with new Builders grade. New pull color shall match existing.		
	Remove existing and replace with new wood threshold(s) at room flooring surface transitions. New threshold shall be nailed or glued, according to manufacturer's specifications.	LIVING ROOM TO DINING ROOM	
Electrical	Update existing breaker and fuse boxes as needed. A minimum of 2 blanks shall be left on panel box after all circuits are run. This may involve adding a new breaker box, and using existing breaker box as a junction for service. Installation of new breaker box can be located in place of existing, beside existing, on the exterior opposite side of the existing panel or beside meter base. Removal of the old breaker panel, if a new one is installed, may not be required.		
	Label all circuits on panel box, both new and old, with identification data for its function and location.		
	Install new separate (110- 220V) circuits for existing window heat/air conditioner unit (over 5000 btus).	LIVINGROOM, BED 1-2, KITCHEN	

	Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.	LIVINGROOM, DINING ROOM, BED 1-2, KITCHEN, LAUNDRY	
	Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.		
	Install new wall switches and ceiling lights in the living room, the dining room, the bathroom, each bedroom, kitchen and garage/carpot. Fixture type shall be replaced with the same type as existing. Contractor to field verify each. Finish/Color to match existing.	FIXTURE IN KITCHEN, SWITCH AND FIXTURE IN HALL, FIXTURE ABOVE SINK IN BATH	
	Install new separate 110V circuit duplex receptacle in bathroom and kitchen in compliance with International Residential Code Section 3902.6-8. New circuit to be on ground fault interrupter.	SINK AREA IN KITCHEN , BATH SINK AREA	
	Remove any existing to install new Builders Grade hard wired smoke detectors in all areas as required in current International Residential Code and manufacturer specifications. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination smoke / carbon monoxide units are acceptable.	5 TOTAL	
	Remove any existing to install new Builders Grade hard wired carbon monoxide detector in all areas as required in current International Residential Code and International Fuel Gas Code and manufacturers specifications. When more than one carbon monoxide detector is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination units smoke / carbon monoxide units are acceptable.	5 TOTAL	
	Remove all standard light bulbs in ceiling fixtures throughout interior and exterior of house (excluding motion lights) and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Contractor to discard or salvage old removed light bulbs so that none are left onsite.	25	
Plumbing	Install supply line cut off valves on all toilet, lavatory and sink lines lacking cut off valves. Replace all leaking or deficient cut off valves with new chrome plated valves. All supply lines and traps shall be equipped with chrome plated escutcheon plates.	KITCHEN	

<p>Repair/replace all exposed drains under kitchen sink and/or lavatories inside house. This could include basket strainer, tail pieces, continuous waste, p-trap and/or pop-up assemblies. All work shall be in compliance with current International Plumbing Code.</p>	<p>KITCHEN</p>	
<p>Repair/replace all exposed water supply assembly to fixtures inside house. This may include stops, shut-off valves and flex connectors. Supply lines to be equipped with cut off valves. All work shall be in compliance with current International Plumbing Code.</p>	<p>KITCHEN</p>	
<p>Remove existing toilet and replace with new standard white Builders grade handicap toilet and seat in bathroom. New toilet to have new wax ring base and sealing compound. New toilet shall be standard white and have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet. This work may include slightly relocating toilet and installing waste arm for required clearances.</p>		
<p>Remove existing tub, faucet and drain assembly, replace with new Builders grade one piece standard (or 4 piece kit if necessary for accessibility) white prefabricated 3ft x 5ft fiberglass tub/shower combination, complete with brass waste and tub faucet and shower head. (Tub width may have to be 32 inch to match existing available opening). Installation shall be in compliance with the current International Residential Code and International Plumbing Code. Faucet finish to be brass or chrome. *If existing wall tile must be removed for adequate fit and/or new end cap stud wall needed, frame / surface / finish as needed to match existing walls. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.</p>	<p>COMPLETE UNIT INCLUDING SURROUND</p>	
<p>Remove existing tub faucet and shower head to replace with new Builders grade. New faucet to be of cast metal construction, brass valve stems with replaceable neopryne washers and removable seats. Faucet finish to be brass or chrome.</p>		
<p>Remove existing kitchen sink and faucet to replace/install new Builders grade 7 inch deep double compartment stainless steel sink and trim in kitchen. Secure per manufacturer feets specs. Sink faucet to be chrome or brass finish, cast metal with brass valve stems with replaceable neoprene washers and removable seats. Strainer basket(s) to be stainless steel. Wastes to be pvc. Supply lines to be chrome plated brass with cut off valves, complete with escutcheon plates.</p>		

	Install washing machine catch-a-drip drain in wall with hot and cold water supply. Repair any surrounding wall area affected to match existing.		
	Remove/replace customer sewer service line from clean-out at drains lines to tap. Installation shall include a clean-out, if one does not exist.	REPAIR EXPOSED DRAIN LINES AND VENT ON REAR OF HOUSE	
	Repair/replace water distribution lines under house up to building water service line. Install shut-off valve assembly at junction or at back side of meter. Old water lines may remain in place, due to limited working space, if disconnected from water service line, when the entire supply lines are being replaced.	SECURE WATER LINES TO FLOOR JOIST ON RIGHT SIDE OF HOUSE	
	Install new single 35,000 BTU, Monterey Model #35GV3 gas forced vented wall furnace (or agency approved equal) vented thru roof as required by code. Furnace to have built in thermostat. Install per International Fuel Gas Code and manufacturer specs and with gas cut off valve at floor level. *Contractor to have scheduled a GSW Repair/Replace inspection for immediately after furnace is installed.	INSTALL 1 WALL GAS HEATER IN BED 2, MATCH EXISTING IN OTHER BEDROOM	
	Install new 18in chrome plated grab bar in bathroom in compliance with current ANSI A117.1. Bar to be firmly secured by minimum 1 1/4in screws to studs or sufficient blocking. Repair and finish wall if bracing is added.		
Painting	Paint any newly hung sheetrock in other scopes and/or areas replaced due to physical damage such as holes and severe water stains. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	DINING ROOM AND LAUNDRY ROOM	
	Paint any scuttle hole covers and/or pull-down attic stairs door in other scopes. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.		
	Prime and paint all wood exterior surfaces of residence, to include walls, porch, soffits, fascia, window trim, exterior door frames. All wood frame windows that require painting shall include that portion of the window frame that is normally visible when the lower sash is raised to its highest point on both exterior & interior side. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	EXTERIOR WALL C TO MATCH	

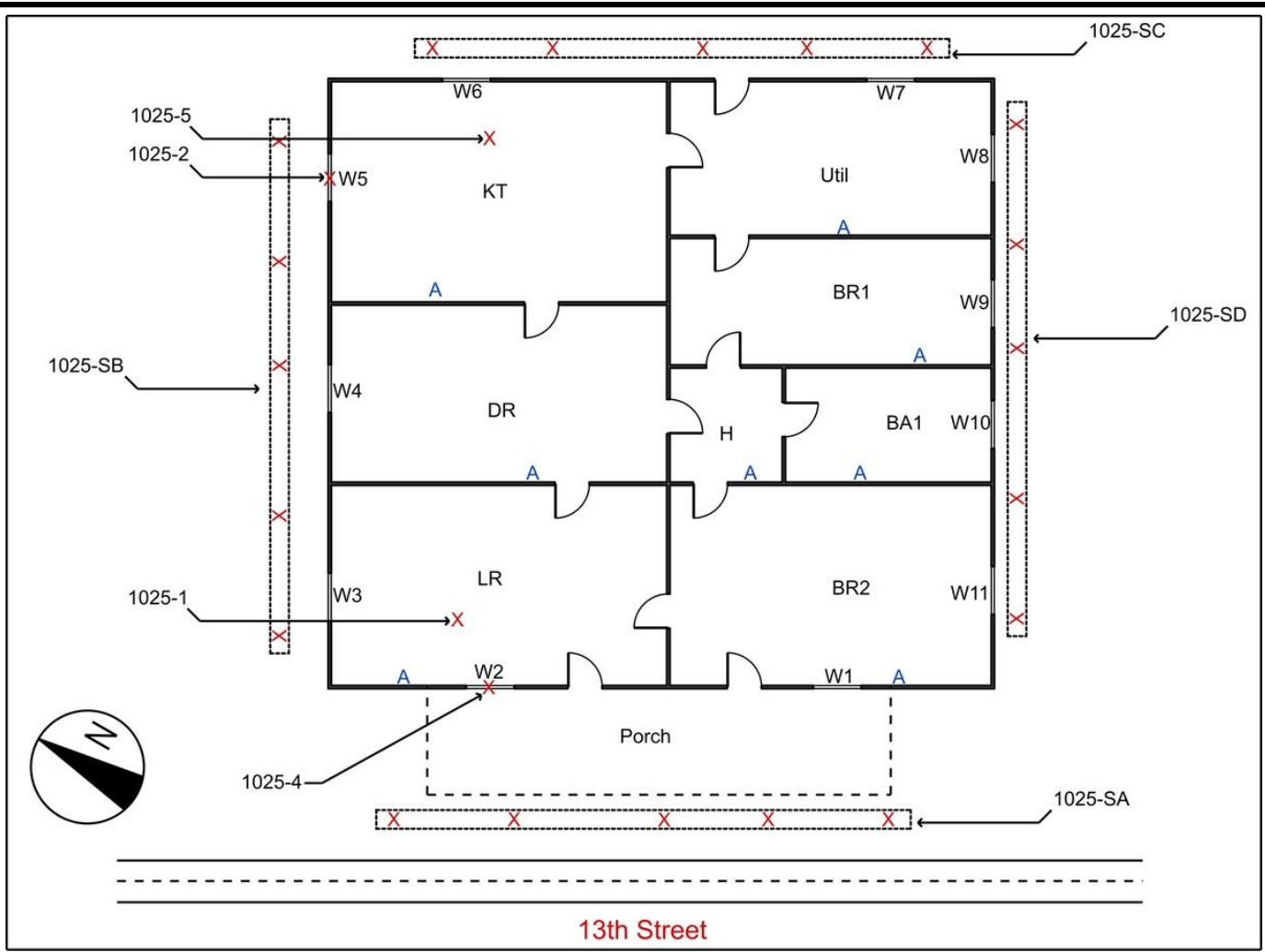


	<p>Use exterior grade caulk to seal all openings in exterior walls leading to the interior of the house. This includes holes for doors, windows, drainage lines, water supply lines, cracks and holes, telephone, electrical and cable T.V. lines. This excludes doors and windows, if the exterior surface is brick, where caulking shall occur on interior side. Caulking to be installed in such a manner as to be permanent and prevent air infiltration. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	EXTERIOR WALL C TO MATCH	
	<p>Paint shall be mixed and applied in accordance with manufacturers specifications including temperature recommendations. Paint brand to be Benjamin Moore or equal. Previously painted/stained wood shall be thoroughly cleansed of peeling, blistered or razed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All nail holes shall be filled, sanded and covered. All surfaces shall be smooth and clean prior to painting/staining. All wood shall receive enough coats to provide adequate coverage but no less than two (2) full strength coats. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Prime and paint exposed side of materials to match existing. Use best practices to prevent splatter, dripping or spray onto other surfaces and clean / remove any created. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.</p>	EXTERIOR WALL C TO MATCH	
		<b>TOTAL \$</b>	

## 2.1 Scope of Work

Base Scope 1025 13 <sup>th</sup> Street Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Exterior Wall B	Corner Board	Wood	Red	40 SF	Paint Stabilization
Exterior Wall B	Wall	Wood	Yellow	900 SF	Paint Stabilization
Exterior Wall D	Corner Board	Wood	Red	40 SF	Paint Stabilization
Kitchen	Floor	-	-	-	Specialized Cleaning
Exterior Wall A	Dripline	-	-	-	Soil – Remove and Replace
Exterior Wall B	Dripline	-	-	-	Soil – Remove and Replace
Exterior Wall C	Dripline	-	-	-	Soil – Remove and Replace
Exterior Wall D	Dripline	-	-	-	Soil – Remove and Replace

Alternate Scope 1025 13 <sup>th</sup> Street Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Exterior Wall A	Wall	Wood	Yellow	600 SF	Paint Stabilization
Exterior Wall A	Support	Wood	Yellow	75 SF	Paint Stabilization
Exterior Wall D	Wall	Wood	Yellow	900 SF	Paint Stabilization



1025 13th Street  
Alexandria, LA

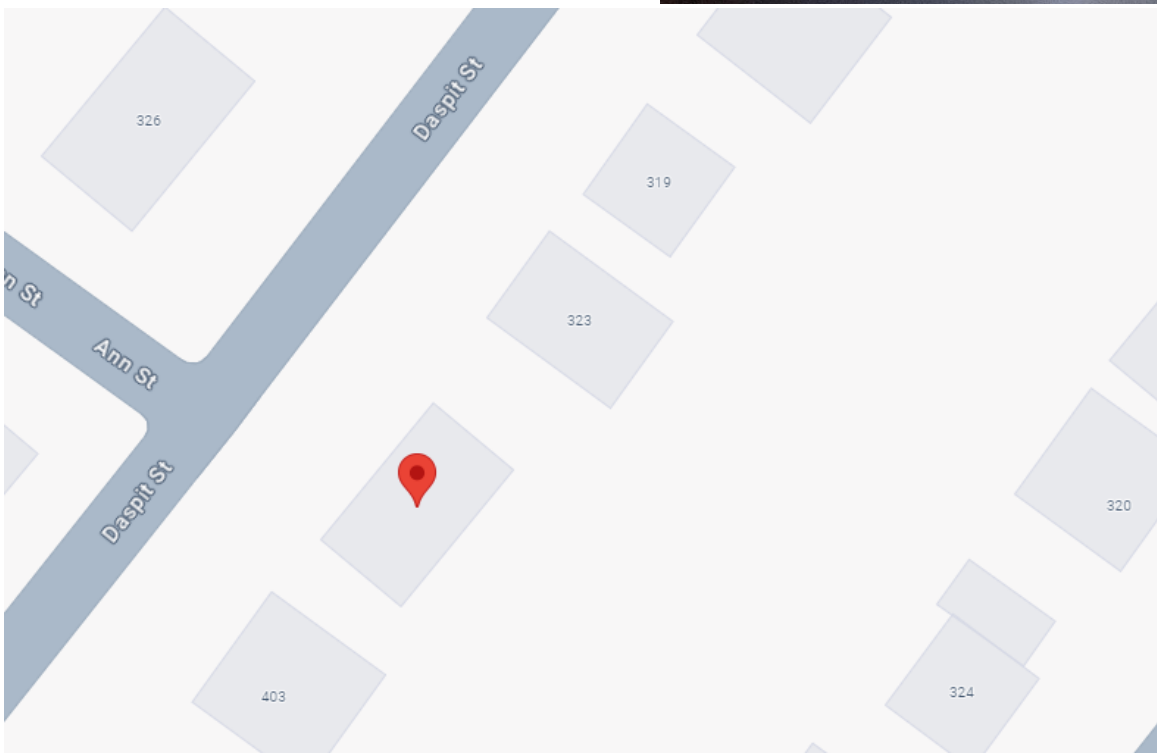
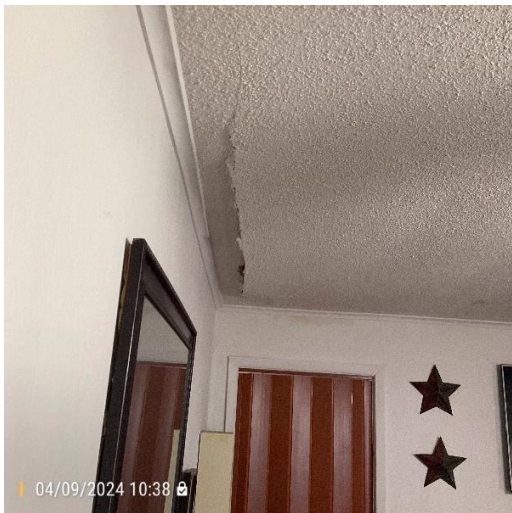
Lead Inspection/Risk Assessment  
Site Drawing

MPN #: **CD-15001**

Street Address: **327 Daspit Street**







**Case Number: CD-15001**  
**Address: 327 DASPIT STREET**  
**Inspection Date: 4/25/2024**

**Donna Mickens**  
**(318) 613-2743**

Category	Question	Comment	Amount
	This home has tested positive for lead-based paint.		
Roof	<p>Remove existing roof assembly and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of new 15# felt, continuous ridge vent, shingle laced valleys with ice and water underlayment, new flashing, new roof jacks and new drip edge. Remove deteriorated decking material and replace with material of same thickness or replace an entire section with minimum 7/16" osb. Remove roof jacks and replace existing roof turbines with continuous ridge vent. Use same decking thickness of existing or minimum 7/16" osb decking to cover holes from roof turbines removed. Remove all roofing debris from jobsite. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Weathered Wood shall be the standard color selection or equal. Install per manufacturers specs. Contractor shall be responsible to walk the roof to try to locate soft decking spots that will need to be replaced and tour the inside of the house and attic to determine deteriorated decking and/or water damage spots. Contractor shall also be responsible to verify number of layers to be removed and proper decking method for new installation. Contractor shall include all work listed in the bid price submitted. No change orders for unforeseen layers or inadequate decking will be allowed. *Contractor is responsible to call for a Roof Decking inspection and a Building Final inspection.</p>		
	<p>Remove swag from roof and level. Replace all broken, rotten or deficient rafters, decking, felt and shingles as necessary to correct the roof swag. Reframe in compliance with International Residential Code requirements. Replacement materials shall be minimum 7/16 inches osb decking, 15# felt and 25 year shingles. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Color to match remaining shingles as much as possible. Install per manufacturer specs. Contractor to factor in possible damage or cracking to ceilings or walls below in the course of repair. Contractor shall include all work listed in the bid price submitted. No change orders to replace unforeseen materials will be allowed. *Contractor is responsible to call for a Framing inspection once all framing members are replaced. Contractor is responsible to call for a Building Final inspection once all work is complete.</p>	FRONT PORCH	

Carpentry	Install new Builders grade aluminum exterior storm door over existing exterior doors. Croft Storm Door, Gibraltar Series, Self-Storing (1/2 door has operable screened opening) Door or equal, mill or white finish. Doors to have 3 1/8" x 1 1/4" thick aluminum frame, four hinges, a standard kickplate, heavy duty pneumatic closer, shatter resistant tempered safety glass, aluminum or vinyl screen, and adjustable bottom sweep. Make all necessary adjustments to frame for proper operation. Irregular door sizes shall be custom made to ensure proper fit in existing door frames.	2-TOTAL	
	Insulate attic according to current International Residential Code standards. Contractor to be responsible for attic access for sub-contractor, including the installation of new scuttle hole where applicable. Care shall be exercised to provide 6 inches clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile or sheetrock dislodged by weight of insulation.	APPROX 1400 SQ FT. CONTRACTOR TO VERIFY ON SITE	
	Remove, replace and/or repair all broken, cracked, or deficient sheetrock in walls and ceilings. Sheetrock thickness to match existing but no less than 3/8 inch thick. Tape and mud float all joints with feathered edges. Fill all holes. Sand and texture sheetrock to match adjacent finish. Inspection required prior to painting. Prime and paint new sheetrock to match existing color. If removal of crown, base and/or shoe mould is required to replace sheetrock, then the replacement of the same shall also be replaced with new. Prime and paint / stain all new wood trim to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	LIVING ROOM WALLS AND CEILING, BED 1, AND LAUNDRY ROOM PAINT ENTIRE CEILING OR WALL REPAIRED TO MATCH	
	Sheet over existing floor with minimum 3/8in B/C plywood. If supporting floor is concrete slab, flash patch / shave / grind all cracks at joints to ensure the floor is level and void of humps or cavities. Install patternless sheet vinyl, per manufacturers specifications and warranty, with appropriate thresholds, carpet bars and new finished shoe mold to match existing finish. Installation shall be free of ripples or raised pockets. Edges shall be cut to tightly fit corners, minimal joints and minimize the appearance of the room being unsquare. If vinyl is in visible proximity, the direction of the pattern shall be the same. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	KITCHEN	
Electrical	Label all circuits on panel box, both new and old, with identification data for its function and location.		

Eliminate all pull-chain type lights in bathroom, closet and kitchen. Replace with wall switch and new fixture in each location. Kitchen to be 13 inches surface mount 2 bulb fixture or equal. Bathroom to be heat / vent / light Builders grade combination fixture or equal. Closet to be surface mount single bulb fixture installed in compliance with National Electrical Code 410.16. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.	LAUNDRY	
Install new Builders grade fan forced electrical heat/vent/light ceiling fixture in bathroom with new wall mount switch. New fixture to be on a new separate circuit. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.	1 TOTAL	
Install new separate (110- 220V) circuits for existing window heat/air conditioner unit (over 5000 btus).	BED 1-2, KITCHEN, AND OLD ENCLOSED CARPORT AREA	
Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.	APPLIANCES IN KITCHEN, BED1-2 AND IN ENCLOSED CARPORT AREA	
Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.	REPLACE ALL RECPTS [2WIRE NO GROUND] TO GROUND RECPTS.] 24 TOTAL, ASSURE ALL RECPTS AND SWITCHES OPERATE IN PROPER CONDITION	
Install new separate 110V circuit duplex receptacle in bathroom and kitchen in compliance with International Residential Code Section 3902.6-8. New circuit to be on ground fault interrupter.	3 TOTAL	
Remove any existing to install new Builders Grade hard wired smoke detectors in all areas as required in current International Residential Code and manufacturer specifications. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination smoke / carbon monoxide units are acceptable.	5 TOTAL	
Remove any existing to install new Builders Grade hard wired carbon monoxide detector in all areas as required in current International Residential Code and International Fuel Gas Code and manufacturers specifications. When more than one carbon monoxide detector is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination units smoke / carbon monoxide units are acceptable.	5 TOTAL	

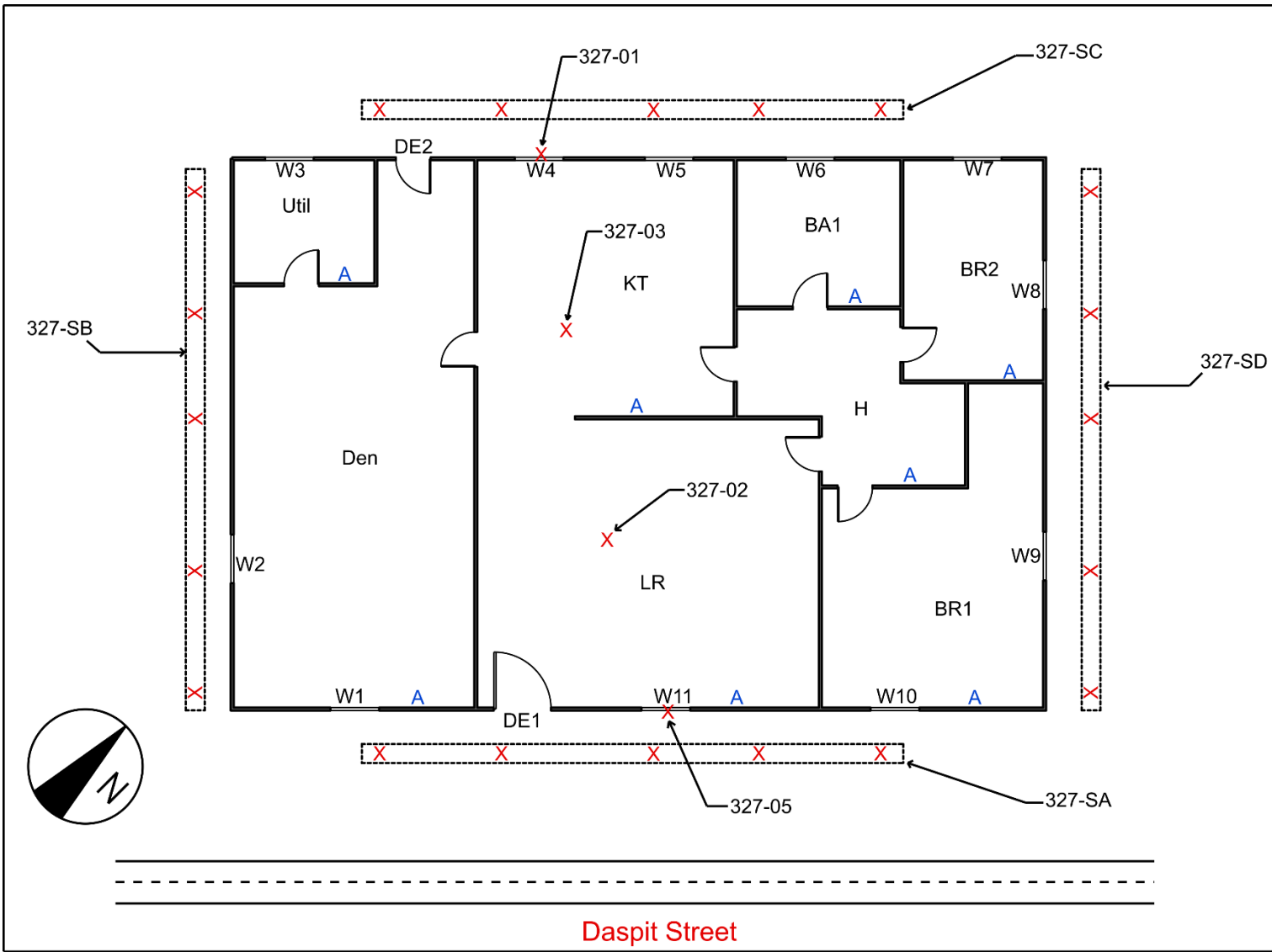


	Remove all standard light bulbs in ceiling fixtures throughout interior and exterior of house (excluding motion lights) and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Contractor to discard or salvage old removed light bulbs so that none are left onsite.	28 BULBS	
Plumbing	Repair/replace all exposed drains under kitchen sink and/or lavatories inside house. This could include basket strainer, tail pieces, continuous waste, p-trap and/or pop-up assemblies. All work shall be in compliance with current International Plumbing Code.	KITCHEN AND BATH	
	Repair/replace all exposed water supply assembly to fixtures inside house. This may include stops, shut-off valves and flex connectors. Supply lines to be equipped with cut off valves. All work shall be in compliance with current International Plumbing Code.	KITCHEN AND BATH	
	Install washing machine catch-a-drip drain in wall with hot and cold water supply. Repair any surrounding wall area affected to match existing.	INSTALL CATCH-A-DRIP	
	Remove existing to install new adequately sized (but not less than 40 gallon) gas water heater per manufacturer specifications and in compliance with the current International Plumbing Code, International Fuel Gas Code and International Residential Code. Water heater to have gas cock and water inlet cut off valves. Rheem Energy Miser or agency approved equal. Vent water heater to exterior as required by code. If unit is installed in attic, bracing, service platforms and walkways shall be required. If there is adequate space, the old water heater may remain in place as long as it is drained and disabled. Contractor shall be responsible to confirm adequate space within existing current water heater location for the replacement of new, as size may be different than original tank. If new unit must be relocated, Contractor shall budget for relocation in price submittal because a change order will not be allowed. *Contractor to have scheduled a GSW Repair/Replace inspection for immediately after water heater is replaced.	INSTALL OVERFLOW PAN ONLY	
Painting	Paint any newly hung sheetrock in other scopes and/or areas replaced due to physical damage such as holes and severe water stains. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	PAINT ALL REPAIRED OR REPLACED SHEETROCK, PAINT ENTIRE CEILING OR WALL AT THESE LOCATIONS	
		<b>SUBTOTAL \$</b>	

<b>ADD ALTERNATE</b>	Install mill finish storm windows over all existing exterior windows. Croft Storm Window or equal. Install per manufacturer's specs. Storm windows to be factory weather-stripped, capable of being securely locked and equipped with aluminum or vinyl screen. Frames shall be well caulked to insure minimum air infiltration. Irregular sizes shall be custom made to ensure adequate and secure fit. *Exclude existing windows with A/C units.	15 TOTAL	
		<b>ADD ALTERNATES SUBTOTAL \$</b>	
		<b>TOTAL \$</b>	

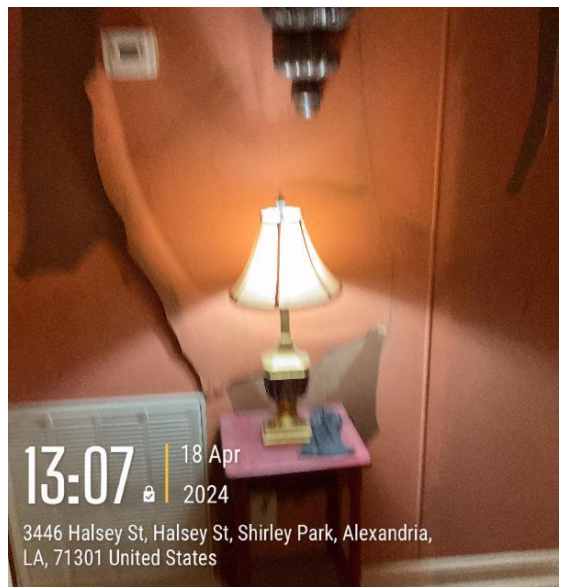
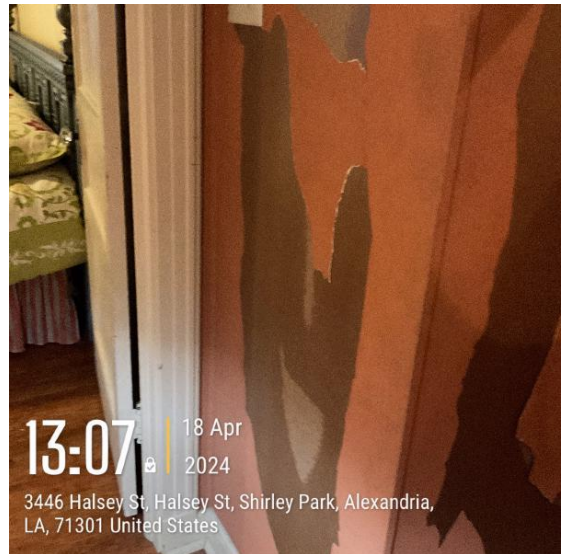
## 2.1 Scope of Work

Base Scope 327 Daspit Street Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Kitchen	Door Frame	Wood	White	2 Frames	Remove and Replace

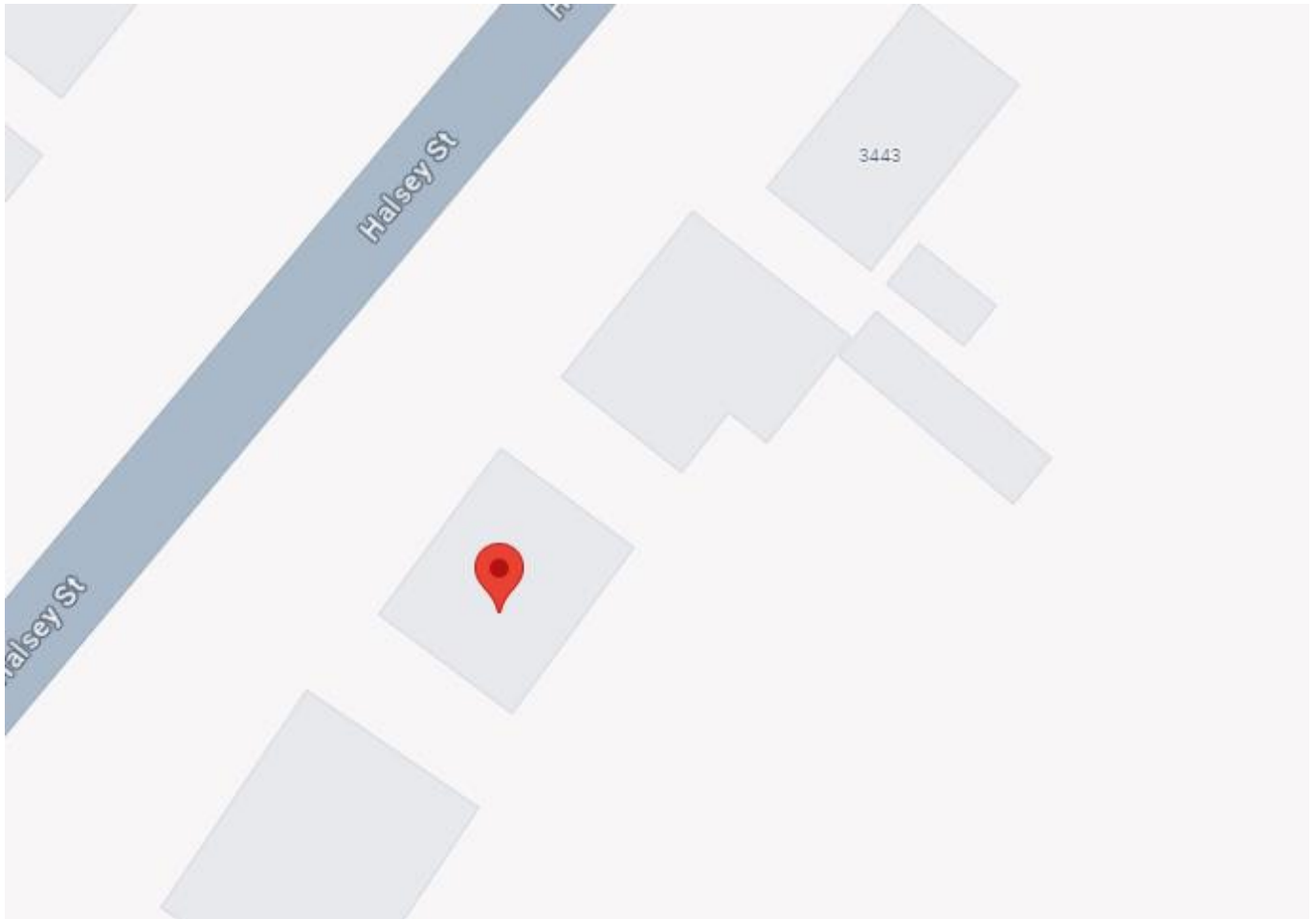


MPN #: **CD-14992**

Street Address: **3447 Halsey Street**







**Case Number: CD-14992**  
**Address: 3447 HALSEY STREET**  
**Inspection Date: 4/25/2024**

**Neal Blanchard**  
**(318) 880-8358**

Category	Question	Comment	Amount
	This home has tested positive for lead-based paint.		
Carpentry	Remove damaged existing soffit and/or fascia and replace with new like materials or perforated hardiboard soffit panels. Prime and paint all new materials with color to match existing. In addition, scrape, prime and paint adjoining materials along the entire same side, corner to corner, of the area replaced to minimize the detection of the area of work. All painting color and sheen to match existing. Do not paint over soffit vents. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	INSTALL NEW METAL TRIM COIL FASCIA TO REAR AREAS OF HOUSE , APPROX. 125 LIN FT, MATCH EXISTING COLOR	
	Install new pre-cast reinforced concrete steps with 3ft minimum landing at exterior side of residence. Any steps over 3 risers high or 30in whichever is greater shall have metal handrail, secured at base in cement, on one side of steps. Handrail to be placed on door latch side of exterior door.	INSTALL AT REAR ENTRANCE, INCLUDE HANDRAIL, ALUMINUM	
	Remove, replace and/or repair all broken, cracked, or deficient sheetrock in walls and ceilings. Sheetrock thickness to match existing but no less than 3/8 inch thick. Tape and mud float all joints with feathered edges. Fill all holes. Sand and texture sheetrock to match adjacent finish. Inspection required prior to painting. Prime and paint new sheetrock to match existing color. If removal of crown, base and/or shoe mould is required to replace sheetrock, then the replacement of the same shall also be replaced with new. Prime and paint / stain all new wood trim to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	HALL	
	Remove existing ceiling surface material. Reframe and strip as necessary. Install new 1/2 inch minimum sheetrock, tape, and mud float all joints and holes with feathered edges. Ceiling to be level with no visible sag or humps so attic bracing or work may be required. Inspection required prior to painting. Prime and paint new sheetrock to match existing color. If removal of crown, base and/or shoe mould is required to replace sheetrock, then the replacement of the same shall also be required. Prime and paint / stain all wood trim to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	BATH	
Electrical	Label all circuits on panel box, both new and old, with identification data for its function and location.		



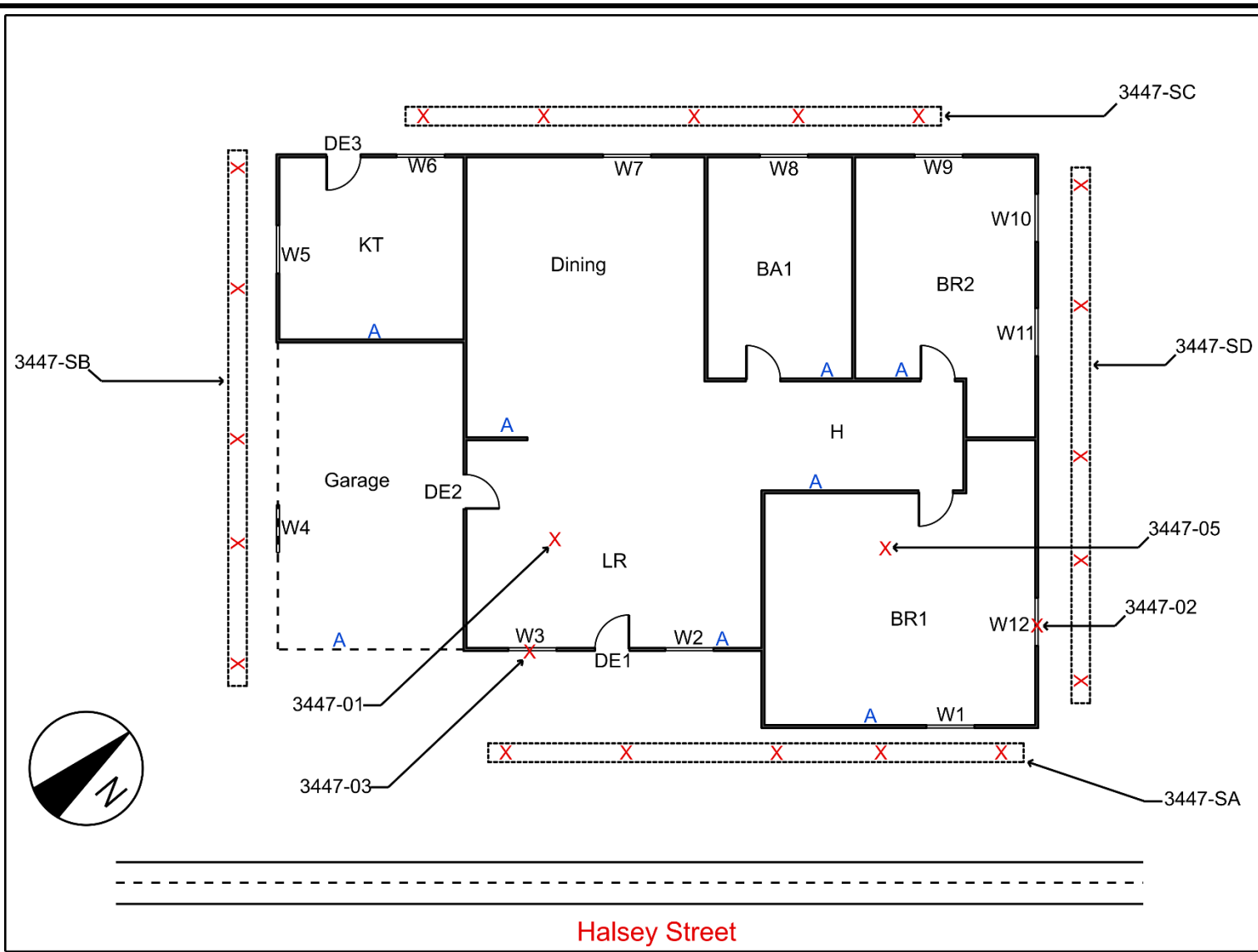
	Install new Builders grade fan forced electrical heat/vent/light ceiling fixture in bathroom with new wall mount switch. New fixture to be on a new separate circuit. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.	BATH	
	Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.	ASSURE ALL RECEPETS AND SWITCHES ARE IN PROPER OPERATING CONDITION	
	Install new wall switches and ceiling lights in the living room, the dining room, the bathroom, each bedroom, kitchen and garage/carpot. Fixture type shall be replaced with the same type as existing. Contractor to field verify each. Finish/Color to match existing.	IN HALL AND DINING ROOM	
	Remove any existing to install new Builders Grade hard wired smoke detectors in all areas as required in current International Residential Code and manufacturer specifications. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination smoke / carbon monoxide units are acceptable.	5 TOTAL	
	Remove any existing to install new Builders Grade hard wired carbon monoxide detector in all areas as required in current International Residential Code and International Fuel Gas Code and manufacturers specifications. When more than one carbon monoxide detector is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination units smoke / carbon monoxide units are acceptable.	5 TOTAL	
	Remove all standard light bulbs in ceiling fixtures throughout interior and exterior of house (excluding motion lights) and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Contractor to discard or salvage old removed light bulbs so that none are left onsite.	28	
Plumbing	Repair/replace all exposed drains under kitchen sink and/or lavatories inside house. This could include basket strainer, tail pieces, continuous waste, p-trap and/or pop-up assemblies. All work shall be in compliance with current International Plumbing Code.	KITCHEN AND BATH	
	Repair/replace all exposed water supply assembly to fixtures inside house. This may include stops, shut-off valves and flex connectors. Supply lines to be equipped with cut off valves. All work shall be in compliance with current International Plumbing Code.		

	Remove existing toilet and replace with new standard white Builders grade handicap toilet and seat in bathroom. New toilet to have new wax ring base and sealing compound. New toilet shall be standard white and have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet. This work may include slightly relocating toilet and installing waste arm for required clearances.	BATH	
	Remove existing tub, faucet and drain assembly, replace with new Builders grade one piece standard (or 4 piece kit if necessary for accessibility) white prefabricated 3ft x 5ft fiberglass tub/shower combination, complete with brass waste and tub faucet and shower head. (Tub width may have to be 32 inch to match existing available opening). Installation shall be in compliance with the current International Residential Code and International Plumbing Code. Faucet finish to be brass or chrome. *If existing wall tile must be removed for adequate fit and/or new end cap stud wall needed, frame / surface / finish as needed to match existing walls. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.	TUB SURROUND SHOULD BE INCLUDED	
	Install standard Builders grade white vinyl tub surround kit around bathtub area. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.		
	Remove existing tub faucet and shower head to replace with new Builders grade. New faucet to be of cast metal construction, brass valve stems with replaceable neopryne washers and removable seats. Faucet finish to be brass or chrome.		
	Remove existing tub and/or sink drain assembly, complete with waste. Drain cover to be brass or chrome to match existing.		
	Install a whole house cut-off valve. Preferred installation to be located on customer side of existing water meter. Optional location can be between distribution lines and water service line.	NEW CUTOFFS ON ALL NEW PEX REPLACEMENT PIPING	
	Repair/replace water distribution lines under house up to building water service line. Install shut-off valve assembly at junction or at back side of meter. Old water lines may remain in place, due to limited working space, if disconnected from water service line, when the entire supply lines are being replaced.	REMOVE ALL GALVANIZED WATER LINES, TO FIXTURES AND REPLACE WITH PEX, W/H,W/D, SINK, BATH SINK, TUB AND SHOWER	
Mechanical	Install new Builders grade central heating and cooling system of adequate tonnage to service the interior volume of the structure. Unit shall be all electric. Install programmable wall mounted thermostat. Return air vent to be installed as practicable for proper function of the unit. This shall include new thermostat, plenum, compressor, duct work, registers, etc. Install as per International Residential code and manufacturer specs. Licensed Mechanical Contractor shall make installations and be responsible for warranty.	CHECK ALL DUCTS, REGISTERS, AND GRILLS FOR REUSE OR REPLACE, SIZE AND R-VALUE	

Painting	Paint any newly hung sheetrock in other scopes and/or areas replaced due to physical damage such as holes and severe water stains. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	HALL WALLS, CEILINGS AND BATH CEILING	
	Repaint / restrain existing and/or new molding, casing & trim to match existing walls to match existing trim. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	PAINT CROWN MOLD IN BATHROOM AFTER SHEETROCK INSTALL	
Exterior/Interior Paint/Stain Specification (LEAD)	Paint shall be mixed and applied in accordance with manufacturers specifications, including temperature recommendations. Paint brand to be Benjamin Moore or equal. Previously painted/stained wood shall be thoroughly cleansed of peeling, blistered or razed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All nail holes shall be filled, sanded and covered. All surfaces shall be smooth and clean prior to painting/staining. All wood shall receive enough coats to provide adequate coverage but no less than two (2) full strength coats. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Prime and paint exposed side of materials to match existing. Use best practices to prevent splatter, dripping or spray onto other surfaces and clean / remove any created. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.		
		<b>TOTAL \$</b>	

## 2.1 Scope of Work

<b>Base Scope 3447 Halsey Street Alexandria, LA</b>					
<b>Room/Area</b>	<b>Component</b>	<b>Substrate</b>	<b>Color</b>	<b>Estimated Quantity</b>	<b>Treatment</b>
Exterior Wall A	Door Frame	Wood	White	1	Remove and Replace
Exterior Wall D	Fascia	Vinyl	White	1	Remove and Replace



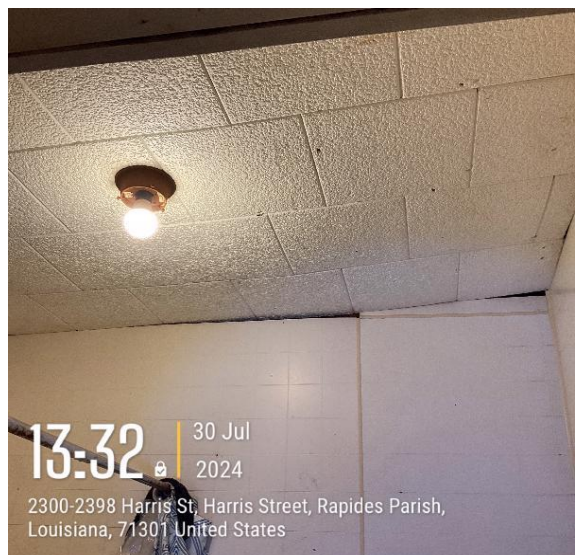
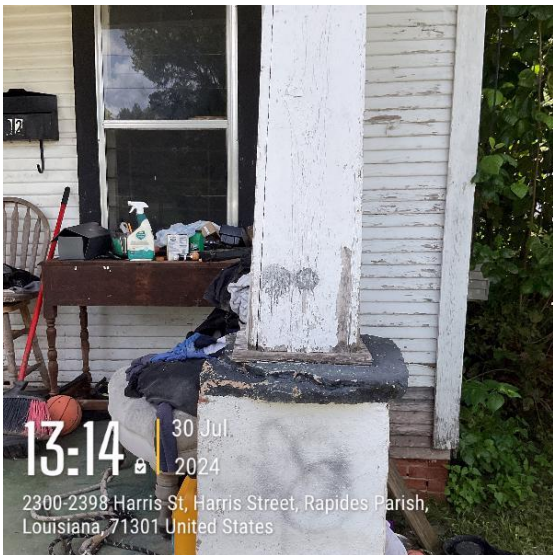
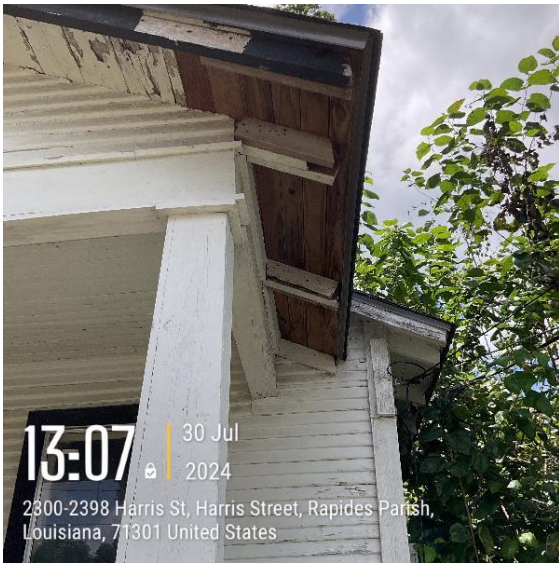
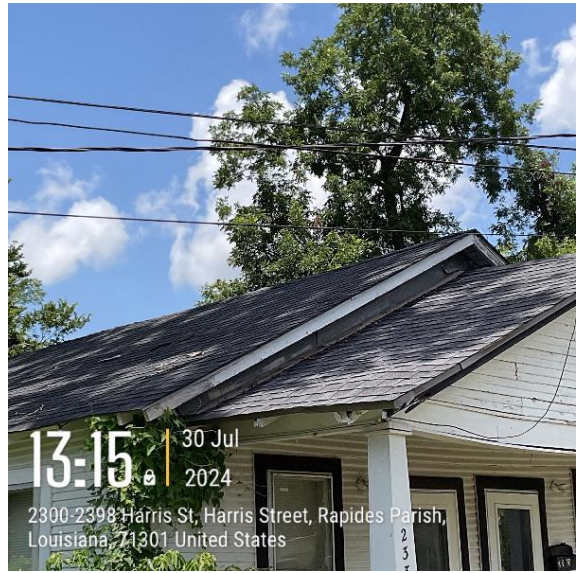
3447 Halsey Street  
Alexandria, LA

Lead Inspection/Risk Assessment  
Site Drawing

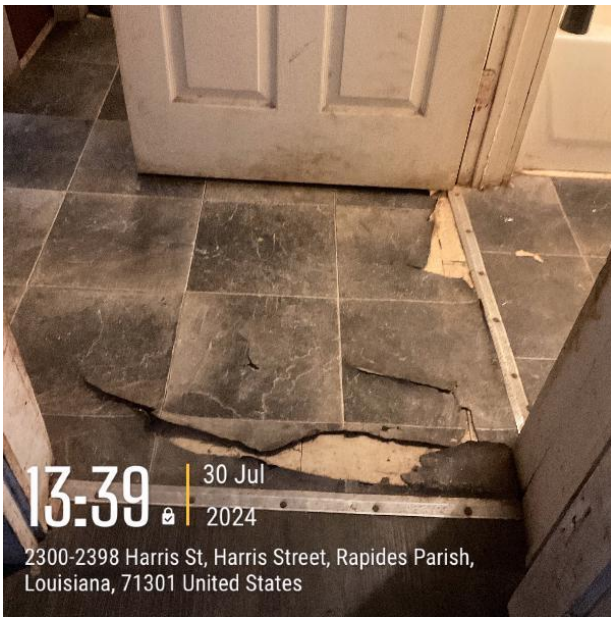


MPN #: **CD-15021**

Street Address: **2332 Harris Street**

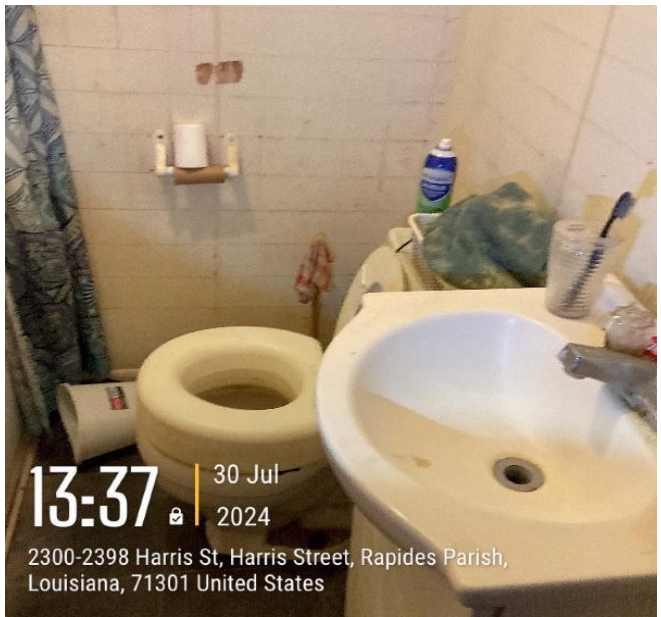






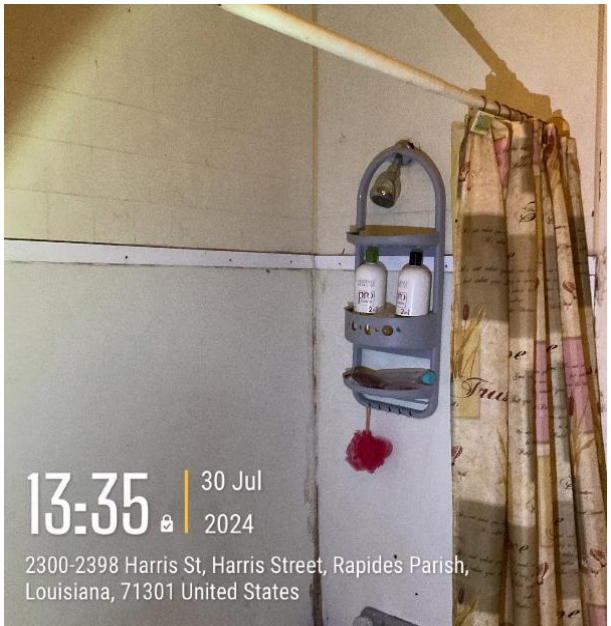
13:39 | 30 Jul 2024

2300-2398 Harris St, Harris Street, Rapides Parish, Louisiana, 71301 United States



13:37 | 30 Jul 2024

2300-2398 Harris St, Harris Street, Rapides Parish, Louisiana, 71301 United States



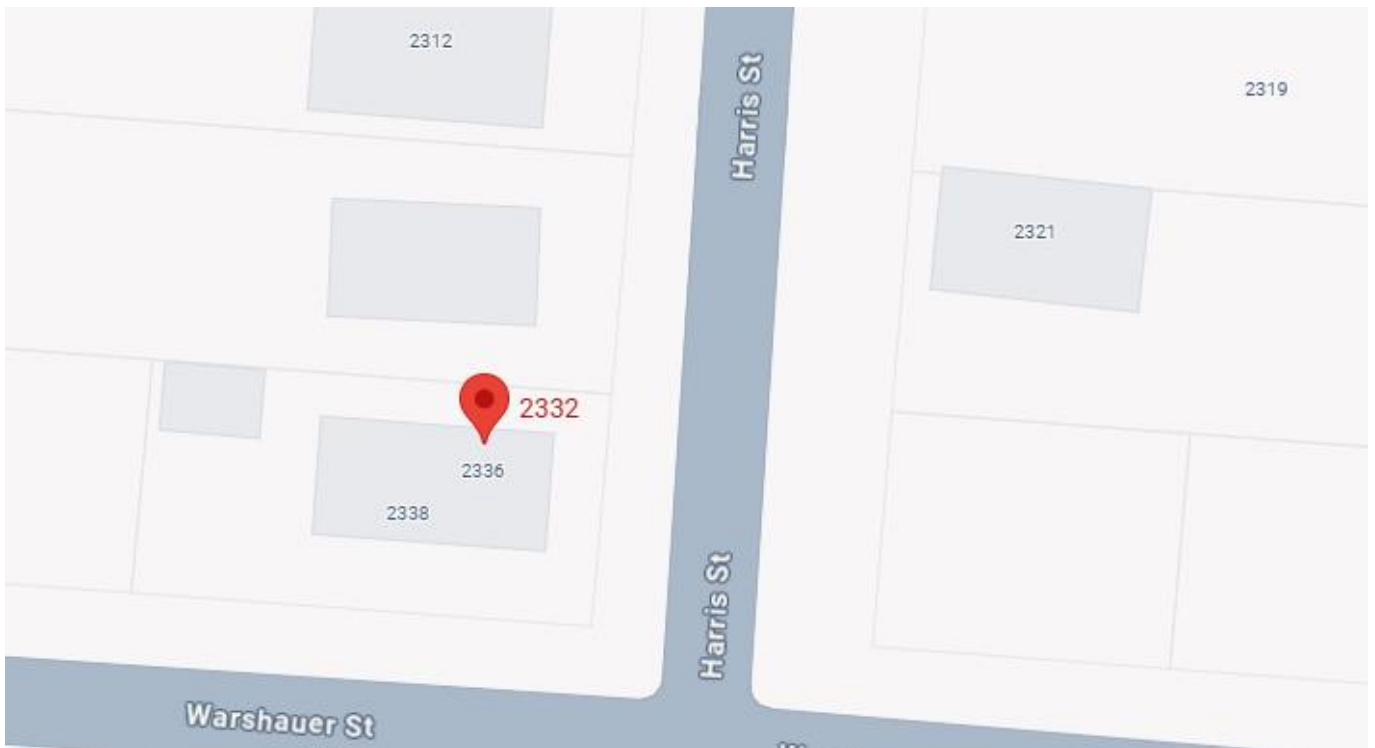
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2300-2398 Harris St, Harris Street, Rapides Parish, Louisiana, 71301 United States



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2300-2398 Harris St, Harris Street, Rapides Parish, Louisiana, 71301 United States





Case Number: CD-15021 Address: 2332 HARRIS STREET Inspection Date: 7/31/2024	Brenda Wallace (318) 880-1980
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Category	Question	Comment	Amount
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	This home has tested positive for lead-based paint.		
Roof	Remove existing roof assembly and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of new 15# felt, continuous ridge vent, shingle laced valleys with ice and water underlayment, new flashing, new roof jacks and new drip edge. Remove deteriorated decking material and replace with material of same thickness or replace an entire section with minimum 7/16" osb. Remove roof jacks and replace existing roof turbines with continuous ridge vent. Use same decking thickness of existing or minimum 7/16" osb decking to cover holes from roof turbines removed. Remove all roofing debris from jobsite. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Weathered Wood shall be the standard color selection or equal. Install per manufacturers specs. Contractor shall be responsible to walk the roof to try to locate soft decking spots that will need to be replaced and tour the inside of the house and attic to determine deteriorated decking and/or water damage spots. Contractor shall also be responsible to verify number of layers to be removed and proper decking method for new installation. Contractor shall include all work listed in the bid price submitted. No change orders for unforeseen layers or inadequate decking will be allowed. *Contractor is responsible to call for a Roof Decking inspection and a Building Final inspection.		

<p>Replace all deteriorated roof rafter framing material in the attic, including any deteriorated exposed rafter tails. New material to be #2 grade or better with size, spans and weight / bearing to be in compliance with current International Residential Code. Prime and paint all new exposed rafter tail materials with color to match existing. In addition, scrape, prime and paint adjoining materials along the entire same side, corner to corner, of the area replaced to minimize the detection of the area of work. All painting color and sheen to match existing. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting. Do not paint over soffit vents. No change orders for rafter replacement material will be allowed. Contractor to factor in possible damage or cracking to ceilings or walls below in the course of repair. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached. **Contractor is responsible to call for a Framing inspection once all framing members are replaced. Contractor is responsible to call for a Building Final inspection once all work is complete.</p>	<p>SEVERAL LOCATIONS</p>	
<p>Remove swag from roof and level. Replace all broken, rotten or deficient rafters, decking, felt and shingles as necessary to correct the roof swag. Reframe in compliance with International Residential Code requirements. Replacement materials shall be minimum 7/16 inches osb decking, 15# felt and 25 year shingles. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Color to match remaining shingles as much as possible. Install per manufacturer specs. Contractor to factor in possible damage or cracking to ceilings or walls below in the course of repair. Contractor shall include all work listed in the bid price submitted. No change orders to replace unforeseen materials will be allowed. *Contractor is responsible to call for a Framing inspection once all framing members are replaced. Contractor is responsible to call for a Building Final inspection once all work is complete.</p>		

Carpentry	<p>Remove damaged existing soffit and/or fascia and replace with new like materials or perforated hardiboard soffit panels. Prime and paint all new materials with color to match existing. In addition, scrape, prime and paint adjoining materials along the entire same side, corner to corner, of the area replaced to minimize the detection of the area of work. All painting color and sheen to match existing. Do not paint over soffit vents.</p> <p>*Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>		
	<p>Install new pre-cast reinforced concrete steps with 3ft minimum landing at exterior side of residence. Any steps over 3 risers high or 30in whichever is greater shall have metal handrail, secured at base in cement, on one side of steps. Handrail to be placed on door latch side of exterior door.</p>	REAR ENTRANCE	
	<p>Remove deteriorated, warped or split porch column(s) and replace with new #2 grade treated lumber or prefinished fiberglass / composite decorative column(s). Column size shall be in compliance with current International Residential Code. Replacement column style shall match any columns that are structurally sound to remain. In the event that the same style for new cannot be matched to existing, all columns shall be replaced with new one uniform style. Treated lumber shall remain unfinished with regard to stain or paint finish.</p>	REMOVE SAG IN FRONT PORCH MAIN BEAM	
	<p>Remove deteriorated, warped or split porch column(s) and replace with new #2 grade treated lumber or prefinished fiberglass / composite decorative column(s). Column size shall be in compliance with current International Residential Code. Replacement column style shall match any columns that are structurally sound to remain. In the event that the same style for new cannot be matched to existing, all columns shall be replaced with new one uniform style. Treated lumber shall remain unfinished with regard to stain or paint finish.</p>	YES, CONSTRUCT 2 NEW TO MATCH [COLUMNS]	

<p>Remove existing exterior door units, replace with new, pre-primed, metal factory hung exterior door unit(s) with 1"x 4" o/s trim. Door type to be as required by code based on location per International Residential Code 302.5.1. Door unit(s) are to have built-in weather-stripping and threshold(s). All hinges, screws, hardware locks and trim to be new. Doors are to be flush and plumb with existing walls. Make all necessary adjustments to frame and walls or rebuild walls and replace frames to ensure adequate, proper and secure fit. Add interior side casing / trim to match existing. Door(s) shall remain in manufacturer's pre-primed finish. Install peep-hole in new door(s) determined by applicants height. Install new entry knob hardware with deadbolt lock(s) on door(s). Lock(s) to be keyed on one side and all keyed alike. *Contractor may be required to install header if one does not exist.</p>	<p>3 TOTAL</p>	
<p>Install new Builders grade aluminum exterior storm door over existing exterior doors. Croft Storm Door, Gibraltar Series, Self-Storing (1/2 door has operable screened opening) Door or equal, mill or white finish. Doors to have 3 1/8" x 1 1/4" thick aluminum frame, four hinges, a standard kickplate, heavy duty pneumatic closer, shatter resistant tempered safety glass, aluminum or vinyl screen, and adjustable bottom sweep. Make all necessary adjustments to frame for proper operation. Irregular door sizes shall be custom made to ensure proper fit in existing door frames.</p>	<p>3 TOTAL</p>	
<p>Remove existing damaged windows, framing and casing / trim to repair or replace with new. The window shall be a complete unit assembly in white finish. Replace damaged framing lumber with new #2 or better grade lumber. Replace with double paned vinyl windows, factory weatherstripped with full locking capabilities. Caulk around frames with acrylic latex caulking to prevent any air infiltration. Include new screens on all operable portion of windows. Irregular size units shall be custom made to fit properly. If exact size to match existing is not available, wall / header / frame modification may be required. At least one window must be of adequate size in each bedroom to meet emergency egress escape requirements of the current International Residential Code. Prep and paint all new wood installed to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>5 WINDOWS</p>	
<p>Re-nail all loose wood siding. Nails to be finishing nails, countersunk and puttied.</p>	<p>SEVERAL LOCATIONS</p>	

<p>Replace damaged existing exterior wall siding, corner boards, window and/or door trim with like materials. Prime and paint all new lumber to match existing. Do not paint over soffit vents. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>SEVERAL LOCATIONS</p>	
<p>Remove existing ceiling surface material. Reframe and strip as necessary. Install new 1/2 inch minimum sheetrock, tape, and mud float all joints and holes with feathered edges. Ceiling to be level with no visible sag or humps so attic bracing or work may be required. Inspection required prior to painting. Prime and paint new sheetrock to match existing color. If removal of crown, base and/or shoe mould is required to replace sheetrock, then the replacement of the same shall also be required. Prime and paint / stain all wood trim to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>REMOVE CEILING TILE AND INSTALL SHEETROCK IN KITCHEN, BATH 1-2</p>	
<p>Remove existing deteriorated subfloor and replace with new framing members and floor decking of #2 standard grade minimum. Framing members and floor decking shall be adequately sized to support the dead and live load weight it holds in accordance with current International Residential Code. If supporting floor is concrete slab, flash patch / shave / grind all cracks at joints to ensure the floor is level and void of humps or cavities. Install patternless sheet vinyl, per manufacturers specifications and warranty, with appropriate thresholds, carpet bars and new finished shoe mold to match existing finish. Installation shall be free of ripples or raised pockets. Edges shall be cut to tightly fit corners, minimal joints and minimize the appearance of the room being unsquare. If vinyl is in visible proximity, the direction of the pattern shall be the same. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>KITCHEN, BATH 1-2, HALL, BEDS 1-3</p>	

	<p>Sheet over existing floor with minimum 3/8in B/C plywood. If supporting floor is concrete slab, flash patch / shave / grind all cracks at joints to ensure the floor is level and void of humps or cavities. Install patternless sheet vinyl, per manufacturers specifications and warranty, with appropriate thresholds, carpet bars and new finished shoe mold to match existing finish. Installation shall be free of ripples or raised pockets. Edges shall be cut to tightly fit corners, minimal joints and minimize the appearance of the room being unsquare. If vinyl is in visible proximity, the direction of the pattern shall be the same. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	KITCHEN, BATH 1-2, HALL, BEDS 1-3	
	<p>Remove existing and replace with new wood threshold(s) at room flooring surface transitions. New threshold shall be nailed or glued, according to manufacturer's specifications.</p>	AS NEEDED	
Electrical	<p>Update existing breaker and fuse boxes as needed. A minimum of 2 blanks shall be left on panel box after all circuits are run. This may involve adding a new breaker box, and using existing breaker box as a junction for service. Installation of new breaker box can be located in place of existing, beside existing, on the exterior opposite side of the existing panel or beside meter base. Removal of the old breaker panel, if a new one is installed, may not be required.</p>		
	<p>Label all circuits on panel box, both new and old, with identification data for its function and location.</p>		
	<p>Install new Builders grade fan forced electrical heat/vent/light ceiling fixture in bathroom with new wall mount switch. New fixture to be on a new separate circuit. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.</p>	BATH 1-2	
	<p>Install new separate (110- 220V) circuits for existing window heat/air conditioner unit (over 5000 btus).</p>	LIVING ROOM, BEDS 1-2-3	
	<p>Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.</p>	KITCHEN, LIVING ROOM, BEDS 1-2-3	



	Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.		
	Install new wall switches and ceiling lights in the living room, the dining room, the bathroom, each bedroom, kitchen and garage/carpot. Fixture type shall be replaced with the same type as existing. Contractor to field verify each. Finish/Color to match existing.	FIXTURE IN KITCHEN, BATH VANITY 1-2, FIXTURE AND SWITCH IN HALL, FAN AND LIGHT KIT BEDS 2-3	
	Install new Builders grade exterior porch light fixture. All fixtures to be controlled by inside switches. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.	3 TOTAL	
	Install new separate 110V circuit duplex receptacle in bathroom and kitchen in compliance with International Residential Code Section 3902.6-8. New circuit to be on ground fault interrupter.	3 TOTAL	
	Remove any existing to install new Builders Grade hard wired smoke detectors in all areas as required in current International Residential Code and manufacturer specifications. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination smoke / carbon monoxide units are acceptable.	5 TOTAL	
	Remove any existing to install new Builders Grade hard wired carbon monoxide detector in all areas as required in current International Residential Code and International Fuel Gas Code and manufacturers specifications. When more than one carbon monoxide detector is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination units smoke / carbon monoxide units are acceptable.	5 TOTAL	
	Remove all standard light bulbs in ceiling fixtures throughout interior and exterior of house (excluding motion lights) and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Contractor to discard or salvage old removed light bulbs so that none are left onsite.	30	
Plumbing	Install supply line cut off valves on all toilet, lavatory and sink lines lacking cut off valves. Replace all leaking or deficient cut off valves with new chrome plated valves. All supply lines and traps shall be equipped with chrome plated escutcheon plates.	KITCHEN AND BATHS 1-2	

<p>Repair/replace all exposed drains under kitchen sink and/or lavatories inside house. This could include basket strainer, tail pieces, continuous waste, p-trap and/or pop-up assemblies. All work shall be in compliance with current International Plumbing Code.</p>	<p>KITCHEN AND BATHS 1-2</p>	
<p>Repair/replace all exposed water supply assembly to fixtures inside house. This may include stops, shut-off valves and flex connectors. Supply lines to be equipped with cut off valves. All work shall be in compliance with current International Plumbing Code.</p>	<p>KITCHEN, BATHS 1-2</p>	
<p>Remove existing toilet and replace with new standard white Builders grade handicap toilet and seat in bathroom. New toilet to have new wax ring base and sealing compound. New toilet shall be standard white and have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet. This work may include slightly relocating toilet and installing waste arm for required clearances.</p>	<p>BATHS 1-2</p>	
<p>Rehang lavatory sink in bathroom. Add bracing in wall as necessary to ensure firm support for lavatory. Repair and finish wall, as needed, if framing is new.</p>	<p>SECURE VANITIES IN BATH 1-2 TO WALL</p>	
<p>Remove existing tub, faucet and drain assembly, replace with new Builders grade one piece standard (or 4 piece kit if necessary for accessibility) white prefabricated 3ft x 5ft fiberglass tub/shower combination, complete with brass waste and tub faucet and shower head. (Tub width may have to be 32 inch to match existing available opening). Installation shall be in compliance with the current International Residential Code and International Plumbing Code. Faucet finish to be brass or chrome. *If existing wall tile must be removed for adequate fit and/or new end cap stud wall needed, frame / surface / finish as needed to match existing walls. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.</p>	<p>BATH 1-2, COMPLETE UNITS</p>	
<p>Install standard Builders grade white vinyl tub surround kit around bathtub area. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.</p>	<p>INCLUDED WITH NEW TUB</p>	
<p>Remove existing tub faucet and shower head to replace with new Builders grade. New faucet to be of cast metal construction, brass valve stems with replaceable neopryne washers and removable seats. Faucet finish to be brass or chrome.</p>	<p>INCLUDED WITH NEW TUB</p>	

<p>Remove existing kitchen sink and faucet to replace/install new Builders grade 7 inch deep double compartment stainless steel sink and trim in kitchen. Secure per manufacturer feets specs. Sink faucet to be chrome or brass finish, cast metal with brass valve stems with replaceable neoprene washers and removable seats. Strainer basket(s) to be stainless steel. Wastes to be pvc. Supply lines to be chrome plated brass with cut off valves, complete with escutcheon plates.</p>		
<p>Install washing machine catch-a-drip drain in wall with hot and cold water supply. Repair any surrounding wall area affected to match existing.</p>		
<p>Remove existing to install new adequately sized (but not less than 40 gallon) gas water heater per manufacturer specifications and in compliance with the current International Plumbing Code, International Fuel Gas Code and International Residential Code. Water heater to have gas cock and water inlet cut off valves. Rheem Energy Miser or agency approved equal. Vent water heater to exterior as required by code. If unit is installed in attic, bracing, service platforms and walkways shall be required. If there is adequate space, the old water heater may remain in place as long as it is drained and disabled. Contractor shall be responsible to confirm adequate space within existing current water heater location for the replacement of new, as size may be different than original tank. If new unit must be relocated, Contractor shall budget for relocation in price submittal because a change order will not be allowed. *Contractor to have scheduled a GSW Repair/Replace inspection for immediately after water heater is replaced.</p>		
<p>Vent water heater to exterior as required by the International Fuel Gas Code.</p>		
<p>Remove/replace customer sewer service line from clean-out at drains lines to tap. Installation shall include a clean-out, if one does not exist.</p>	<p>EXPOSED DRAINS AND VENTS ON RIGHT SIDE OF HOUSE</p>	
<p>Install new single 35,000 BTU, Monterey Model #35GV3 gas forced vented wall furnace (or agency approved equal) vented thru roof as required by code. Furnace to have built in thermostat. Install per International Fuel Gas Code and manufacturer specs and with gas cut off valve at floor level. *Contractor to have scheduled a GSW Repair/Replace inspection for immediately after furnace is installed.</p>	<p>REMOVE EXISTION GAS SPACE HEATERS [BEDS 2-3] AND INSTALL NEW WALL HUNG GAS HEATERS</p>	

Paint any newly hung sheetrock in other scopes and/or areas replaced due to physical damage such as holes and severe water stains. \*Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.

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TOTAL \$

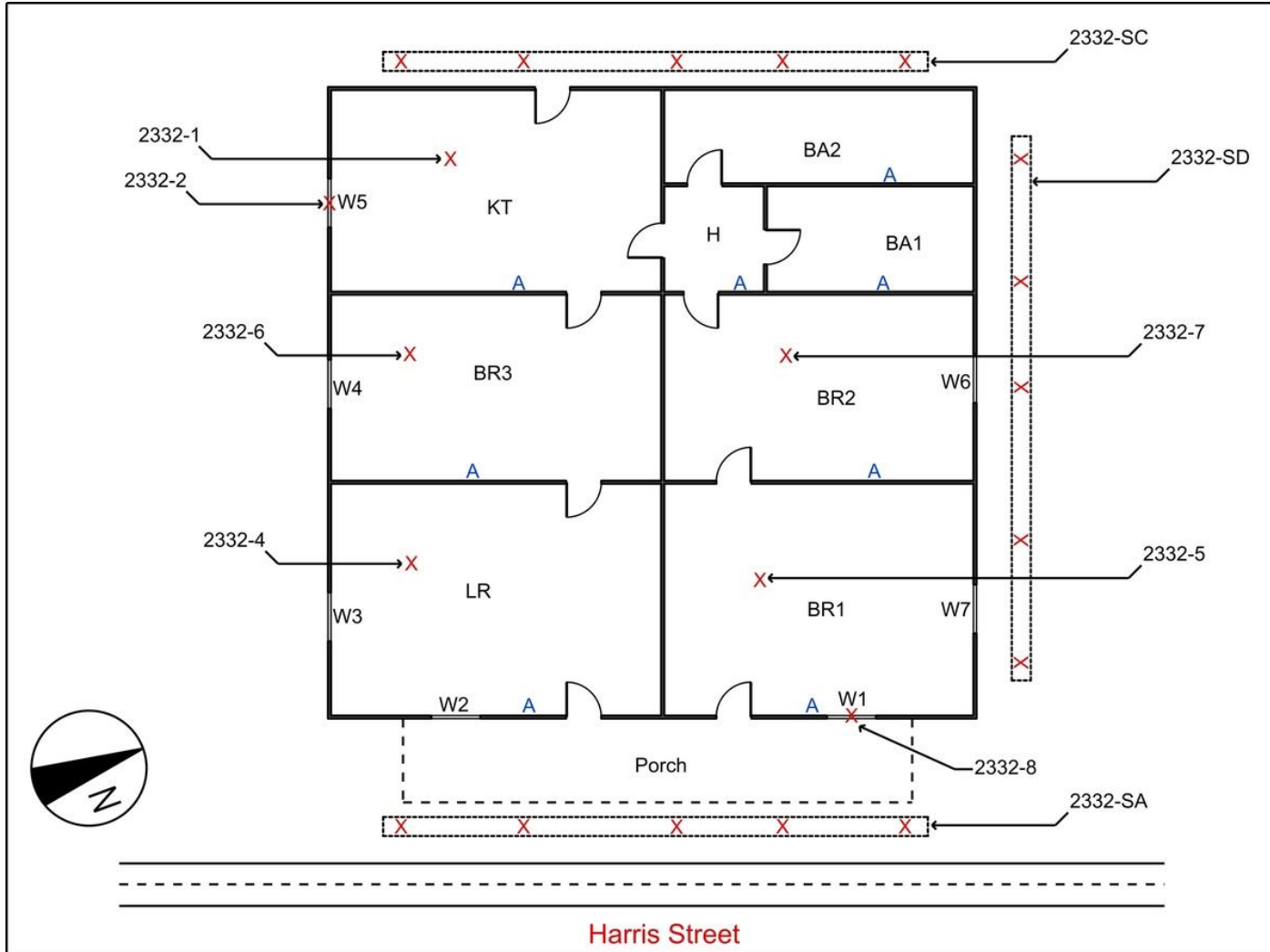
## 2.1 Scope of Work

Base Scope 2332 Harris Street Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Bedroom 1	Door Casing	Wood	Black	2	Remove and Replace
Bedroom 2	Window Sash, Sill, Casing, and Frame	Wood	White	1 Window	<sup>1</sup> Remove and Replace
Bedroom 2	Door Casing	Wood	White	2	Remove and Replace
Kitchen	Door Casing	Wood	Black	2	Remove and Replace
Kitchen	Door Frame	Wood	White	2	Remove and Replace
Bedroom 3	Door Casing	Wood	Black	2	Remove and Replace
Bedroom 3	Door Frame	Wood	Black	2	Remove and Replace
Living Room	Window Sash, Sill, Casing, and Frame	Wood	White	3 Windows	<sup>1</sup> Remove and Replace
Exterior Wall A	Wall	Wood	White	250 SF	Paint Stabilization
Kitchen	Floor	-	-	-	Specialized Cleaning
Kitchen	Windowsill 5	-	-	-	Specialized Cleaning
Living Room	Floor	-	-	-	Specialized Cleaning
Bedroom 1	Floor	-	-	-	Specialized Cleaning

<sup>1</sup> Removal will include window casings and sills of impacted window system's corresponding interior/exterior locations.

Bedroom 2	Floor	-	-	-	Specialized Cleaning
Bedroom 1	Windowsill 1	-	-	-	Specialized Cleaning
<b>Alternate Scope 2332 Harris Street Alexandria, LA</b>					
<b>Room/Area</b>	<b>Component</b>	<b>Substrate</b>	<b>Color</b>	<b>Estimated Quantity</b>	<b>Treatment</b>
Hall	Door Casing	Wood	White	4	Remove and Replace
Living Room	Door Casing	Wood	Black	2	Remove and Replace
Living Room	Door Frame	Wood	Black	2	Remove and Replace
Living Room	Baseboard	Wood	White	40 LF	Remove and Replace
Kitchen	Window Sash, Sill, Casing, and Frame	Wood	White	1 Window	<sup>1</sup> Remove and Replace
Exterior Wall A	Window Sash, Sill, Casing, and Frame	Wood	White	2 Windows	<sup>1</sup> Remove and Replace
Porch	Ceiling	Wood	White	40 SF	Paint Stabilization
Porch	Wall Cap	Wood	White	50 SF	Paint Stabilization



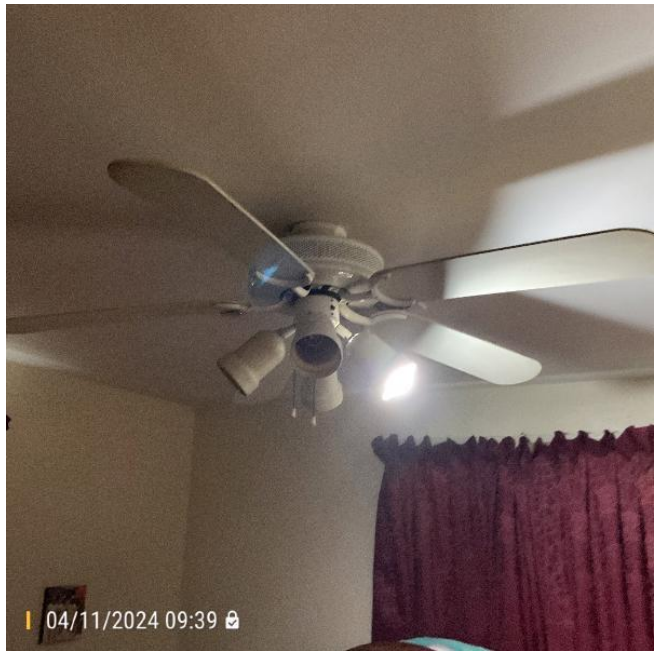
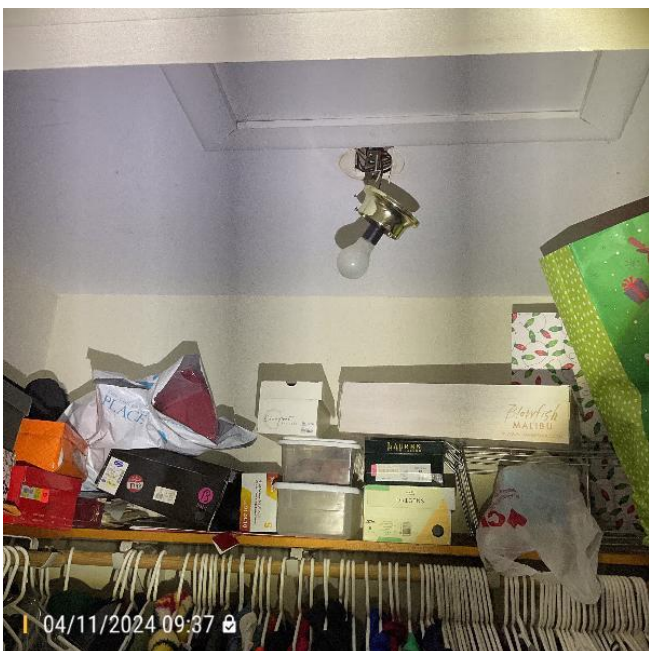


2332 Harris Street  
Alexandria, LA

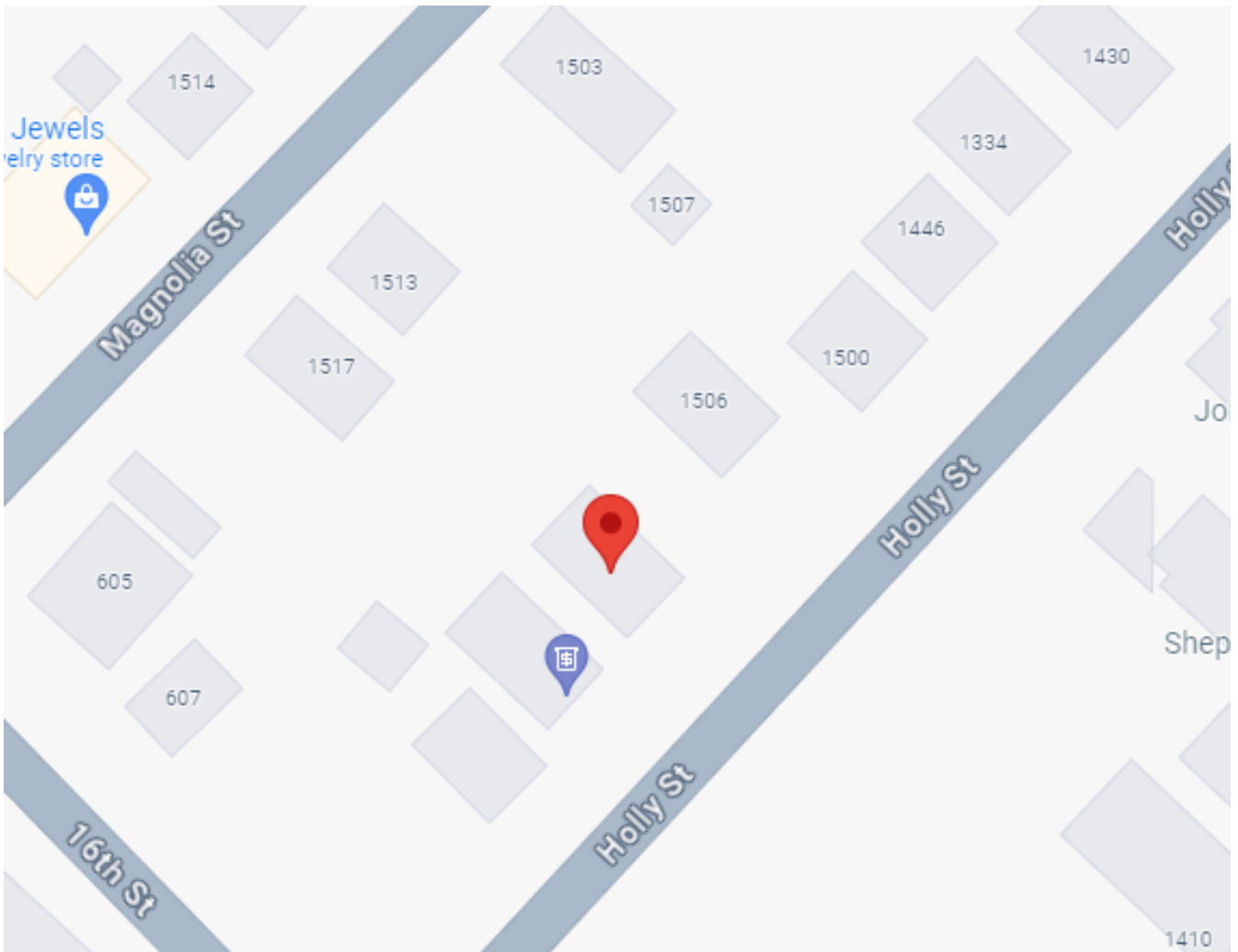
Lead Inspection/Risk Assessment  
Site Drawing

MPN #: **CD-15007**

Street Address: **1516 Holly Street**







**Case Number: CD-15007**  
**Address: 1516 HOLLY STREET**  
**Inspection Date: 4/25/2024**

**Carrie Taylor**  
**(318) 229-1209**

Category	Question	Comment	Amount
Carpentry	Remove damaged existing soffit and/or fascia and replace with new like materials or perforated hardiboard soffit panels. Prime and paint all new materials with color to match existing. In addition, scrape, prime and paint adjoining materials along the entire same side, corner to corner, of the area replaced to minimize the detection of the area of work. All painting color and sheen to match existing. Do not paint over soffit vents. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	VINYL AND TRIM COIL	
	Remove existing exterior door units, replace with new, pre-primed, metal factory hung exterior door unit(s) with 1"x 4" o/s trim. Door type to be as required by code based on location per International Residential Code 302.5.1. Door unit(s) are to have built-in weather-stripping and threshold(s). All hinges, screws, hardware locks and trim to be new. Doors are to be flush and plumb with existing walls. Make all necessary adjustments to frame and walls or rebuild walls and replace frames to ensure adequate, proper and secure fit. Add interior side casing / trim to match existing. Door(s) shall remain in manufacturer's pre-primed finish. Install peep-hole in new door(s) determined by applicants height. Install new entry knob hardware with deadbolt lock(s) on door(s). Lock(s) to be keyed on one side and all keyed alike. *Contractor may be required to install header if one does not exist.	FRONT AND RIGHT SIDE ENTRANCE DOOR UNITS	
	Remove existing exterior door hardware and replace with new Builders grade entry knob hardware and deadbolt lock. Finish to match existing. Deadbolt lock(s) to be keyed on one side. All lock(s) to be keyed alike. Bore hole for deadbolt, if one does not currently exist.	INCLUDED WITH EXTERIOR DOOR UNIT	
	Remove existing and replace with new aluminum threshold(s) with weatherstripping on exterior door(s). New weather-stripping shall be approximately 3/4in width rigid aluminum with vinyl bead on the end, nailed to the inside and bead pressing firmly against the door. Jamb shall be tightened or caulked in such a manner as to prevent outside air from entering residence.	INCLUDED WITH EXTERIOR DOOR UNIT	
	Install new Builders grade aluminum exterior storm door over existing exterior doors. Croft Storm Door, Gibraltar Series, Self-Storing (1/2 door has operable screened opening) Door or equal, mill or white finish. Doors to have 3 1/8" x 1 1/4" thick aluminum frame, four hinges, a standard kickplate, heavy duty pneumatic closer, shatter resistant tempered safety glass, aluminum or vinyl screen, and adjustable bottom sweep. Make all necessary adjustments to frame for proper operation. Irregular door sizes shall be custom made to ensure proper fit in existing door frames.	FRONT AND RIGHT SIDE ENTRANCES	

	Re-nail all loose wood siding. Nails to be finishing nails, countersunk and puttied.	VINYL	
	Remove existing interior door and replace with new pre-primed masonite interior hollow core door unit & trim. On all newly installed doors, all hinges, screws, locks, hardware and trim to be new. Hardware color to match existing. Doors are to be flush, plumb and balanced with existing walls. Make all necessary adjustments to frame and/or walls and replace frames to ensure adequate, proper and secure fit. Doors to remain in manufacturers pre-primed finish.	CLOSET BI-FOLD UNIT IN HALL , 2 BED ROOM DOOR UNITS, 1 PASSAGE IN BATH[CENTER DOOR UNIT]	
	Replace all interior door locksets with Builders grade equivalent. Use privacy locksets on bedroom and bathroom doors. Use passage locksets on closets. Door hardware color shall match existing.	4 TOTAL	
Electrical	Label all circuits on panel box, both new and old, with identification data for its function and location.		
	Install new Builders grade fan forced electrical heat/vent/light ceiling fixture in bathroom with new wall mount switch. New fixture to be on a new separate circuit. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.	2 TOTAL	
	Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.	KITCHEN APPLIANCES, BED 1, TV LOCATION, INSTALL 2 IN LIVING ROOM	
	Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.	ASURE ALL RECEPTS ARE IN PROPER OPERATING CONDITION	
	Install new wall switches and ceiling lights in the living room, the dining room, the bathroom, each bedroom, kitchen and garage/carpot. Fixture type shall be replaced with the same type as existing. Contractor to field verify each. Finish/Color to match existing.	INSTALL FAN/LIGHT KITS IN BED 1, 2, 3, 4, INSTALL 2 FIXTURES IN HALL	
	Install new separate 110V circuit duplex receptacle in bathroom and kitchen in compliance with International Residential Code Section 3902.6-8. New circuit to be on ground fault interrupter.	REPLACE EXISTING IN BATH AND KITCHEN	
	Remove any existing to install new Builders Grade hard wired smoke detectors in all areas as required in current International Residential Code and manufacturer specifications. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination smoke / carbon monoxide units are acceptable.	5 TOTAL	

	Remove any existing to install new Builders Grade hard wired carbon monoxide detector in all areas as required in current International Residential Code and International Fuel Gas Code and manufacturers specifications. When more than one carbon monoxide detector is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination units smoke / carbon monoxide units are acceptable.	5 TOTAL	
	Remove all standard light bulbs in ceiling fixtures throughout interior and exterior of house (excluding motion lights) and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Contractor to discard or salvage old removed light bulbs so that none are left onsite.	38 TOTAL	
Plumbing	Install supply line cut off valves on all toilet, lavatory and sink lines lacking cut off valves. Replace all leaking or deficient cut off valves with new chrome plated valves. All supply lines and traps shall be equipped with chrome plated escutcheon plates.	BATHS AND KITCHEN	
	Repair/replace all exposed drains under kitchen sink and/or lavatories inside house. This could include basket strainer, tail pieces, continuous waste, p-trap and/or pop-up assemblies. All work shall be in compliance with current International Plumbing Code.	BATHS AND KITCHEN	
	Repair/replace all exposed water supply assembly to fixtures inside house. This may include stops, shut-off valves and flex connectors. Supply lines to be equipped with cut off valves. All work shall be in compliance with current International Plumbing Code.	BATHS AND KITCHEN	
	Remove existing toilet and replace with new standard white Builders grade handicap toilet and seat in bathroom. New toilet to have new wax ring base and sealing compound. New toilet shall be standard white and have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet. This work may include slightly relocating toilet and installing waste arm for required clearances.	2 TOTAL	
	Remove existing tub faucet and shower head to replace with new Builders grade. New faucet to be of cast metal construction, brass valve stems with replaceable neopryne washers and removable seats. Faucet finish to be brass or chrome.		
	Remove existing tub and/or sink drain assembly, complete with waste. Drain cover to be brass or chrome to match existing.	BATH 1	

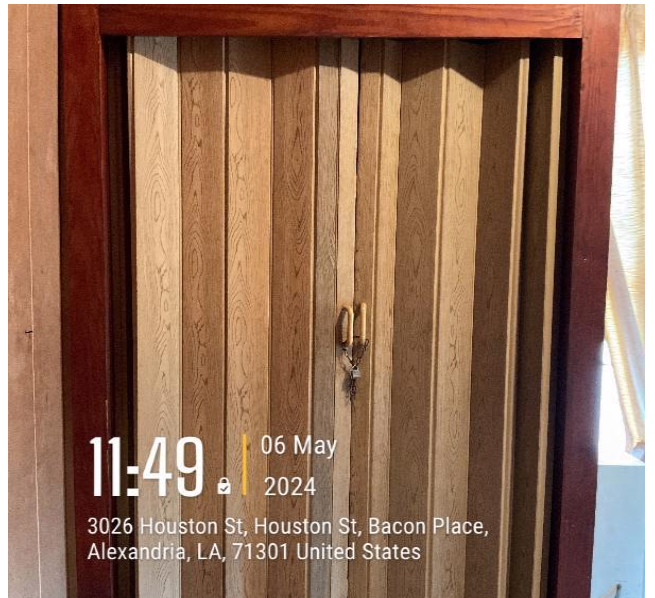
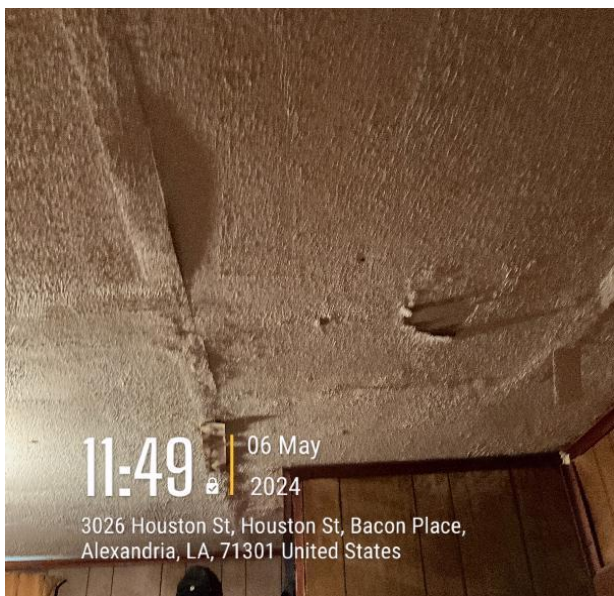
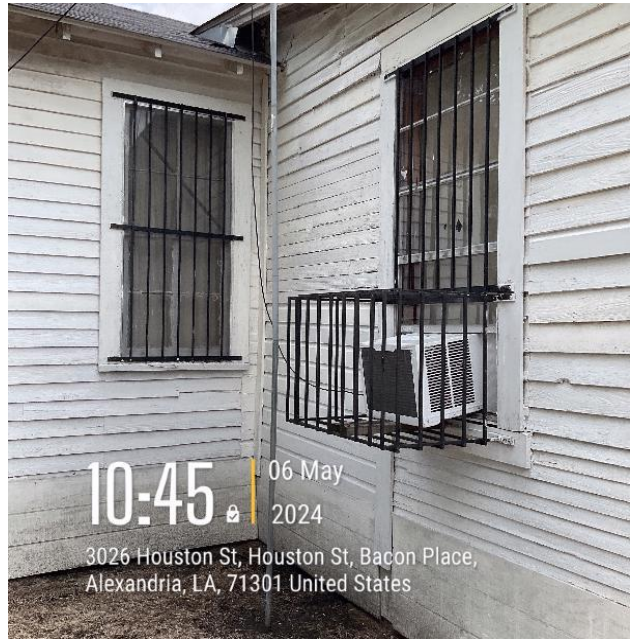
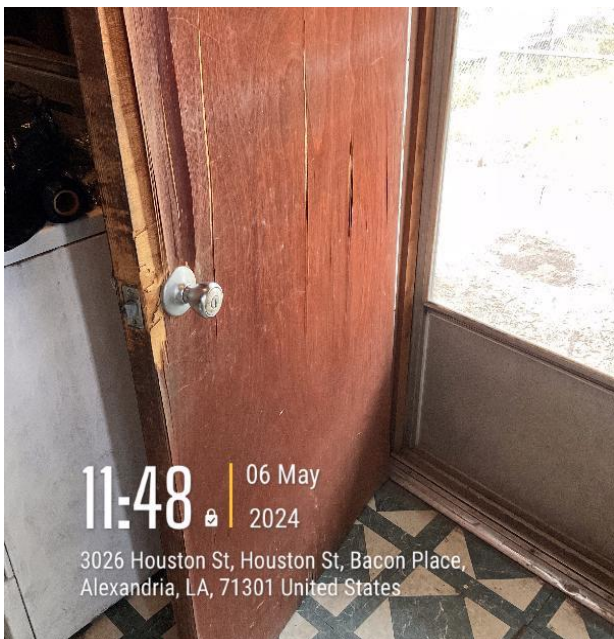
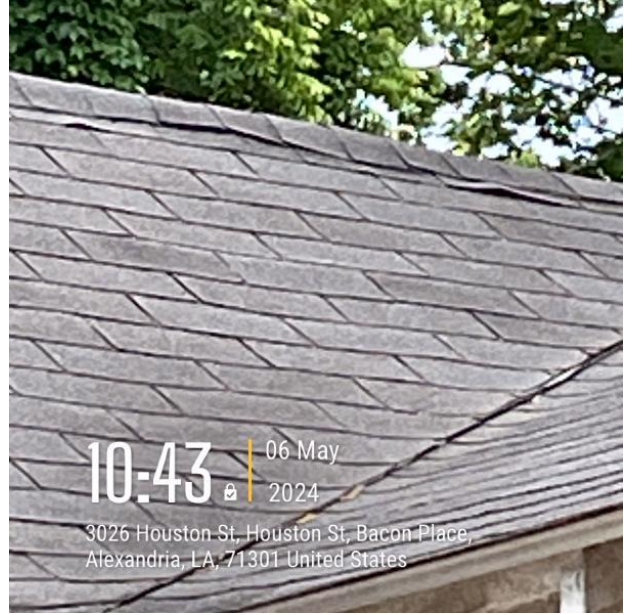
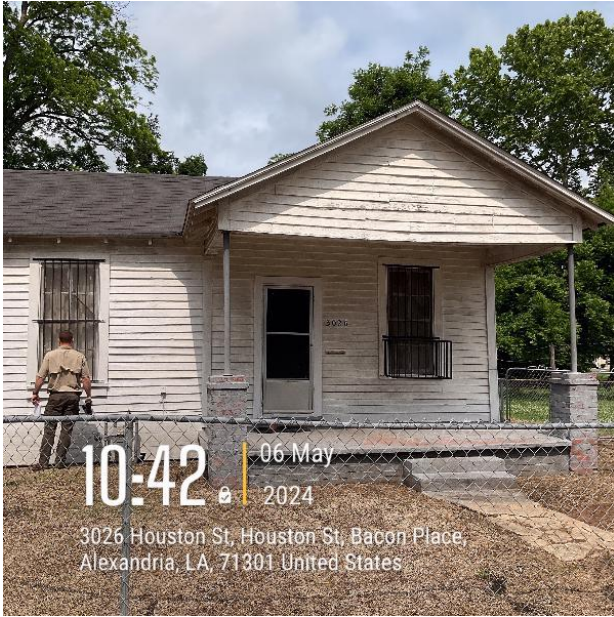
	Remove existing kitchen sink and faucet to replace/install new Builders grade 7 inch deep double compartment stainless steel sink and trim in kitchen. Secure per manufacturer feets specs. Sink faucet to be chrome or brass finish, cast metal with brass valve stems with replaceable neoprene washers and removable seats. Strainer basket(s) to be stainless steel. Wastes to be pvc. Supply lines to be chrome plated brass with cut off valves, complete with escutcheon plates.		
	Install new 18in chrome plated grab bar in bathroom in compliance with current ANSI A117.1. Bar to be firmly secured by minimum 1 1/4in screws to studs or sufficient blocking. Repair and finish wall if bracing is added.	USE ADA GUIDELINES	
Mechanical	Repair existing central heating and cooling system to operable working condition. This could include thermostat, plenum, compressor, duct work, registers, etc. Licensed Mechanical Contractor to determine repairs necessary.	HANG ALL EXISTING DUCTS	
Painting	Paint shall be mixed and applied in accordance with manufacturers specifications, including temperature recommendations. Paint brand to be Benjamin Moore or equal. Previously painted/stained wood shall be thoroughly cleansed of peeling, blistered or razed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All nail holes shall be filled, sanded and covered. All surfaces shall be smooth and clean prior to painting/staining. All wood shall receive enough coats to provide adequate coverage but no less than two (2) full strength coats. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Prime and paint exposed side of materials to match existing. Use best practices to prevent splatter, dripping or spray onto other surfaces and clean / remove any created. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.	PAINT NEW EXTERIOR ENTRANCE STEEL DOORS TO MATCH EXISTING	
	Repaint / restrain existing and/or new molding, casing & trim to match existing walls to match existing trim. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	IF NEW SHOE BASE IS INSTALLED	
	Repaint / restrain existing and/or new interior doors and casing trim. Doors to be covered with product on both sides of door and all 4 edges of door thickness. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	TO MATCH EXISTING	



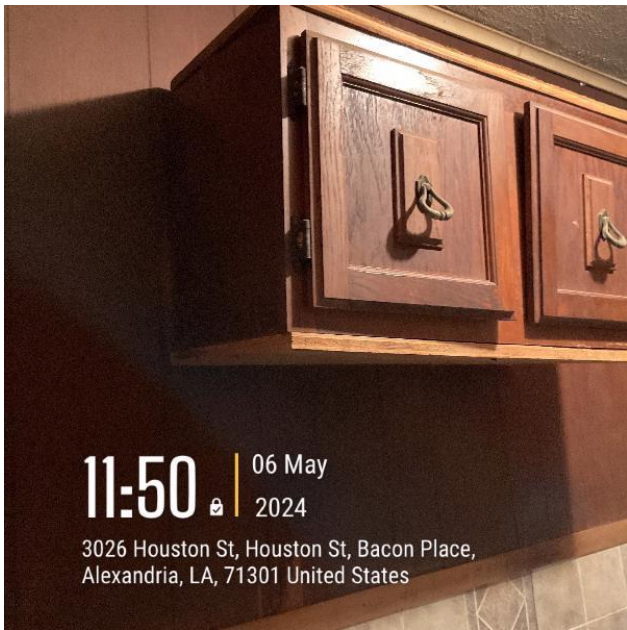
<p>Exterior/Interior Paint/Stain Specification (LEAD)</p>	<p>Paint shall be mixed and applied in accordance with manufacturers specifications, including temperature recommendations. Paint brand to be Benjamin Moore or equal. Previously painted/stained wood shall be thoroughly cleansed of peeling, blistered or razed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All nail holes shall be filled, sanded and covered. All surfaces shall be smooth and clean prior to painting/staining. All wood shall receive enough coats to provide adequate coverage but no less than two (2) full strength coats. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Prime and paint exposed side of materials to match existing. Use best practices to prevent splatter, dripping or spray onto other surfaces and clean / remove any created. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.</p>		
		<b>SUBTOTAL \$</b>	
<p><b>ADD ALTERNATE</b></p>	<p>Sheet over existing floor with minimum 3/8in B/C plywood. If supporting floor is concrete slab, flash patch / shave / grind all cracks at joints to ensure the floor is level and void of humps or cavities. Install patternless sheet vinyl, per manufacturers specifications and warranty, with appropriate thresholds, carpet bars and new finished shoe mold to match existing finish. Installation shall be free of ripples or raised pockets. Edges shall be cut to tightly fit corners, minimal joints and minimize the appearance of the room being unsquare. If vinyl is in visible proximity, the direction of the pattern shall be the same. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>OVERLAY ENTIRE HOUSE APPROX 2300 SQ FT, REUSE SHOE BASE IF POSSIBLE, BUT REPLACE IF BROKEN, PAINT AND OR STAIN TO MATCH EXISTING</p>	
		<b>ADD ALTERNATES SUBTOTAL \$</b>	
		<b>TOTAL \$</b>	

MPN #: **CD-15070**

Street Address: **3026 Houston Street**







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2024

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Alexandria, LA, 71301 United States



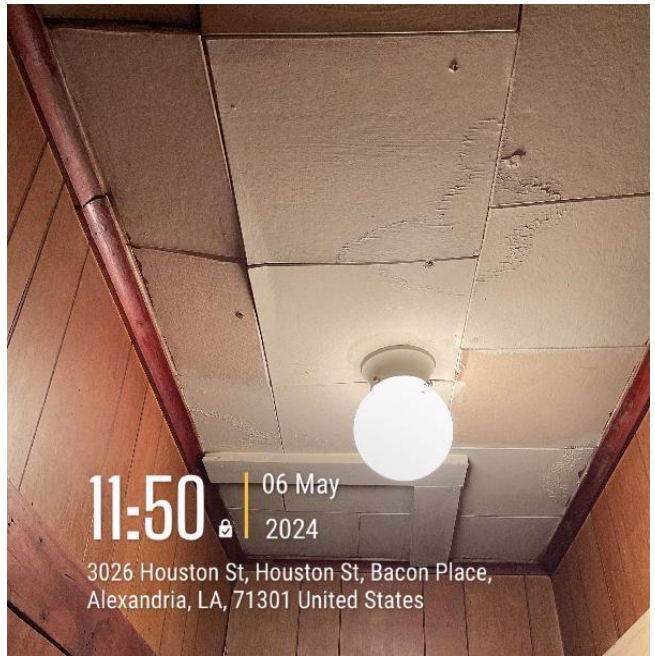
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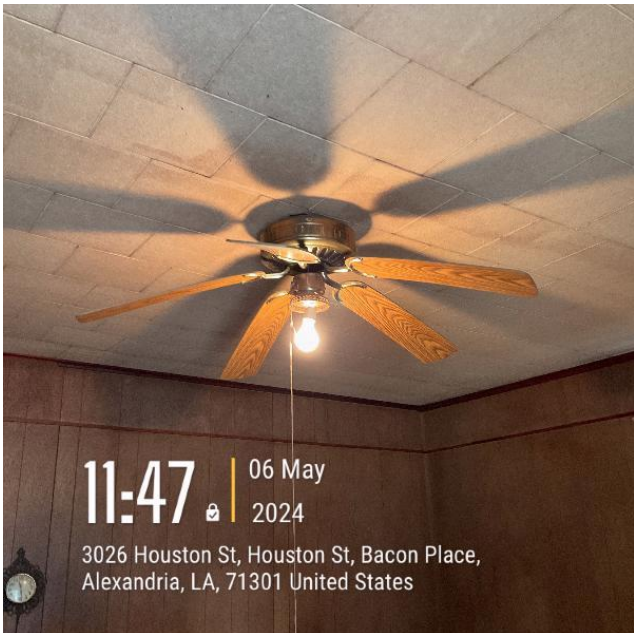
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Alexandria, LA, 71301 United States



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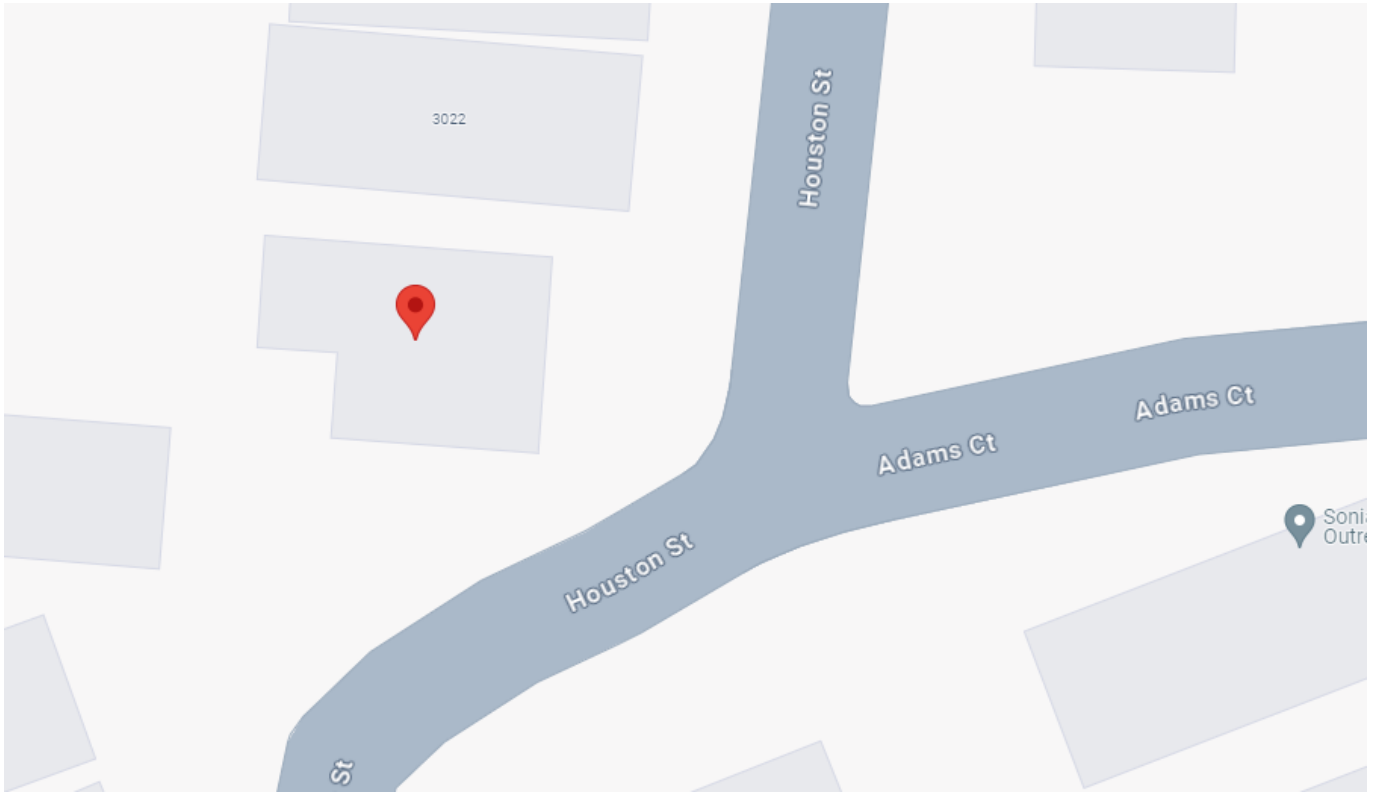
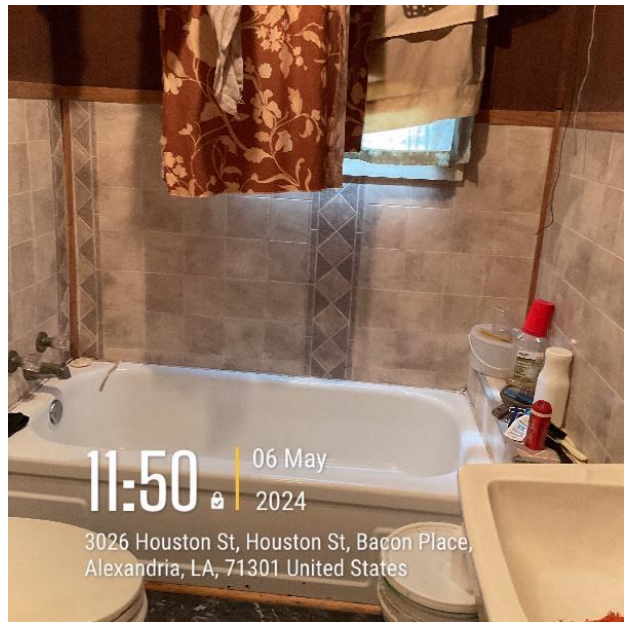
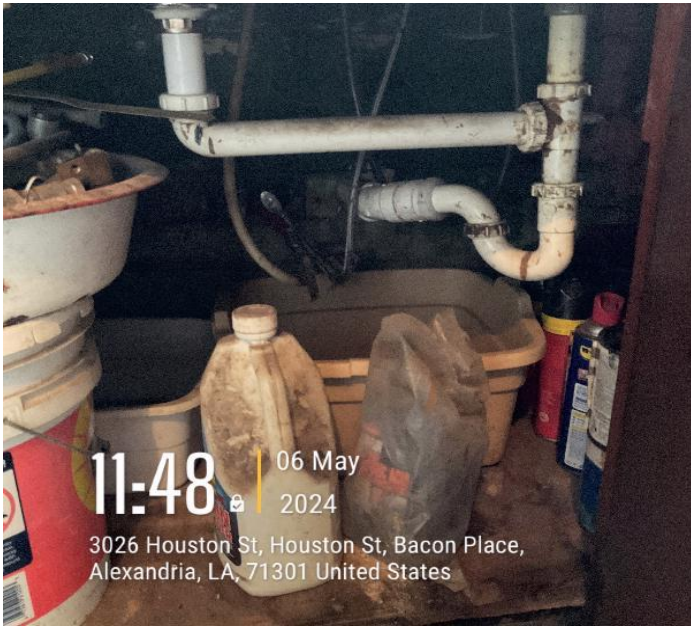
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Alexandria, LA, 71301 United States



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2024

3026 Houston St, Houston St, Bacon Place,  
Alexandria, LA, 71301 United States





**Case Number: CD-15070**  
**Address: 3026 HOUSTON STREET**  
**Inspection Date: 9/27/2024**

**Michael Gaines**  
**(318) 619-0504**

Category	Question	Comment	Amount
	This home has tested positive for lead-based paint.		
Roof	<p>Remove existing roof assembly and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of new 15# felt, continuous ridge vent, shingle laced valleys with ice and water underlayment, new flashing, new roof jacks and new drip edge. Remove deteriorated decking material and replace with material of same thickness or replace an entire section with minimum 7/16" osb. Remove roof jacks and replace existing roof turbines with continuous ridge vent. Use same decking thickness of existing or minimum 7/16" osb decking to cover holes from roof turbines removed. Remove all roofing debris from jobsite. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Weathered Wood shall be the standard color selection or equal. Install per manufacturers specs. Contractor shall be responsible to walk the roof to try to locate soft decking spots that will need to be replaced and tour the inside of the house and attic to determine deteriorated decking and/or water damage spots. Contractor shall also be responsible to verify number of layers to be removed and proper decking method for new installation. Contractor shall include all work listed in the bid price submitted. No change orders for unforeseen layers or inadequate decking will be allowed. *Contractor is responsible to call for a Roof Decking inspection and a Building Final inspection.</p>		
	<p>Replace all deteriorated roof rafter framing material in the attic, including any deteriorated exposed rafter tails. New material to be #2 grade or better with size, spans and weight / bearing to be in compliance with current International Residential Code. Prime and paint all new exposed rafter tail materials with color to match existing. In addition, scrape, prime and paint adjoining materials along the entire same side, corner to corner, of the area replaced to minimize the detection of the area of work. All painting color and sheen to match existing. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting. Do not paint over soffit vents. No change orders for rafter replacement material will be allowed. Contractor to factor in possible damage or cracking to ceilings or walls below in the course of repair. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached. **Contractor is responsible to call for a Framing inspection once all framing members are replaced. Contractor is responsible to call for a Building Final inspection once all work is complete.</p>	2	

	<p>Remove swag from roof and level. Replace all broken, rotten or deficient rafters, decking, felt and shingles as necessary to correct the roof swag. Reframe in compliance with International Residential Code requirements. Replacement materials shall be minimum 7/16 inches osb decking, 15# felt and 25 year shingles. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Color to match remaining shingles as much as possible. Install per manufacturer specs. Contractor to factor in possible damage or cracking to ceilings or walls below in the course of repair. Contractor shall include all work listed in the bid price submitted. No change orders to replace unforeseen materials will be allowed. *Contractor is responsible to call for a Framing inspection once all framing members are replaced. Contractor is responsible to call for a Building Final inspection once all work is complete.</p>	RIGHT REAR LOW PITCH ROOF	
Carpentry	<p>Remove existing flat roof areas and replace with SBS Self-adhesive Modified Rolled Roofing. Remove deteriorated decking material and replace with material of same thickness or replace an entire section with minimum 7/16 osb. Remove all roofing debris from jobsite. Weathered Wood shall be the standard color selection to match new 3 tab shingle roof color. CertainTeed Flintlastic SA CAP or equal product (ask Program Manager for technical product data sheet). Install per manufacturers specs. Contractor shall be responsible to walk the roof to try to locate soft decking spots that will need to be replaced and tour the inside of the house and attic to determine deteriorated decking and/or water damage spots. Contractor shall also be responsible to verify number of layers to be removed and proper decking method for new installation. Contractor shall include all work listed in the bid price submitted. No change orders for unforeseen layers or inadequate decking will be allowed. *Contractor is responsible to call for a Roof Decking inspection and a Building Final inspection.</p>	INSTALL RUBBER MODIFIED ROOFING ON LOW PITCH ROOF AND REAR STOOP, 6X10 AND 4X14	
	<p>If porch is greater than 30in above grade, install pre-finished aluminum / metal handrail, minimum of 36in high, secured at floor, columns and/or exterior wall. Installed in compliance with current International Residential Code. Century Group Model #P11047SR or equal. Modify onsite to fit length.</p>		



<p>Remove existing exterior door units, replace with new, pre-primed, metal factory hung exterior door unit(s) with 1"x 4" o/s trim. Door type to be as required by code based on location per International Residential Code 302.5.1. Door unit(s) are to have built-in weather-stripping and threshold(s). All hinges, screws, hardware locks and trim to be new. Doors are to be flush and plumb with existing walls. Make all necessary adjustments to frame and walls or rebuild walls and replace frames to ensure adequate, proper and secure fit. Add interior side casing / trim to match existing. Door(s) shall remain in manufacturer's pre-primed finish. Install peep-hole in new door(s) determined by applicants height. Install new entry knob hardware with deadbolt lock(s) on door(s). Lock(s) to be keyed on one side and all keyed alike. *Contractor may be required to install header if one does not exist.</p>	<p>REAR ENTRANCE</p>	
<p>Remove existing exterior door hardware and replace with new Builders grade entry knob hardware and deadbolt lock. Finish to match existing. Deadbolt lock(s) to be keyed on one side. All lock(s) to be keyed alike. Bore hole for deadbolt, if one does not currently exist.</p>	<p>INCLUDED WITH DOOR UNIT; REAR ENTRANCE</p>	
<p>Remove existing and replace with new aluminum threshold(s) with weatherstripping on exterior door(s). New weather-stripping shall be approximately 3/4in width rigid aluminum with vinyl bead on the end, nailed to the inside and bead pressing firmly against the door. Jamb shall be tightened or caulked in such a manner as to prevent outside air from entering residence.</p>	<p>INCLUDED WITH DOOR UNIT; REAR ENTRANCE</p>	
<p>Install new Builders grade aluminum exterior storm door over existing exterior doors. Croft Storm Door, Gibraltar Series, Self-Storing (1/2 door has operable screened opening) Door or equal, mill or white finish. Doors to have 3 1/8" x 1 1/4" thick aluminum frame, four hinges, a standard kickplate, heavy duty pneumatic closer, shatter resistant tempered safety glass, aluminum or vinyl screen, and adjustable bottom sweep. Make all necessary adjustments to frame for proper operation. Irregular door sizes shall be custom made to ensure proper fit in existing door frames.</p>	<p>FRONT AND REAR</p>	

<p>Remove existing damaged windows, framing and casing / trim to repair or replace with new. The window shall be a complete unit assembly in mill finish. Replace damaged framing lumber with new #2 or better grade lumber. Replace with double paned aluminum windows, factory weatherstripped with full locking capabilities. Caulk around frames with acrylic latex caulking to prevent any air infiltration. Include new screens on all operable portion of windows. Irregular size units shall be custom made to fit properly. If exact size to match existing is not available, wall / header / frame modification may be required. At least one window must be of adequate size in each bedroom to meet emergency egress escape requirements of the current International Residential Code. Prep and paint all new wood installed to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>12 TOTAL</p>	
<p>Replace and/or rescreen existing damaged screens with new aluminum or vinyl screens on applicable exterior windows (including those that may be located on a screened in porch) except for those windows containing air conditioners. Screen frames, channels and hooks shall also be aluminum. NO nails may be used to hold screens in place.</p>	<p>INCLUDED WITH NEW WINDOW UNITS</p>	
<p>Install 22in x 30in attic access scuttle hole or larger, enough to allow passage for the largest appliance located in the attic. Install 1in x 4in pine trim and 3/4in plywood to cover opening. Paint opening cover to match existing ceiling. Weather strip and insulate scuttle hole cover. *Scuttle hole to be used in areas where drop-down attic stair would not be accessible.</p>	<p>ONE IS EXISTING JUST NEEDS TO BE CORRECT SIZE</p>	
<p>Remove, replace and/or repair all broken, cracked, or deficient sheetrock in walls and ceilings. Sheetrock thickness to match existing but no less than 3/8 inch thick. Tape and mud float all joints with feathered edges. Fill all holes. Sand and texture sheetrock to match adjacent finish. Inspection required prior to painting. Prime and paint new sheetrock to match existing color. If removal of crown, base and/or shoe mould is required to replace sheetrock, then the replacement of the same shall also be replaced with new. Prime and paint / stain all new wood trim to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>ALL DAMAGED SHEETROCK</p>	

<p>Remove existing ceiling surface material. Reframe and strip as necessary. Install new 1/2 inch minimum sheetrock, tape, and mud float all joints and holes with feathered edges. Ceiling to be level with no visible sag or humps so attic bracing or work may be required. Inspection required prior to painting. Prime and paint new sheetrock to match existing color. If removal of crown, base and/or shoe mould is required to replace sheetrock, then the replacement of the same shall also be required. Prime and paint / stain all wood trim to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>HALL, BATH</p>	
<p>Remove existing interior door and replace with new pre-primed masonite interior hollow core door unit &amp; trim. On all newly installed doors, all hinges, screws, locks, hardware and trim to be new. Hardware color to match existing. Doors are to be flush, plumb and balanced with existing walls. Make all necessary adjustments to frame and/or walls and replace frames to ensure adequate, proper and secure fit. Doors to remain in manufacturers pre-primed finish.</p>	<p>REMOVE ACCORDION DOOR AND INSTALL DOOR UNIT, FRAME CLOSET DOOR BED 1-2 AND INSTALL NEW</p>	
<p>Replace all interior door locksets with Builders grade equivalent. Use privacy locksets on bedroom and bathroom doors. Use passage locksets on closets. Door hardware color shall match existing.</p>	<p>INCLUDED WITH DOOR UNITS</p>	
<p>Remove existing countertop material and impacted fixtures and appliances. Install new preformed laminate countertop, bullnosed with 3 1/2in rolled backsplash. Sidesplashes shall also be installed of matching material on countertop sides that kill into a wall. Countertop to have minimal joints as needed at directional turns and securely glued and screwed (on bottom side) tight to base cabinet. Install 1/8" plywood over existing wall above countertop backsplash up to underside of upper wall cabinets (+/- 18 in) and install / overlay with new laminate that matches new countertop. Applicant shall have a choice of 4 standard countertop colors / designs.</p>		
<p>Remove existing cabinets. Replace with new prefinished wood 32in base cabinets (bathrooms) and/or 36in base cabinets with 30in upper wall cabinets (kitchens). Cabinets to be plumb, level with tight fit. Fillers shall be used in corners as needed. No portion of cabinet to be of partical board. A minimum of one base cabinet shall be a drawer bank. Cabinet doors shall be made in such a manner to not require cabinet pull hardware. Applicant shall have a choice of 1 color prefinished stained cabinets or 1 standard white laminated prefinished cabinets.</p>	<p>KITCHEN</p>	

	<p>Remove existing cabinets. Replace with new prefinished wood 32in base cabinets (bathrooms) and/or 36in base cabinets with 30in upper wall cabinets (kitchens). Cabinets to be plumb, level with tight fit. Fillers shall be used in corners as needed. No portion of cabinet to be of partial board. A minimum of one base cabinet shall be a drawer bank. Cabinet doors shall be made in such a manner to not require cabinet pull hardware. Applicant shall have a choice of 1 color prefinished stained cabinets or 1 standard white laminated prefinished cabinets.</p>	REPLACE LINEN CABINET IN BATH, UPPER	
	<p>Remove existing lavatory countertop and sink in bathroom, replace with new prefab non-porous countertop with preformed white sink bowl. New non-porous countertop to include preformed backsplash and both sidesplashes (of same non-porous material) if the room configuration has walls on both sides of the countertop. New faucet to be of cast metal construction in chrome or brass finish, with brass valve stems with replaceable neopryne washers and removable seats. Supply lines shall have cut off valves and chrome plated escutcheon plates.</p>	NEW VANITY, SINK, FAUCETS, DRAINS, AND SUPPLIES	
	<p>Remove existing deteriorated subfloor and replace with new framing members and floor decking of #2 standard grade minimum. Framing members and floor decking shall be adequately sized to support the dead and live load weight it holds in accordance with current International Residential Code. If supporting floor is concrete slab, flash patch / shave / grind all cracks at joints to ensure the floor is level and void of humps or cavities. Install patternless sheet vinyl, per manufacturers specifications and warranty, with appropriate thresholds, carpet bars and new finished shoe mold to match existing finish. Installation shall be free of ripples or raised pockets. Edges shall be cut to tightly fit corners, minimal joints and minimize the appearance of the room being unsquare. If vinyl is in visible proximity, the direction of the pattern shall be the same. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	KITCHEN, INSTALL NEW SHEET GOODS	
Electrical	<p>Update existing breaker and fuse boxes as needed. A minimum of 2 blanks shall be left on panel box after all circuits are run. This may involve adding a new breaker box, and using existing breaker box as a junction for service. Installation of new breaker box can be located in place of existing, beside existing, on the exterior opposite side of the existing panel or beside meter base. Removal of the old breaker panel, if a new one is installed, may not be required.</p>		
	<p>Label all circuits on panel box, both new and old, with identification data for its function and location.</p>		

<p>Eliminate all pull-chain type lights in bathroom, closet and kitchen. Replace with wall switch and new fixture in each location. Kitchen to be 13 inches surface mount 2 bulb fixture or equal. Bathroom to be heat / vent / light Builders grade combination fixture or equal. Closet to be surface mount single bulb fixture installed in compliance with National Electrical Code 410.16. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.</p>	<p>BED 1-2 , LIGHT OVER VANITY IN BATH, HALL FAN AND LIGHT KIT, KITCHEN, HALL</p>	
<p>Install new Builders grade fan forced electrical heat/vent/light ceiling fixture in bathroom with new wall mount switch. New fixture to be on a new separate circuit. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.</p>		
<p>Install new separate (110- 220V) circuits for existing window heat/air conditioner unit (over 5000 btus).</p>	<p>LIVING ROOM, BEDS 1-2</p>	
<p>Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.</p>	<p>BEDS 1-2, KITCHEN AND LIVINGROOM</p>	
<p>Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.</p>	<p>ASSURE ALL SWITCHES AND RECPTS ARE IN PROPER OPERATING CONDITION, 2 WIRE RECPTS WILL BE CHANGED TO GFCI</p>	
<p>Install new wall switches and ceiling lights in the living room, the dining room, the bathroom, each bedroom, kitchen and garage/carpot. Fixture type shall be replaced with the same type as existing. Contractor to field verify each. Finish/Color to match existing.</p>	<p>LIVING ROOM AND KITCHEN</p>	
<p>Install new Builders grade exterior porch light fixture. All fixtures to be controlled by inside switches. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.</p>	<p>FRONT AND REAR</p>	
<p>Install new separate 110V circuit duplex receptacle in bathroom and kitchen in compliance with International Residential Code Section 3902.6-8. New circuit to be on ground fault interrupter.</p>	<p>BATH AND KITCHEN</p>	

	Remove any existing to install new Builders Grade hard wired smoke detectors in all areas as required in current International Residential Code and manufacturer specifications. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination smoke / carbon monoxide units are acceptable.	4 TOTAL	
	Remove any existing to install new Builders Grade hard wired carbon monoxide detector in all areas as required in current International Residential Code and International Fuel Gas Code and manufacturers specifications. When more than one carbon monoxide detector is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination units smoke / carbon monoxide units are acceptable.	4 TOTAL	
	Remove all standard light bulbs in ceiling fixtures throughout interior and exterior of house (excluding motion lights) and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Contractor to discard or salvage old removed light bulbs so that none are left onsite.	24	
Plumbing	Install supply line cut off valves on all toilet, lavatory and sink lines lacking cut off valves. Replace all leaking or deficient cut off valves with new chrome plated valves. All supply lines and traps shall be equipped with chrome plated escutcheon plates.	KITCHEN AND BATH	
	Repair/replace all exposed drains under kitchen sink and/or lavatories inside house. This could include basket strainer, tail pieces, continuous waste, p-trap and/or pop-up assemblies. All work shall be in compliance with current International Plumbing Code.	KITCHEN AND BATH	
	Repair/replace all exposed water supply assembly to fixtures inside house. This may include stops, shut-off valves and flex connectors. Supply lines to be equipped with cut off valves. All work shall be in compliance with current International Plumbing Code.	KITCHEN AND BATH	
	Replace all leaking or deficient traps, wastes, and valves, replace with new Builders grade equivalent.		
	Install standard Builders grade white vinyl tub surround kit around bathtub area. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.		



	Remove existing tub faucet and shower head to replace with new Builders grade. New faucet to be of cast metal construction, brass valve stems with replaceable neopryne washers and removable seats. Faucet finish to be brass or chrome.		
	Remove existing kitchen sink and faucet to replace/install new Builders grade 7 inch deep double compartment stainless steel sink and trim in kitchen. Secure per manufacturer feets specs. Sink faucet to be chrome or brass finish, cast metal with brass valve stems with replaceable neoprene washers and removable seats. Strainer basket(s) to be stainless steel. Wastes to be pvc. Supply lines to be chrome plated brass with cut off valves, complete with escutcheon plates.		
	Install washing machine catch-a-drip drain in wall with hot and cold water supply. Repair any surrounding wall area affected to match existing.		
	Repair/replace/repipe building drain lines under house up to building sewer service line. Install clean-out at junction. Old drain lines may remain in place, due to limited working space, if disconnected from building sewer line, when the entire drain lines are being replaced.	REPAIR AND SECURE VENT LINES ON EXTERIOR WALL SIDE	
	Repair/replace water distribution lines under house up to building water service line. Install shut-off valve assembly at junction or at back side of meter. Old water lines may remain in place, due to limited working space, if disconnected from water service line, when the entire supply lines are being replaced.	REPLACE EXISTING EXPOSED WATERLINES TO ON WATER HEATER, SECURE	
Painting	Paint shall be mixed and applied in accordance with manufacturers specifications, including temperature recommendations. Paint brand to be Benjamin Moore or equal. Previously painted/stained wood shall be thoroughly cleansed of peeling, blistered or razed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All nail holes shall be filled, sanded and covered. All surfaces shall be smooth and clean prior to painting/staining. All wood shall receive enough coats to provide adequate coverage but no less than two (2) full strength coats. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Prime and paint exposed side of materials to match existing. Use best practices to prevent splatter, dripping or spray onto other surfaces and clean / remove any created. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.		

	<p>Repaint ceiling. Fill all holes and sand. First coat shall be KILZ paint product or equal if smoke or water damage is evident. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>EXISTING DAMAGED CEILING TILE</p>	
	<p>Paint any newly hung sheetrock in other scopes and/or areas replaced due to physical damage such as holes and severe water stains. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>		
	<p>Repaint / restain existing and/or new interior doors and casing trim. Doors to be covered with product on both sides of door and all 4 edges of door thickness. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>NEW DOOR UNITS</p>	
		<p><b>TOTAL \$</b></p>	

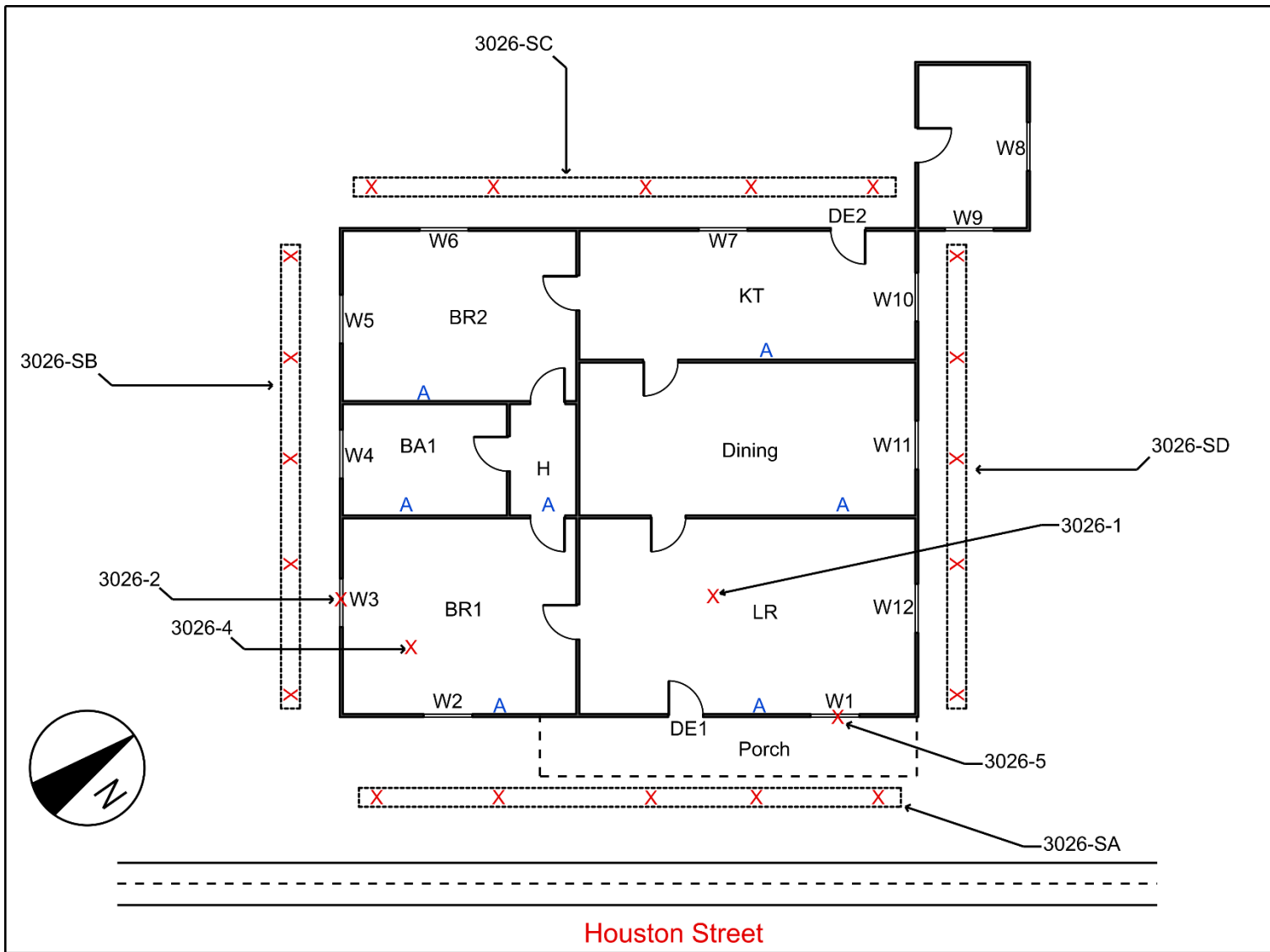
## 2.1 Scope of Work

Base Scope 3026 Houston Street Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Exterior Wall D	Wall	Wood	White	750 SF	Paint Stabilization
Exterior Wall D	Window Sash, Sill, Frame and Casing	Wood	White	6 Windows	<sup>1</sup> Remove and Replace Component
Exterior Wall A	Window Sash, Sill, Frame and Casing	Wood	White	2 Windows	<sup>1</sup> Remove and Replace Component
Living Room	Door Frames	Wood	Brown	3 Door Frames	Remove and Replace Component
Living Room	Windowsills and Floor	Living Room	-	-	Specialized Cleaning
Bedroom 1	Windowsills and Floor	Bedroom 1	-	-	Specialized Cleaning

Alternate Scope 3026 Houston Street Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Exterior Wall A	Wall	Wood	White	400 SF	Paint Stabilization
Exterior Wall A	Wall Cap	Wood	White	40 SF	Paint Stabilization

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<sup>1</sup> Removal will include window casings and sills of impacted window system's corresponding interior/exterior locations.



MPN #: **CD-15014**

Street Address: **1924 Kelly Street**



13:10 | 29 Apr  
2024  
1932 Kelly St, Kelly St, Alexandria, LA, 71301  
United States



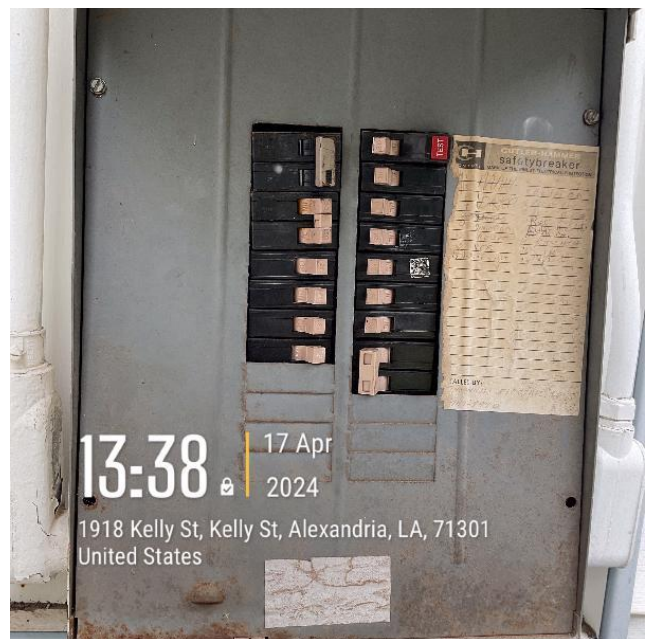
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United States



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2024  
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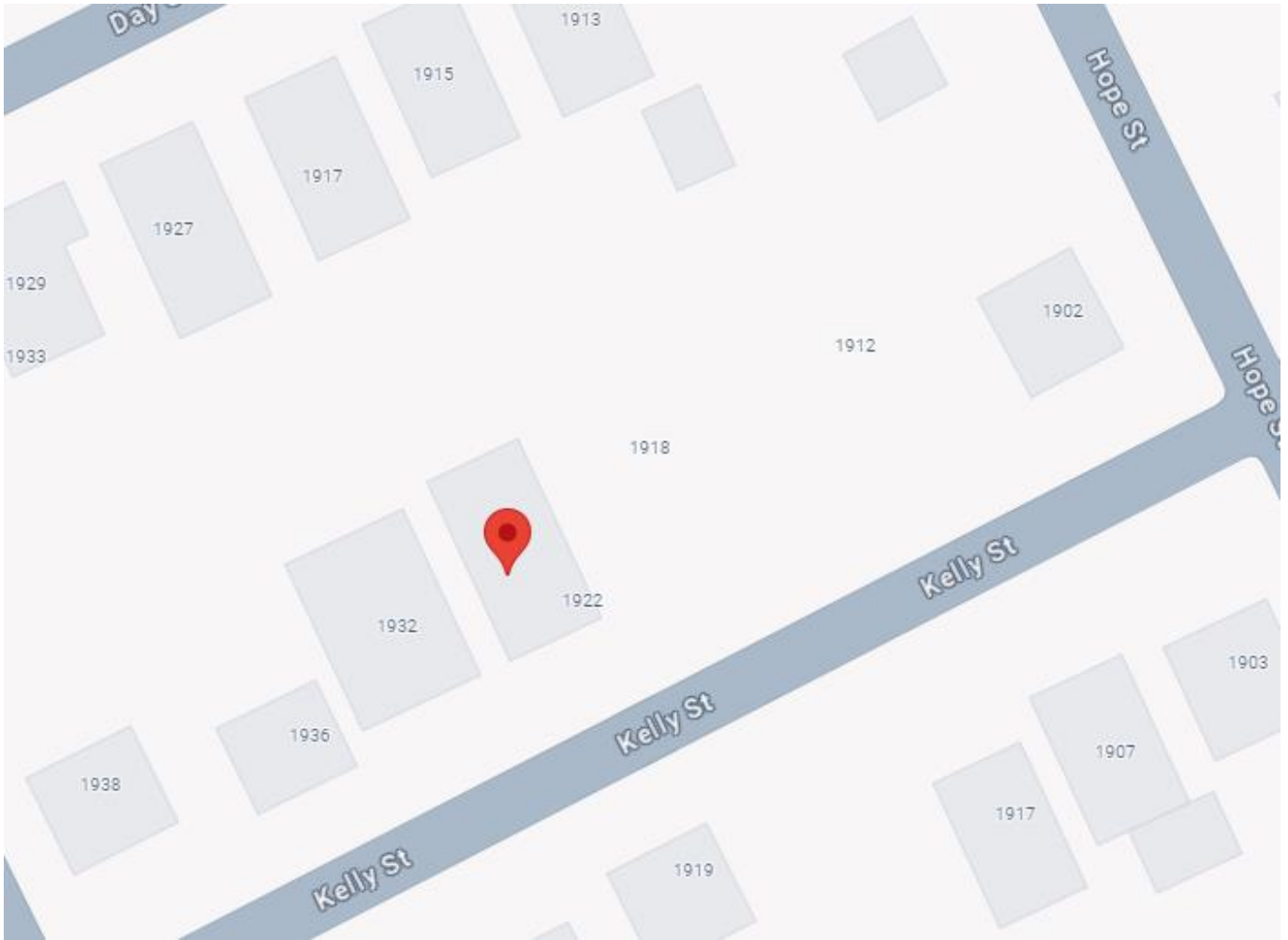


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2024  
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United States



13:38 | 17 Apr  
2024  
1918 Kelly St, Kelly St, Alexandria, LA, 71301  
United States







**Case Number: CD-15014**  
**Address: 1924 KELLY STREET**  
**Inspection Date: 4/29/2024**

**Ike Sewell**  
**(318) 229-1391**

Category	Question	Comment	Amount
	This home has tested positive for lead-based paint.		
Roof	<p>Remove existing roof assembly and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of new 15# felt, continuous ridge vent, shingle laced valleys with ice and water underlayment, new flashing, new roof jacks and new drip edge. Remove deteriorated decking material and replace with material of same thickness or replace an entire section with minimum 7/16" osb. Remove roof jacks and replace existing roof turbines with continuous ridge vent. Use same decking thickness of existing or minimum 7/16" osb decking to cover holes from roof turbines removed. Remove all roofing debris from jobsite. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Weathered Wood shall be the standard color selection or equal. Install per manufacturers specs. Contractor shall be responsible to walk the roof to try to locate soft decking spots that will need to be replaced and tour the inside of the house and attic to determine deteriorated decking and/or water damage spots. Contractor shall also be responsible to verify number of layers to be removed and proper decking method for new installation. Contractor shall include all work listed in the bid price submitted. No change orders for unforeseen layers or inadequate decking will be allowed. *Contractor is responsible to call for a Roof Decking inspection and a Building Final inspection.</p>		
	<p>Remove swag from roof and level. Replace all broken, rotten or deficient rafters, decking, felt and shingles as necessary to correct the roof swag. Reframe in compliance with International Residential Code requirements. Replacement materials shall be minimum 7/16 inches osb decking, 15# felt and 25 year shingles. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Color to match remaining shingles as much as possible. Install per manufacturer specs. Contractor to factor in possible damage or cracking to ceilings or walls below in the course of repair. Contractor shall include all work listed in the bid price submitted. No change orders to replace unforeseen materials will be allowed. *Contractor is responsible to call for a Framing inspection once all framing members are replaced. Contractor is responsible to call for a Building Final inspection once all work is complete.</p>	REAR	

Carpentry	Remove damaged existing soffit and/or fascia and replace with new like materials or perforated hardiboard soffit panels. Prime and paint all new materials with color to match existing. In addition, scrape, prime and paint adjoining materials along the entire same side, corner to corner, of the area replaced to minimize the detection of the area of work. All painting color and sheen to match existing. Do not paint over soffit vents. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	SECURE AND RE-NAIL VINYL SOFFIT, REAR GABLE	
	Replace damaged existing exterior wall siding, corner boards, window and/or door trim with like materials. Prime and paint all new lumber to match existing. Do not paint over soffit vents. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	REPLACE ALL WOOD TRIM ON BOTTOM OF WINDOWS .1X4 TREATED AND PAINT TO MATCH	
	Weather-strip attic hatch / drop-down stairway panel with 3#M2743 type weather stripping or agency approved equal. Insulate attic hatch / drop-down stairway panel with Kraft backed R-19 insulation (or equal), securely stapled. Adjustment may be required to have drop down stairway close as tightly as possible. *Contractor has option to install Builders grade prefab attic stair draft cap cover, R-11 value, to be installed on attic side. CmDv approval required prior to purchase of prefab unit.		
	Remove existing damaged attic pull-down stair and replace with new Builders grade. Adequate length for existing ceiling heights.	INSTALL NEW	
	Remove existing interior door and replace with new pre-primed masonite interior hollow core door unit & trim. On all newly installed doors, all hinges, screws, locks, hardware and trim to be new. Hardware color to match existing. Doors are to be flush, plumb and balanced with existing walls. Make all necessary adjustments to frame and/or walls and replace frames to ensure adequate, proper and secure fit. Doors to remain in manufacturers pre-primed finish.	REPLACE HVAC CLOSET DOOR [HALL] UNIT AND HARDWARE, WITH LOUVER	
	Remove existing countertop material and impacted fixtures and appliances. Install new preformed laminate countertop, bullnosed with 3 1/2in rolled backsplash. Sidesplashes shall also be installed of matching material on countertop sides that kill into a wall. Countertop to have minimal joints as needed at directional turns and securely glued and screwed (on bottom side) tight to base cabinet. Install 1/8" plywood over existing wall above countertop backsplash up to underside of upper wall cabinets (+/- 18 in) and install / overlay with new laminate that matches new countertop. Applicant shall have a choice of 4 standard countertop colors / designs.	SECURE KITCHEN COUNTER TOP AT SINK LOCATION	

Electrical	Rebuild electric service from transformer to house, as needed, to minimum 200 amps. New service shall include new copper ground rod. Shall be in compliance with current National Electrical Code and City Ordinances.	METER BASE AND PANEL	
	Label all circuits on panel box, both new and old, with identification data for its function and location.		
	Install new Builders grade fan forced electrical heat/vent/light ceiling fixture in bathroom with new wall mount switch. New fixture to be on a new separate circuit. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.	BATH	
	Install new separate (110- 220V) circuits for existing window heat/air conditioner unit (over 5000 btus).	BED 3	
	Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.	SPLIT CIRCUITS IN LIVING ROOM, KITCHEN, BED 1, 2 AND BED 3	
	Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.	ASSURE ALL RECEPTS ARE IN PROPER OPERATING CONDITION	
	Install new separate 110V circuit duplex receptacle in bathroom and kitchen in compliance with International Residential Code Section 3902.6-8. New circuit to be on ground fault interrupter.	KITCHEN AND BATH	
	Remove any existing to install new Builders Grade hard wired smoke detectors in all areas as required in current International Residential Code and manufacturer specifications. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination smoke / carbon monoxide units are acceptable.	TOTAL 6	
	Remove any existing to install new Builders Grade hard wired carbon monoxide detector in all areas as required in current International Residential Code and International Fuel Gas Code and manufacturers specifications. When more than one carbon monoxide detector is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination units smoke / carbon monoxide units are acceptable.	TOTAL 6	
Remove all standard light bulbs in ceiling fixtures throughout interior and exterior of house (excluding motion lights) and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Contractor to discard or salvage old removed light bulbs so that none are left onsite.	38		

Plumbing	Repair/replace all exposed drains under kitchen sink and/or lavatories inside house. This could include basket strainer, tail pieces, continuous waste, p-trap and/or pop-up assemblies. All work shall be in compliance with current International Plumbing Code.	KITCHEN	
	Repair/replace all exposed water supply assembly to fixtures inside house. This may include stops, shut-off valves and flex connectors. Supply lines to be equipped with cut off valves. All work shall be in compliance with current International Plumbing Code.	KITCHEN	
	Remove existing to install new adequately sized (but not less than 40 gallon) gas water heater per manufacturer specifications and in compliance with the current International Plumbing Code, International Fuel Gas Code and International Residential Code. Water heater to have gas cock and water inlet cut off valves. Rheem Energy Miser or agency approved equal. Vent water heater to exterior as required by code. If unit is installed in attic, bracing, service platforms and walkways shall be required. If there is adequate space, the old water heater may remain in place as long as it is drained and disabled. Contractor shall be responsible to confirm adequate space within existing current water heater location for the replacement of new, as size may be different than original tank. If new unit must be relocated, Contractor shall budget for relocation in price submittal because a change order will not be allowed. *Contractor to have scheduled a GSW Repair/Replace inspection for immediately after water heater is replaced.	WATER HEATR IS ON EXTERIOR [REAR] INSTALL NEW SUPPLIES	
Painting	Prime and paint all wood exterior surfaces of residence, to include walls, porch, soffits, fascia, window trim, exterior door frames. All wood frame windows that require painting shall include that portion of the window frame that is normally visible when the lower sash is raised to its highest point on both exterior & interior side. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	PAINT NEW WINDOW TRIM TO MATCH EXISTING	
	Repaint ceiling. Fill all holes and sand. First coat shall be KILZ paint product or equal if smoke or water damage is evident. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	KITCHEN	
	Paint any scuttle hole covers and/or pull-down attic stairs door in other scopes. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	KITCHEN	
	Repaint / restain existing and/or new interior doors and casing trim. Doors to be covered with product on both sides of door and all 4 edges of door thickness. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	HVAC CLOSET DOOR UNIT, HALL, TO MATCH EXISTING	

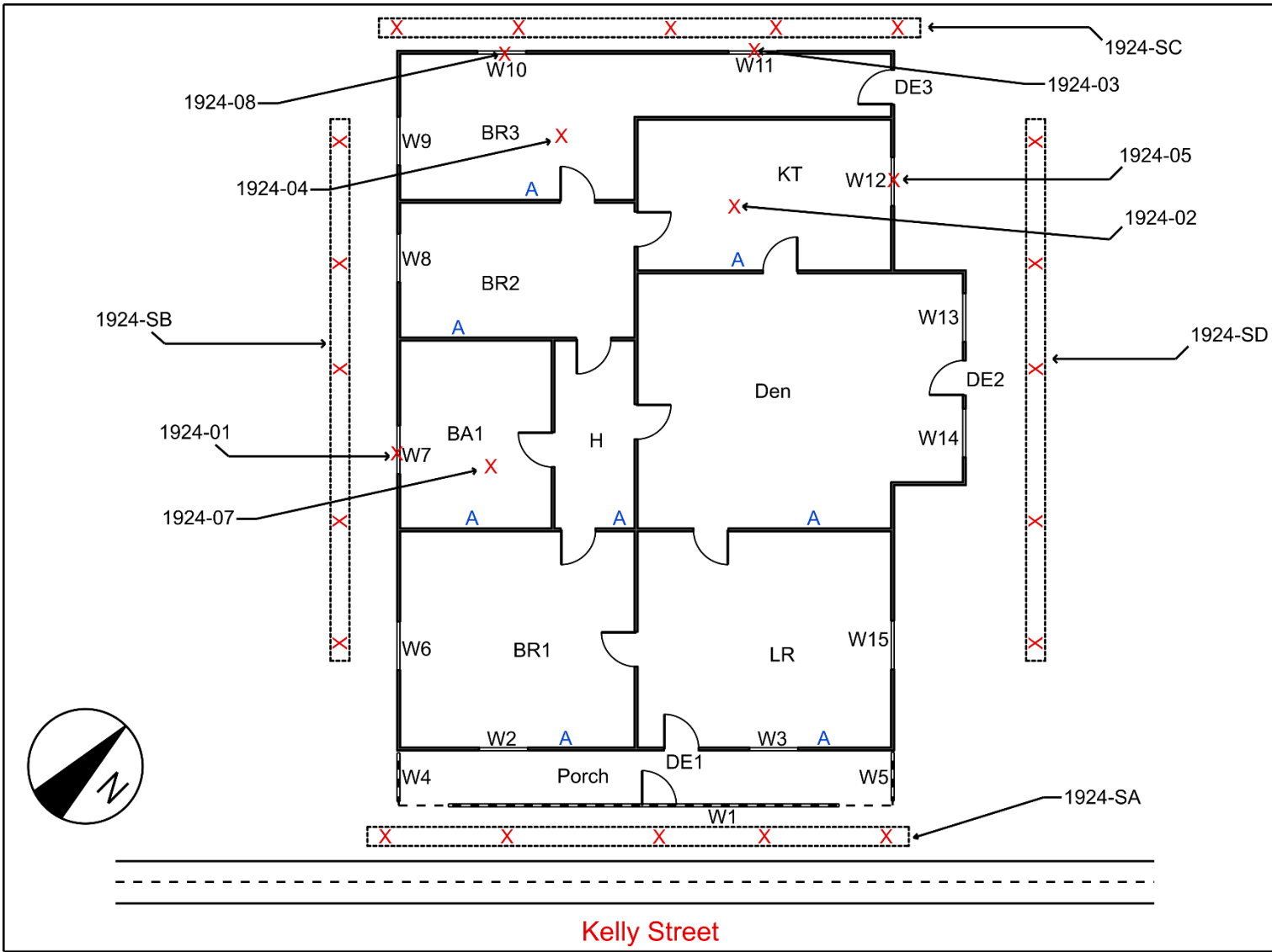
<p>Exterior/Interior Paint/Stain Specification (LEAD)</p>	<p>Paint shall be mixed and applied in accordance with manufacturers specifications, including temperature recommendations. Paint brand to be Benjamin Moore or equal. Previously painted/stained wood shall be thoroughly cleansed of peeling, blistered or razed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All nail holes shall be filled, sanded and covered. All surfaces shall be smooth and clean prior to painting/staining. All wood shall receive enough coats to provide adequate coverage but no less than two (2) full strength coats. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Prime and paint exposed side of materials to match existing. Use best practices to prevent splatter, dripping or spray onto other surfaces and clean / remove any created. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.</p>		
		<b>TOTAL \$</b>	

## 2.1 Scope of Work

Base Scope 1924 Kelly Street Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Exterior Wall A	Column	Wood	White	2 Columns	Paint Stabilization
Bathroom 1	Door Casing	Wood	White	1 Door Casing	Remove and Replace
Bathroom 1	Window Sill, Sash, Frame Apron, and Casing	Bathroom 1	White	1 Window	<sup>1</sup> Remove and Replace
Kitchen	Windowsills	Kitchen	-	-	Specialized Cleaning
Exterior Wall B	Dripline	Exterior Wall B	-	-	Soils – Remove and Replace
Alternate Scope 1924 Kelly Street Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Exterior Wall A	Corbels	Wood	White	4 Rafter Tails	Paint Stabilization
Bathroom 1	Walls	Wood	White	400 SF	Paint Stabilization
Bedroom 3	Door Casing	Wood	White	3 Door Casings	Remove and Replace
Bedroom 3	Door Frame	Wood	White	2 Door Frames	Remove and Replace
Kitchen	Door Casing	Wood	Beige	2 Door Casings	Remove and Replace

<sup>1</sup> Removal will include window casings and sills of impacted window system’s corresponding interior/exterior locations.



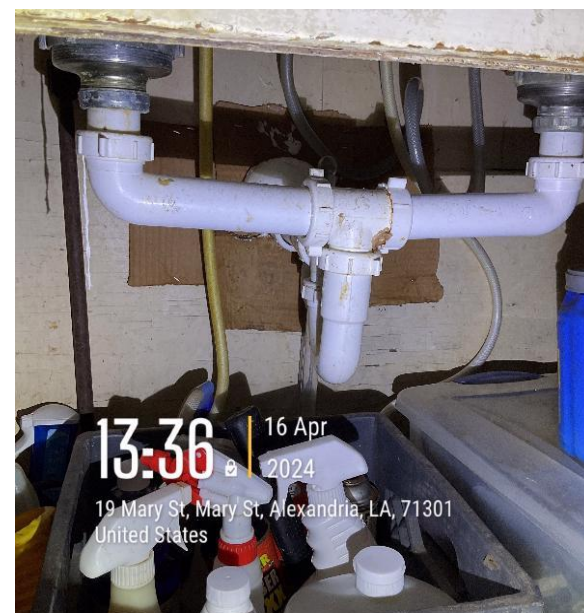
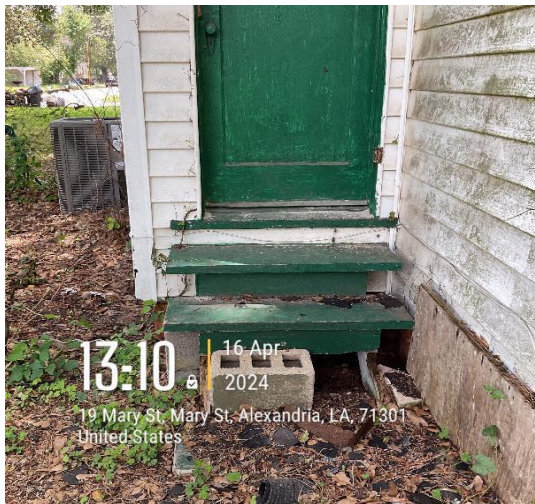


1924 Kelly Street  
Alexandria, LA

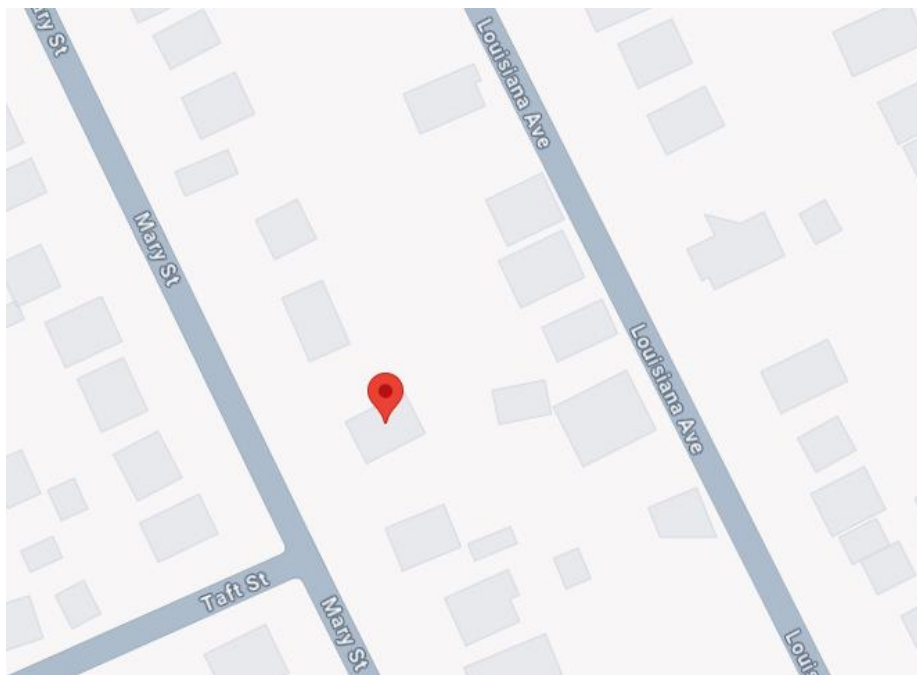
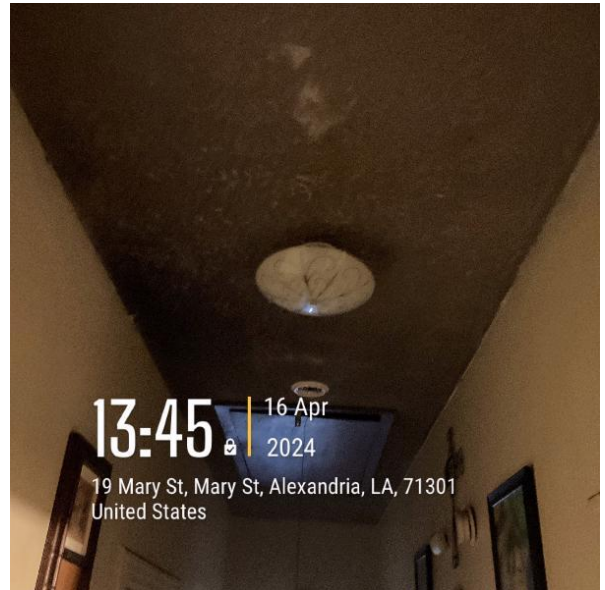
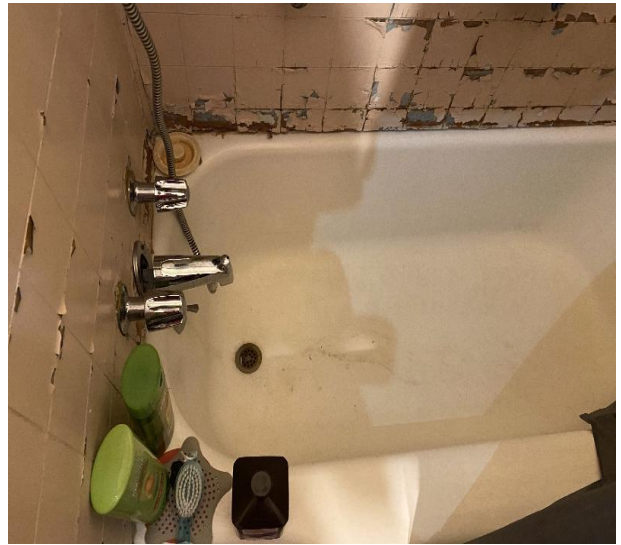
Lead Inspection/Risk Assessment  
Site Drawing

MPN #: **CD-14987**

Street Address: **19 Mary Street**







**Case Number: CD-14987**  
**Address: 19 MARY STREET**  
**Inspection Date: 4/26/2024**

**Patricia Fairley**  
**(318) 709-8453**

Category	Question	Comment	Amount
	This home has tested positive for lead-based paint.		
Roof	<p>Remove existing roof assembly and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of new 15# felt, continuous ridge vent, shingle laced valleys with ice and water underlayment, new flashing, new roof jacks and new drip edge. Remove deteriorated decking material and replace with material of same thickness or replace an entire section with minimum 7/16" osb. Remove roof jacks and replace existing roof turbines with continuous ridge vent. Use same decking thickness of existing or minimum 7/16" osb decking to cover holes from roof turbines removed. Remove all roofing debris from jobsite. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Weathered Wood shall be the standard color selection or equal. Install per manufacturers specs. Contractor shall be responsible to walk the roof to try to locate soft decking spots that will need to be replaced and tour the inside of the house and attic to determine deteriorated decking and/or water damage spots. Contractor shall also be responsible to verify number of layers to be removed and proper decking method for new installation. Contractor shall include all work listed in the bid price submitted. No change orders for unforeseen layers or inadequate decking will be allowed. *Contractor is responsible to call for a Roof Decking inspection and a Building Final inspection.</p>		
Carpentry	<p>Remove damaged existing soffit and/or fascia and replace with new like materials or perforated hardiboard soffit panels. Prime and paint all new materials with color to match existing. In addition, scrape, prime and paint adjoining materials along the entire same side, corner to corner, of the area replaced to minimize the detection of the area of work. All painting color and sheen to match existing. Do not paint over soffit vents. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	INSTALL NEW RIBBON AND FASCIA BOARD TO NEWLY BUILT REAR PORCH, THIS IS NEEDED TO INSTALL THE NEW ROOF, REPLACE DECKING AS NEEDED	
	<p>Install new pre-cast reinforced concrete steps with 3ft minimum landing at exterior side of residence. Any steps over 3 risers high or 30in whichever is greater shall have metal handrail, secured at base in cement, on one side of steps. Handrail to be placed on door latch side of exterior door.</p>	REAR ENTRANCE	
	<p>Redeck porch with new #2 grade treated lumber. Decking shall be uniform and tight in fit. All rotten, broken or deficient joists and sills shall be replaced of minimum size to support the load as defined in current International Residential Code. Treated lumber shall remain unfinished with regard to stain or paint finish.</p>	REPAIR /REFRAME DECKING AND SCREEN FRAMING ON FRONT PORCH	

<p>Remove existing screen and install new vinyl or aluminum screen on porch area. Remove and replace all missing, broken, split or otherwise deficient screen stripping, cross bracing and support columns with treated lumber. Treated lumber shall remain unfinished with regard to stain or paint finish.</p>	FRONT PORCH	
<p>Remove existing exterior door units, replace with new, pre-primed, metal factory hung exterior door unit(s) with 1"x 4" o/s trim. Door type to be as required by code based on location per International Residential Code 302.5.1. Door unit(s) are to have built-in weather-stripping and threshold(s). All hinges, screws, hardware locks and trim to be new. Doors are to be flush and plumb with existing walls. Make all necessary adjustments to frame and walls or rebuild walls and replace frames to ensure adequate, proper and secure fit. Add interior side casing / trim to match existing. Door(s) shall remain in manufacturer's pre-primed finish. Install peep-hole in new door(s) determined by applicants height. Install new entry knob hardware with deadbolt lock(s) on door(s). Lock(s) to be keyed on one side and all keyed alike. *Contractor may be required to install header if one does not exist.</p>	REAR ENTRANCE	
<p>Remove existing exterior door hardware and replace with new Builders grade entry knob hardware and deadbolt lock. Finish to match existing. Deadbolt lock(s) to be keyed on one side. All lock(s) to be keyed alike. Bore hole for deadbolt, if one does not currently exist.</p>	INCLUDED WITH DOOR UNIT FOR REAR ENTRANCE	
<p>Remove existing and replace with new aluminum threshold(s) with weatherstripping on exterior door(s). New weather-stripping shall be approximately 3/4in width rigid aluminum with vinyl bead on the end, nailed to the inside and bead pressing firmly against the door. Jamb shall be tightened or caulked in such a manner as to prevent outside air from entering residence.</p>	INCLUDED WITH DOOR UNIT FOR REAR ENTRANCE	
<p>Install new Builders grade aluminum exterior storm door over existing exterior doors. Croft Storm Door, Gibraltar Series, Self-Storing (1/2 door has operable screened opening) Door or equal, mill or white finish. Doors to have 3 1/8" x 1 1/4" thick aluminum frame, four hinges, a standard kickplate, heavy duty pneumatic closer, shatter resistant tempered safety glass, aluminum or vinyl screen, and adjustable bottom sweep. Make all necessary adjustments to frame for proper operation. Irregular door sizes shall be custom made to ensure proper fit in existing door frames.</p>	FRONT AND REAR ENTRANCES	

<p>Remove existing damaged windows, framing and casing / trim to repair or replace with new. The window shall be a complete unit assembly in white finish. Replace damaged framing lumber with new #2 or better grade lumber. Replace with double paned vinyl windows, factory weatherstripped with full locking capabilities. Caulk around frames with acrylic latex caulking to prevent any air infiltration. Include new screens on all operable portion of windows. Irregular size units shall be custom made to fit properly. If exact size to match existing is not available, wall / header / frame modification may be required. At least one window must be of adequate size in each bedroom to meet emergency egress escape requirements of the current International Residential Code. Prep and paint all new wood installed to match existing. *Painting/staining requirements shall comply with Exterior/interior Paint/Stain specification attached.</p>	6 WINDOWS	
<p>Remove existing damaged attic pull-down stair and replace with new Builders grade. Adequate length for existing ceiling heights.</p>		
<p>Remove, replace and/or repair all broken, cracked, or deficient sheetrock in walls and ceilings. Sheetrock thickness to match existing but no less than 3/8 inch thick. Tape and mud float all joints with feathered edges. Fill all holes. Sand and texture sheetrock to match adjacent finish. Inspection required prior to painting. Prime and paint new sheetrock to match existing color. If removal of crown, base and/or shoe mould is required to replace sheetrock, then the replacement of the same shall also be replaced with new. Prime and paint / stain all new wood trim to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	2 LOCATIONS	
<p>Replace all interior door locksets with Builders grade equivalent. Use privacy locksets on bedroom and bathroom doors. Use passage locksets on closets. Door hardware color shall match existing.</p>	BED 1, PASSAGE AND CLOSET DOOR	



	<p>Remove existing deteriorated subfloor and replace with new framing members and floor decking of #2 standard grade minimum. Framing members and floor decking shall be adequately sized to support the dead and live load weight it holds in accordance with current International Residential Code. If supporting floor is concrete slab, flash patch / shave / grind all cracks at joints to ensure the floor is level and void of humps or cavities. Install patternless sheet vinyl, per manufacturers specifications and warranty, with appropriate thresholds, carpet bars and new finished shoe mold to match existing finish. Installation shall be free of ripples or raised pockets. Edges shall be cut to tightly fit corners, minimal joints and minimize the appearance of the room being unsquare. If vinyl is in visible proximity, the direction of the pattern shall be the same.</p> <p>*Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	BOTH BATHROOMS	
	<p>Sheet over existing floor with minimum 3/8in B/C plywood. If supporting floor is concrete slab, flash patch / shave / grind all cracks at joints to ensure the floor is level and void of humps or cavities. Install patternless sheet vinyl, per manufacturers specifications and warranty, with appropriate thresholds, carpet bars and new finished shoe mold to match existing finish. Installation shall be free of ripples or raised pockets. Edges shall be cut to tightly fit corners, minimal joints and minimize the appearance of the room being unsquare. If vinyl is in visible proximity, the direction of the pattern shall be the same.</p> <p>*Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	BOTH BATHROOMS	
Electrical	<p>Examine all visible wiring. Replace / replace dangerous or deficient wiring and any visible spliced wiring with junction boxes. Repair / replace any and all dangerous or deficient duplex receptacles and/or switches. Replace missing or broken cover plates with color to match existing.</p>	CLOSE UP JUNCTION BOXES IN ATTIC, COVERS, DEAD-END WIRING	
	<p>Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.</p>	KITCHEN APPLIANCES, BEDS 1-2-3 TV LOCATIONS, ADD 1 DUPLEX AT SAME LOCATION	
	<p>Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.</p>	ASSURE ALL RECPTS IN ALL ROOMS FUNCTION AS NEEDED, SECURE ALL RECPS ALL ROOMS, ADD COVER PLATES AS NEEDED ALL ROOMS	
	<p>Install new wall switches and ceiling lights in the living room, the dining room, the bathroom, each bedroom, kitchen and garage/carpot. Fixture type shall be replaced with the same type as existing. Contractor to field verify each. Finish/Color to match existing.</p>	DINING ROOM, FIXTURE OVER SINK, BATH 2 SWITCH, REPAIR DOOR BELL	

	Install new Builders grade exterior porch light fixture. All fixtures to be controlled by inside switches. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.	REAR	
	Install new separate 110V circuit duplex receptacle in bathroom and kitchen in compliance with International Residential Code Section 3902.6-8. New circuit to be on ground fault interrupter.	REPLACE EXISTING	
	Remove any existing to install new Builders Grade hard wired smoke detectors in all areas as required in current International Residential Code and manufacturer specifications. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination smoke / carbon monoxide units are acceptable.	6 TOTAL	
	Remove any existing to install new Builders Grade hard wired carbon monoxide detector in all areas as required in current International Residential Code and International Fuel Gas Code and manufacturers specifications. When more than one carbon monoxide detector is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination units smoke / carbon monoxide units are acceptable.	6 TOTAL	
	Remove all standard light bulbs in ceiling fixtures throughout interior and exterior of house (excluding motion lights) and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Contractor to discard or salvage old removed light bulbs so that none are left onsite.	40 TOTAL	
	Install new separate (110- 220V) circuits for relocation of washing machine and dryer.	IN KITCHEN	
Plumbing	Install supply line cut off valves on all toilet, lavatory and sink lines lacking cut off valves. Replace all leaking or deficient cut off valves with new chrome plated valves. All supply lines and traps shall be equipped with chrome plated escutcheon plates.	KITCHEN, BOTH BATHS	
	Repair/replace all exposed drains under kitchen sink and/or lavatories inside house. This could include basket strainer, tail pieces, continuous waste, p-trap and/or pop-up assemblies. All work shall be in compliance with current International Plumbing Code.	KITCHEN, BOTH BATHS	
	Repair/replace all exposed water supply assembly to fixtures inside house. This may include stops, shut-off valves and flex connectors. Supply lines to be equipped with cut off valves. All work shall be in compliance with current International Plumbing Code.	KITCHEN SINK, BOTH BATHS	

	Remove existing toilet and replace with new standard white Builders grade handicap toilet and seat in bathroom. New toilet to have new wax ring base and sealing compound. New toilet shall be standard white and have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet. This work may include slightly relocating toilet and installing waste arm for required clearances.	2 TOTAL	
	Install standard Builders grade white vinyl tub surround kit around bathtub area. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.	BOTH BATHS	
	Remove existing tub faucet and shower head to replace with new Builders grade. New faucet to be of cast metal construction, brass valve stems with replaceable neopryne washers and removable seats. Faucet finish to be brass or chrome.	BOTH BATHS	
Painting	Prime and paint all wood exterior surfaces of residence, to include walls, porch, soffits, fascia, window trim, exterior door frames. All wood frame windows that require painting shall include that portion of the window frame that is normally visible when the lower sash is raised to its highest point on both exterior & interior side. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	NEW SCREEN PORCH FRAMING AND DECKING	
	Repaint ceiling. Fill all holes and sand. First coat shall be KILZ paint product or equal if smoke or water damage is evident. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	KILZ ALL CEILINGS THROUGHOUT HOUSE	
	Paint any newly hung sheetrock in other scopes and/or areas replaced due to physical damage such as holes and severe water stains. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	PAINT IN DINING ROOM	
	Paint any scuttle hole covers and/or pull-down attic stairs door in other scopes. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	NEW STAIR	

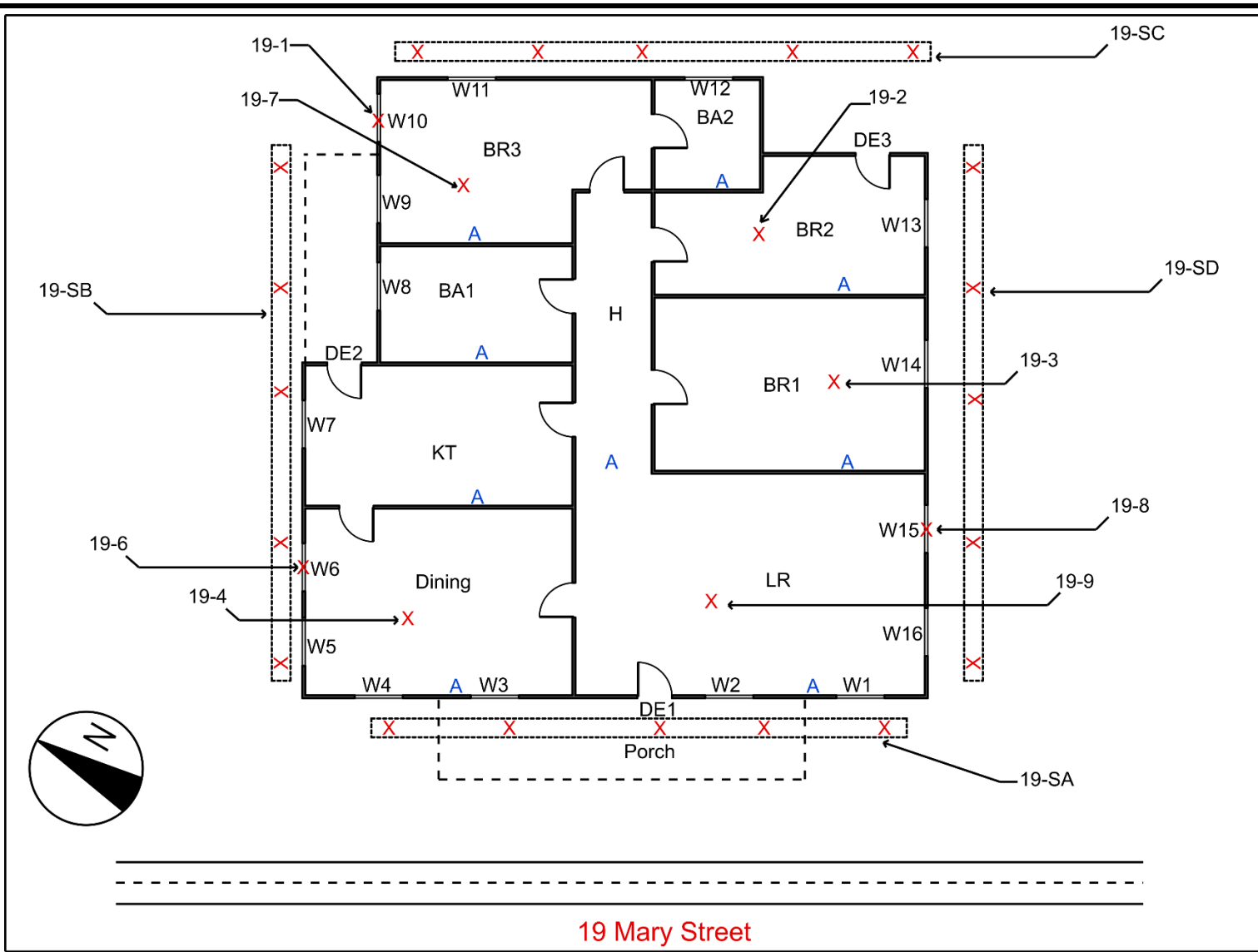
<p>Exterior/Interior Paint/Stain Specification (LEAD)</p>	<p>Paint shall be mixed and applied in accordance with manufacturers specifications, including temperature recommendations. Paint brand to be Benjamin Moore or equal. Previously painted/stained wood shall be thoroughly cleansed of peeling, blistered or razed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All nail holes shall be filled, sanded and covered. All surfaces shall be smooth and clean prior to painting/staining. All wood shall receive enough coats to provide adequate coverage but no less than two (2) full strength coats. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Prime and paint exposed side of materials to match existing. Use best practices to prevent splatter, dripping or spray onto other surfaces and clean / remove any created. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.</p>		
		<b>SUBTOTAL \$</b>	
<p><b>ADD ALTERNATE</b></p>	<p>Install new separate (110- 220V) circuits for relocation of washing machine and dryer, repair/replace/repipe building drain lines under house op to building sewer service line. Install clean-out at junction. Old drain lines may remain in place, due to limited working space, if disconnected from building sewer line, when the entire drain lines are being replaced</p>	<p>ADD DRAIN FOR W/D RELOCATION IN KITCHEN</p>	
<p><b>ADD ALTERNATE</b></p>	<p>Install washing machine catch-a-drip drain in wall with hot and cold water supply. Repair any surrounding wall area affected to match existing.</p>	<p>INSTALL AT NEW LOCATION FOR W/D TO BE IN KITCHEN INSTEAD OF ON BACK PORCH</p>	
<p><b>ADD ALTERNATE</b></p>	<p>Repair/replace water distribution lines under house up to building water service line. Install shut-off valve assembly at junction or at back side of meter. Old water lines may remain in place, due to limited working space, if disconnected from water service line, when the entire supply lines are being replaced.</p>	<p>ADD NEW WATER LINES FOR NEW LOCATION OF W/D IN KITCHEN</p>	
		<b>ADD ALTERNATES SUBTOTAL \$</b>	
		<b>TOTAL \$</b>	

## 2.1 Scope of Work

Base Scope 19 Mary Street Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Exterior Wall A	Door, Door Frame, and Casing	Wood	White	1 Door System	Remove and Replace Component
Exterior Wall B	Window Sash, Sill, Frame, and Casing	Wood	White	7 Windows	<sup>1</sup> Remove and Replace Component
Exterior Wall D	Window Sash, Sill, Frame, and Casing	Wood	White	6 Windows	<sup>1</sup> Remove and Replace Component
Alternate Scope 19 Mary Street Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Porch	Screen Door and Door Casing	Wood	White	1 Door System	Remove and Replace
Porch	Column	Wood	White	2	Paint Stabilization

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<sup>1</sup> Removal will include window casings and sills of impacted window system's corresponding interior/exterior locations.



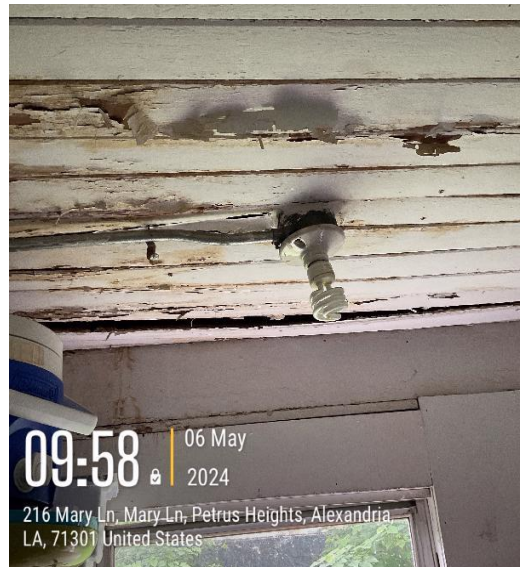
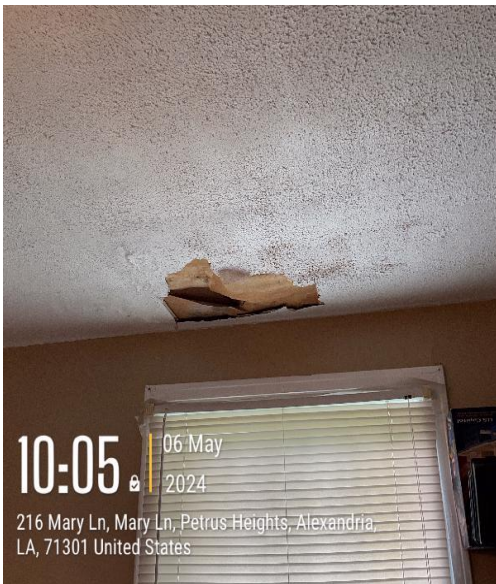
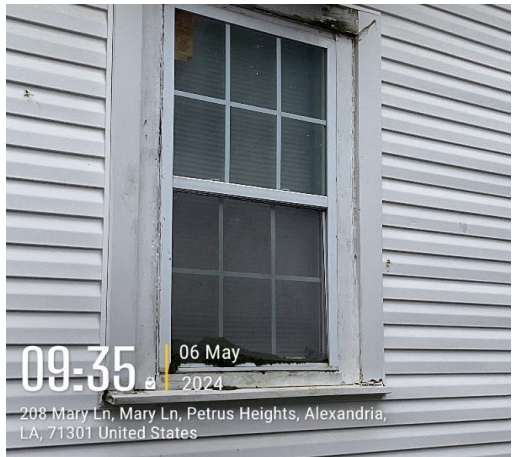
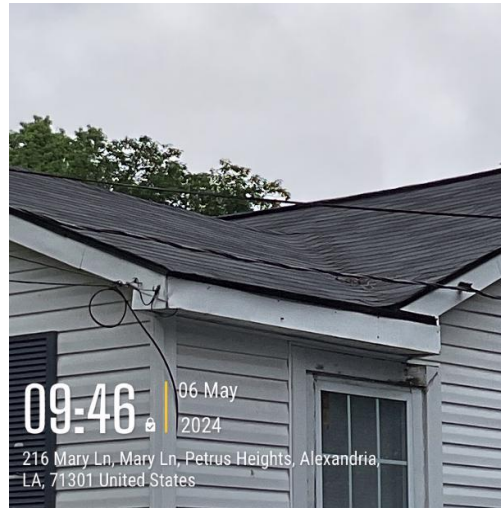
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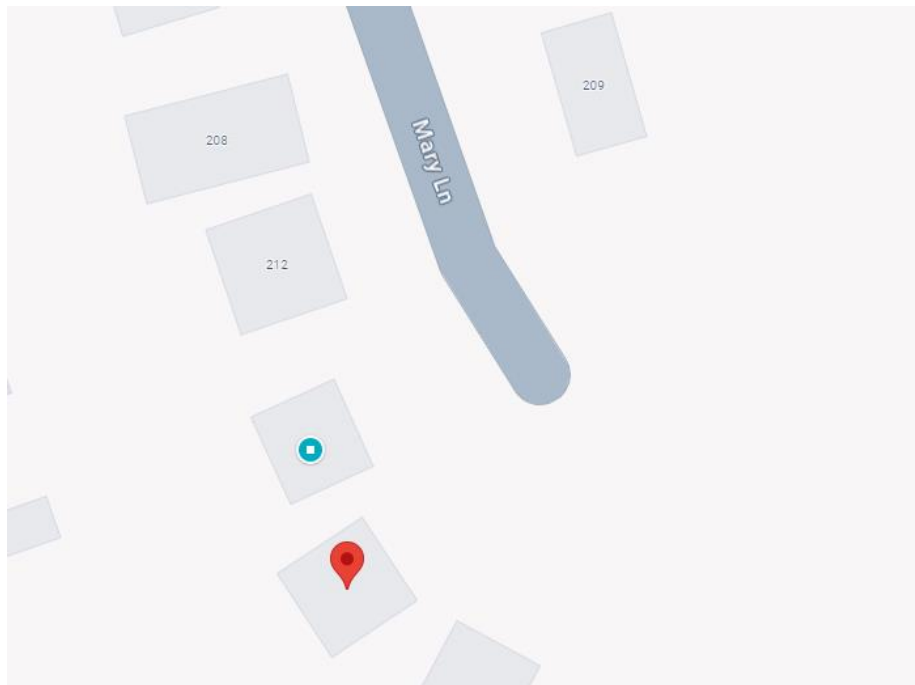
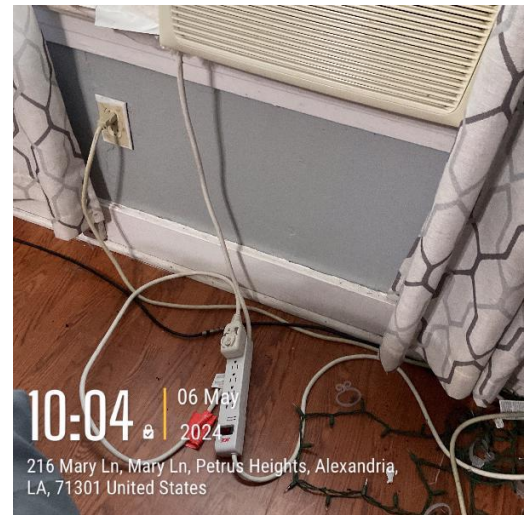
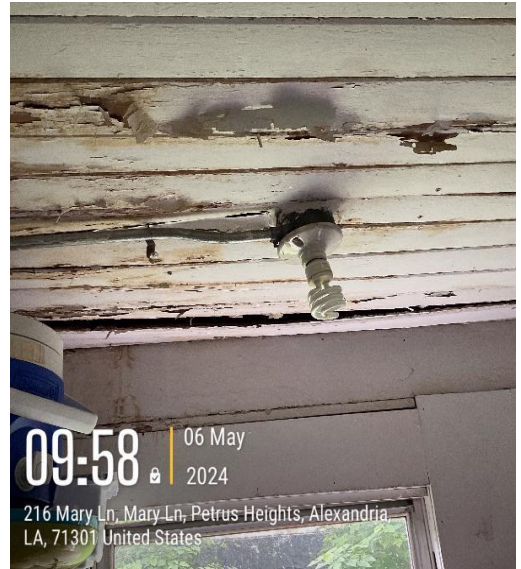


MPN #: **CD-14983**

Street Address: **220 Mary Lane**







**Case Number: CD-14983**  
**Address: 220 MARY LANE**  
**Inspection Date: 5/24/2024**

**Bonita Battiste**  
**(318) 599-6108**

Category	Question	Comment	Amount
	This home has tested positive for lead-based paint.		
Carpentry	Remove damaged existing soffit and/or fascia and replace with new like materials or perforated hardiboard soffit panels. Prime and paint all new materials with color to match existing. In addition, scrape, prime and paint adjoining materials along the entire same side, corner to corner, of the area replaced to minimize the detection of the area of work. All painting color and sheen to match existing. Do not paint over soffit vents. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	REAR OF HOUSE	
	Install adequately sized soffit vent in exterior side wall for ventilation as required in current International Residential Code.	INSTALL NEW	
	Install new Builders grade aluminum exterior storm door over existing exterior doors. Croft Storm Door, Gibraltar Series, Self-Storing (1/2 door has operable screened opening) Door or equal, mill or white finish. Doors to have 3 1/8" x 1 1/4" thick aluminum frame, four hinges, a standard kickplate, heavy duty pneumatic closer, shatter resistant tempered safety glass, aluminum or vinyl screen, and adjustable bottom sweep. Make all necessary adjustments to frame for proper operation. Irregular door sizes shall be custom made to ensure proper fit in existing door frames.	FRONT AND REAR ENTRANCES	
	Remove existing damaged windows, framing and casing / trim to repair or replace with new. The window shall be a complete unit assembly in white finish. Replace damaged framing lumber with new #2 or better grade lumber. Replace with double paned vinyl windows, factory weatherstripped with full locking capabilities. Caulk around frames with acrylic latex caulking to prevent any air infiltration. Include new screens on all operable portion of windows. Irregular size units shall be custom made to fit properly. If exact size to match existing is not available, wall / header / frame modification may be required. At least one window must be of adequate size in each bedroom to meet emergency egress escape requirements of the current International Residential Code. Prep and paint all new wood installed to match existing. *Painting/staining requirements shall comply with Exterior/interior Paint/Stain specification attached.	2 WINDOWS ON EXT. WALL A	

<p>Remove existing ceiling surface material. Reframe and strip as necessary. Install new 1/2 inch minimum sheetrock, tape, and mud float all joints and holes with feathered edges. Ceiling to be level with no visible sag or humps so attic bracing or work may be required. Inspection required prior to painting. Prime and paint new sheetrock to match existing color. If removal of crown, base and/or shoe mould is required to replace sheetrock, then the replacement of the same shall also be required. Prime and paint / stain all wood trim to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>LIVING ROOM, BEDS 1-2, SECURE CROWN MOLDING IN LIVING ROOM</p>	
<p>Remove existing ceiling surface material. Reframe and strip as necessary. Install new 3/8 inch minimum bead-board plywood, overlap all joints and fill nail holes. Ceiling to be level with no visible sag or humps so attic bracing or work may be required. Inspection required prior to painting. If removal of crown, base and/or shoe mould is required to replace plywood, then the replacement of the same shall also be required. Prime and paint new plywood to match existing color. Prime and paint / stain all wood trim to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>LAUNDRY ROOM</p>	
<p>Remove existing cabinets. Replace with new prefinished wood 32in base cabinets (bathrooms) and/or 36in base cabinets with 30in upper wall cabinets (kitchens). Cabinets to be plumb, level with tight fit. Fillers shall be used in corners as needed. No portion of cabinet to be of partical board. A minimum of one base cabinet shall be a drawer bank. Cabinet doors shall be made in such a manner to not require cabinet pull hardware. Applicant shall have a choice of 1 color prefinished stained cabinets or 1 standard white laminated prefinished cabinets.</p>	<p>REPLACE FLOOR IN SINK BASE CABINET</p>	

	<p>Remove existing deteriorated subfloor and replace with new framing members and floor decking of #2 standard grade minimum. Framing members and floor decking shall be adequately sized to support the dead and live load weight it holds in accordance with current International Residential Code. If supporting floor is concrete slab, flash patch / shave / grind all cracks at joints to ensure the floor is level and void of humps or cavities. Install patternless sheet vinyl, per manufacturers specifications and warranty, with appropriate thresholds, carpet bars and new finished shoe mold to match existing finish. Installation shall be free of ripples or raised pockets. Edges shall be cut to tightly fit corners, minimal joints and minimize the appearance of the room being unsquare. If vinyl is in visible proximity, the direction of the pattern shall be the same. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	BATH AS NEEDED	
	<p>Sheet over existing floor with minimum 3/8in B/C plywood. If supporting floor is concrete slab, flash patch / shave / grind all cracks at joints to ensure the floor is level and void of humps or cavities. Install patternless sheet vinyl, per manufacturers specifications and warranty, with appropriate thresholds, carpet bars and new finished shoe mold to match existing finish. Installation shall be free of ripples or raised pockets. Edges shall be cut to tightly fit corners, minimal joints and minimize the appearance of the room being unsquare. If vinyl is in visible proximity, the direction of the pattern shall be the same. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	BATH	
Electrical	<p>Rebuild electric service from transformer to house, as needed, to minimum 200 amps. New service shall include new copper ground rod. Shall be in compliance with current National Electrical Code and City Ordinances.</p>		
	<p>Update existing breaker and fuse boxes as needed. A minimum of 2 blanks shall be left on panel box after all circuits are run. This may involve adding a new breaker box, and using existing breaker box as a junction for service. Installation of new breaker box can be located in place of existing, beside existing, on the exterior opposite side of the existing panel or beside meter base. Removal of the old breaker panel, if a new one is installed, may not be required.</p>		
	<p>Label all circuits on panel box, both new and old, with identification data for its function and location.</p>		

<p>Eliminate all pull-chain type lights in bathroom, closet and kitchen. Replace with wall switch and new fixture in each location. Kitchen to be 13 inches surface mount 2 bulb fixture or equal. Bathroom to be heat / vent / light Builders grade combination fixture or equal. Closet to be surface mount single bulb fixture installed in compliance with National Electrical Code 410.16. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.</p>	<p>LAUNDRY</p>	
<p>Install new Builders grade fan forced electrical heat/vent/light ceiling fixture in bathroom with new wall mount switch. New fixture to be on a new separate circuit. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.</p>	<p>1 TOTAL</p>	
<p>Install new separate (110- 220V) circuits for existing window heat/air conditioner unit (over 5000 btus).</p>	<p>LIVING ROOM, KITCHEN BOTH BEDS</p>	
<p>Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.</p>	<p>KITCHEN, LIVING ROOM, BOTH BEDS</p>	
<p>Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.</p>	<p>ASSURE ALL RECPS, AND SWITCHES ARE IN PROPER OPERATIONAL CONDITION</p>	
<p>Install new wall switches and ceiling lights in the living room, the dining room, the bathroom, each bedroom, kitchen and garage/carpot. Fixture type shall be replaced with the same type as existing. Contractor to field verify each. Finish/Color to match existing.</p>	<p>REPLACE HOOD VENT AND LIGHT IN KITCHEN</p>	
<p>Install new separate 110V circuit duplex receptacle in bathroom and kitchen in compliance with International Residential Code Section 3902.6-8. New circuit to be on ground fault interrupter.</p>		
<p>Remove any existing to install new Builders Grade hard wired smoke detectors in all areas as required in current International Residential Code and manufacturer specifications. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination smoke / carbon monoxide units are acceptable.</p>	<p>4 TOTAL</p>	



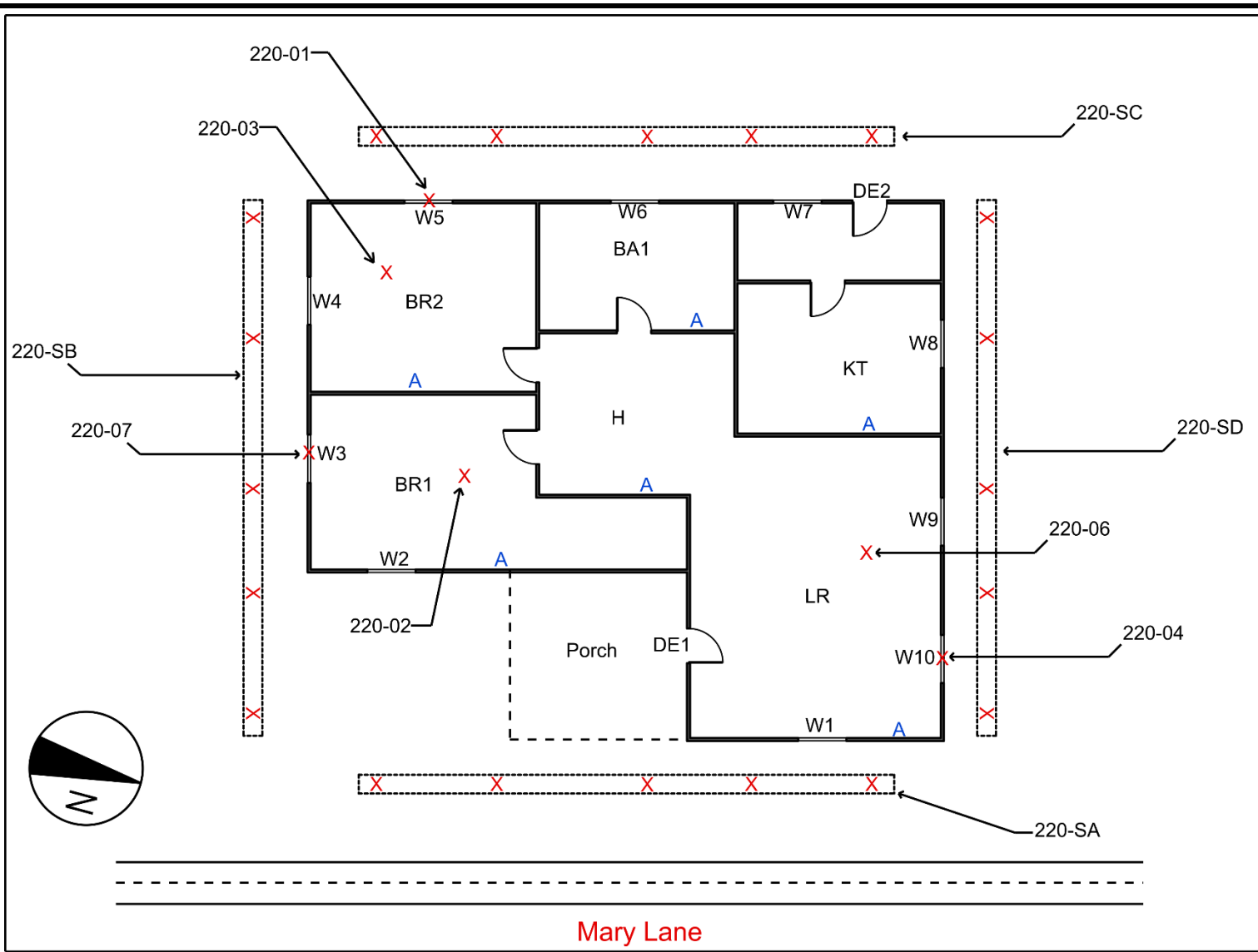
	Remove all standard light bulbs in ceiling fixtures throughout interior and exterior of house (excluding motion lights) and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Contractor to discard or salvage old removed light bulbs so that none are left onsite.	25 TOTAL	
Plumbing	Install supply line cut off valves on all toilet, lavatory and sink lines lacking cut off valves. Replace all leaking or deficient cut off valves with new chrome plated valves. All supply lines and traps shall be equipped with chrome plated escutcheon plates.	KITCHEN SINK	
	Repair/replace all exposed drains under kitchen sink and/or lavatories inside house. This could include basket strainer, tail pieces, continuous waste, p-trap and/or pop-up assemblies. All work shall be in compliance with current International Plumbing Code.	KITCHEN SINK	
	Repair/replace all exposed water supply assembly to fixtures inside house. This may include stops, shut-off valves and flex connectors. Supply lines to be equipped with cut off valves. All work shall be in compliance with current International Plumbing Code.	KITCHEN SINK	
	Remove existing toilet and replace with new standard white Builders grade handicap toilet and seat in bathroom. New toilet to have new wax ring base and sealing compound. New toilet shall be standard white and have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet. This work may include slightly relocating toilet and installing waste arm for required clearances.	1 TOTAL	
	Install standard Builders grade white vinyl tub surround kit around bathtub area. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.	CAULK EXISTING DO NOT REPLACE	
	Install washing machine catch-a-drip drain in wall with hot and cold water supply. Repair any surrounding wall area affected to match existing.		
	Vent water heater to exterior as required by the International Fuel Gas Code.		

	Install new 18in chrome plated grab bar in bathroom in compliance with current ANSI A117.1. Bar to be firmly secured by minimum 1 1/4in screws to studs or sufficient blocking. Repair and finish wall if bracing is added.		
Painting	Paint any newly hung sheetrock in other scopes and/or areas replaced due to physical damage such as holes and severe water stains. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.		
		<b>TOTAL \$</b>	

## 2.1 Scope of Work

Base Scope 220 Mary Lane Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Exterior Wall C	Window Sill, Sash, Frame, and Casing	Wood	White	3 Windows	<sup>1</sup> Remove and Replace Component
Exterior Wall B	Window Sill, Sash, Frame, and Casing	Wood	White	3 Windows	<sup>1</sup> Remove and Replace Component
Exterior Wall D	Window Sill, Sash, Frame, and Casing	Wood	White	3 Windows	<sup>1</sup> Remove and Replace Component
Bedroom 1	Window Sill, Sash, Frame, and Casing	Wood	White	1 Window	<sup>1</sup> Remove and Replace Component
Bedroom 1	Windowsills	Bedroom 1	-	-	Specialized Cleaning
Bedroom 2	Windowsills	Bedroom 2	-	-	Specialized Cleaning
Alternate Scope 220 Mary Lane Alexandria, LA					
Room/Area	Component	Substrate	Color	Treatment	Quantity
Exterior Wall A	Door Casing	Wood	Gray	Paint Stabilization	1 Casing

<sup>1</sup> Removal will include window casings and sills of impacted window system's corresponding interior/exterior locations.

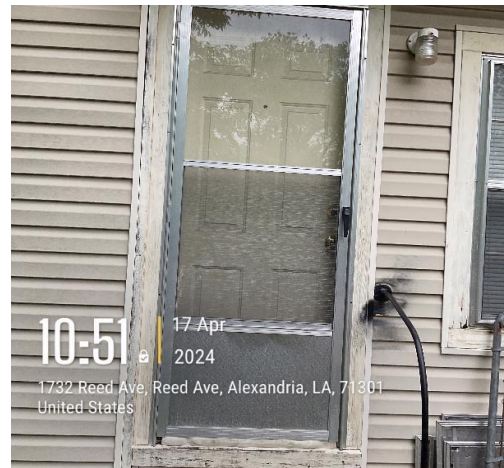
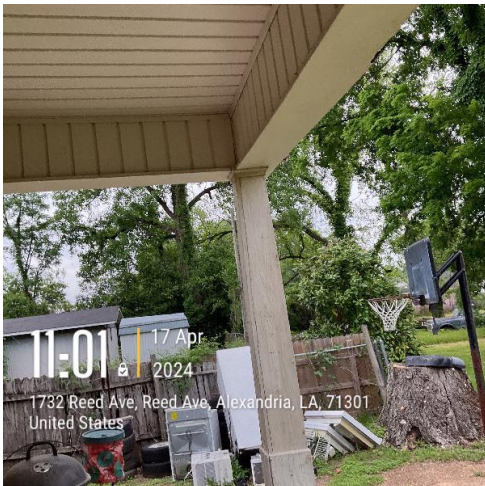
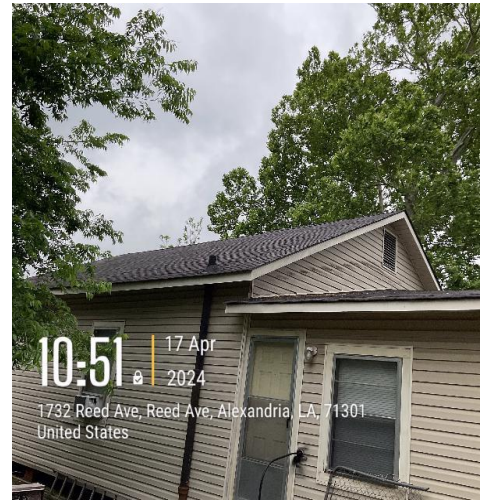
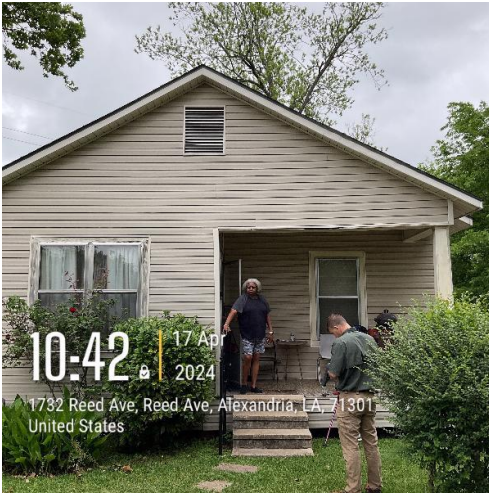


220 Mary Lane  
Alexandria, LA

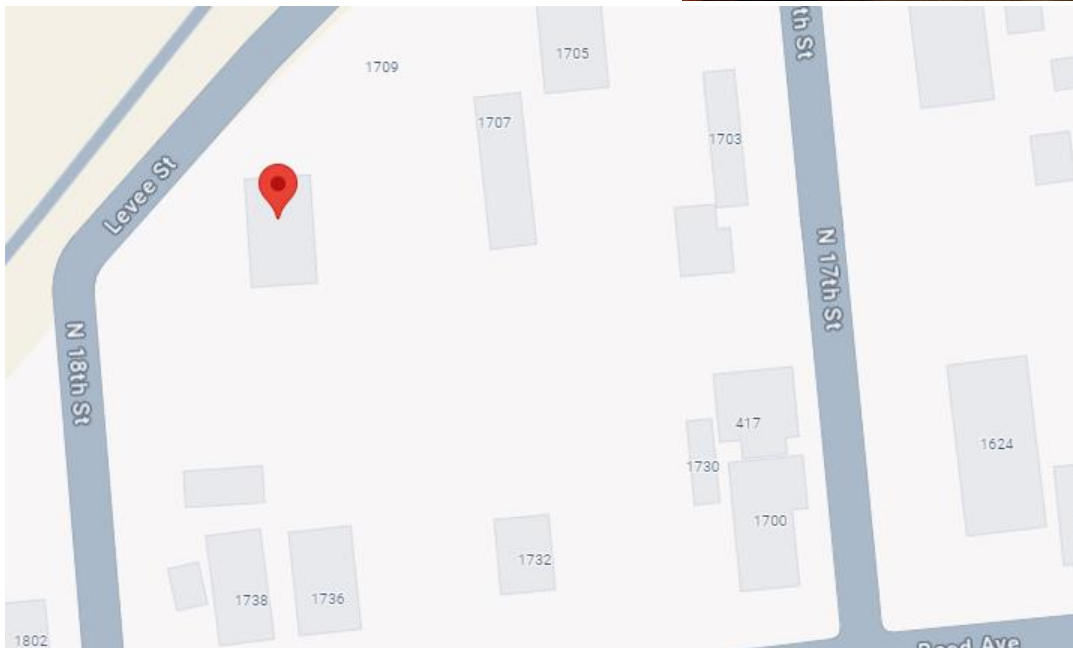
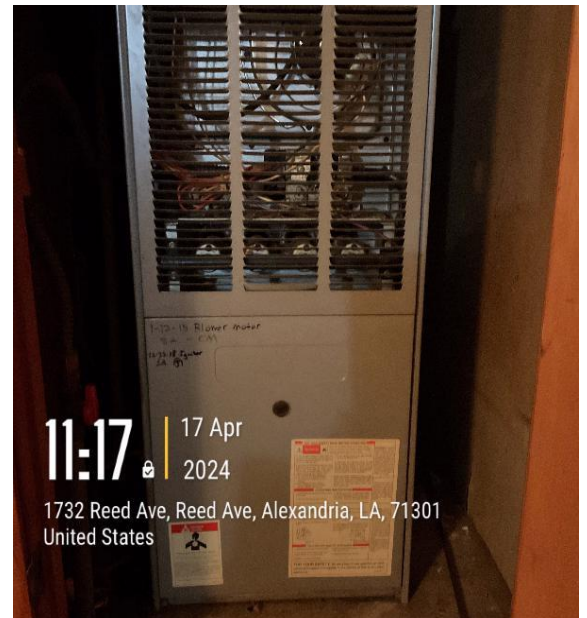
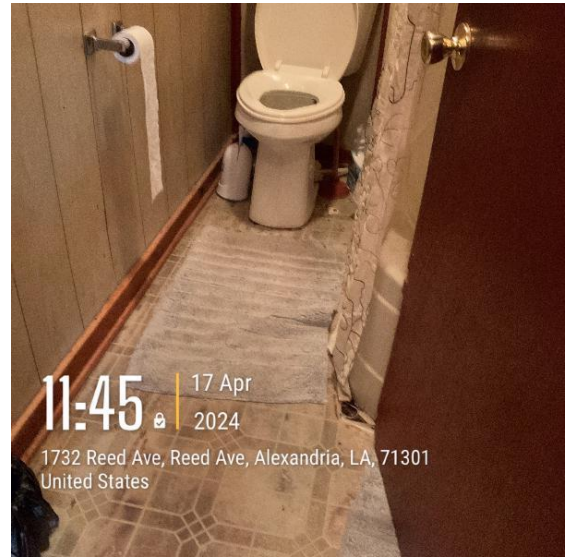
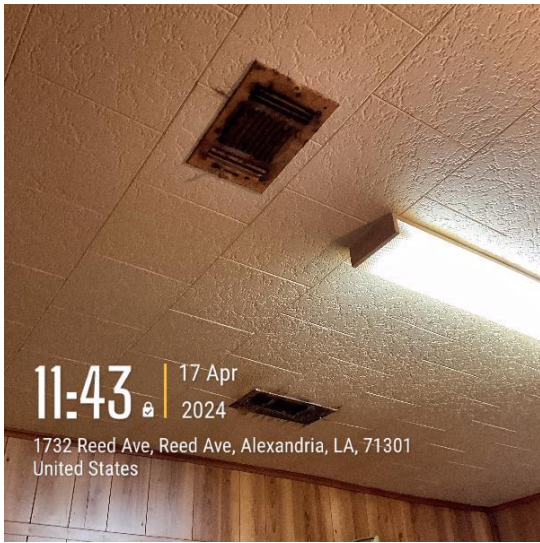
Lead Inspection/Risk Assessment  
Site Drawing

MPN #: **CD-14990**

Street Address: **400 N. 18<sup>th</sup> Street**









<b>Case Number: CD-14990</b> <b>Address: 400 NORTH 18TH STREET</b> <b>Inspection Date: 4/29/2024</b>	<b>Sondra Wilson</b> <b>(757) 450-8503</b>
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Category	Question	Comment	Amount
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	This home has tested positive for lead-based paint.		
Roof	<p>Remove existing roof assembly and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of new 15# felt, continuous ridge vent, shingle laced valleys with ice and water underlayment, new flashing, new roof jacks and new drip edge. Remove deteriorated decking material and replace with material of same thickness or replace an entire section with minimum 7/16" osb. Remove roof jacks and replace existing roof turbines with continuous ridge vent. Use same decking thickness of existing or minimum 7/16" osb decking to cover holes from roof turbines removed. Remove all roofing debris from jobsite. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Weathered Wood shall be the standard color selection or equal. Install per manufacturers specs. Contractor shall be responsible to walk the roof to try to locate soft decking spots that will need to be replaced and tour the inside of the house and attic to determine deteriorated decking and/or water damage spots. Contractor shall also be responsible to verify number of layers to be removed and proper decking method for new installation. Contractor shall include all work listed in the bid price submitted. No change orders for unforeseen layers or inadequate decking will be allowed. *Contractor is responsible to call for a Roof Decking inspection and a Building Final inspection.</p>		
	<p>Remove swag from roof and level. Replace all broken, rotten or deficient rafters, decking, felt and shingles as necessary to correct the roof swag. Reframe in compliance with International Residential Code requirements. Replacement materials shall be minimum 7/16 inches osb decking, 15# felt and 25 year shingles. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Color to match remaining shingles as much as possible. Install per manufacturer specs. Contractor to factor in possible damage or cracking to ceilings or walls below in the course of repair. Contractor shall include all work listed in the bid price submitted. No change orders to replace unforeseen materials will be allowed. *Contractor is responsible to call for a Framing inspection once all framing members are replaced. Contractor is responsible to call for a Building Final inspection once all work is complete.</p>	RIGHT SIDE	

Carpentry	Redeck porch with new #2 grade treated lumber. Decking shall be uniform and tight in fit. All rotten, broken or deficient joists and sills shall be replaced of minimum size to support the load as defined in current International Residential Code. Treated lumber shall remain unfinished with regard to stain or paint finish.	REDECK FRONT PORCH,	
	If porch is greater than 30in above grade, install pre-finished aluminum / metal handrail, minimum of 36in high, secured at floor, columns and/or exterior wall. Installed in compliance with current International Residential Code. Century Group Model #P11047SR or equal. Modify onsite to fit length.		
	Install new Builders grade aluminum exterior storm door over existing exterior doors. Croft Storm Door, Gibraltar Series, Self-Storing (1/2 door has operable screened opening) Door or equal, mill or white finish. Doors to have 3 1/8" x 1 1/4" thick aluminum frame, four hinges, a standard kickplate, heavy duty pneumatic closer, shatter resistant tempered safety glass, aluminum or vinyl screen, and adjustable bottom sweep. Make all necessary adjustments to frame for proper operation. Irregular door sizes shall be custom made to ensure proper fit in existing door frames.	REAR ENTRANCE	
	Re-nail all loose wood siding. Nails to be finishing nails, countersunk and puttied.	VINYL SIDING	
	Replace damaged existing exterior wall siding, corner boards, window and/or door trim with like materials. Prime and paint all new lumber to match existing. Do not paint over soffit vents. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	WOOD WINDOW TRIM	
	Remove, replace and/or repair all broken, cracked, or deficient sheetrock in walls and ceilings. Sheetrock thickness to match existing but no less than 3/8 inch thick. Tape and mud float all joints with feathered edges. Fill all holes. Sand and texture sheetrock to match adjacent finish. Inspection required prior to painting. Prime and paint new sheetrock to match existing color. If removal of crown, base and/or shoe mould is required to replace sheetrock, then the replacement of the same shall also be replaced with new. Prime and paint / stain all new wood trim to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	WOOD PANELING	
	Replace all interior door locksets with Builders grade equivalent. Use privacy locksets on bedroom and bathroom doors. Use passage locksets on closets. Door hardware color shall match existing.	BED 1 BI-FOLD CLOSET	
Electrical	Label all circuits on panel box, both new and old, with identification data for its function and location.		

<p>Install new Builders grade fan forced electrical heat/vent/light ceiling fixture in bathroom with new wall mount switch. New fixture to be on a new separate circuit. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.</p>	<p>1 TOTAL</p>	
<p>Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.</p>	<p>SPLIT CIRCUITS IN KITCHEN ALL APPLIANCES, AND ALL 4 BEDROOMS [TV AREA], LIVINGROOM</p>	
<p>Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.</p>	<p>ASSURE ALL RECPTS ARE IN PROPER OPERATING CONDITION, INCLUDING MISSING COVER PLATES</p>	
<p>Install new wall switches and ceiling lights in the living room, the dining room, the bathroom, each bedroom, kitchen and garage/carpot. Fixture type shall be replaced with the same type as existing. Contractor to field verify each. Finish/Color to match existing.</p>	<p>FIXTURE AND SWITCH FOR LIGHT OVER SINK, FIXTURE AND SWITCH OVER VANITY IN BATH, FAN AND LIGHT KIT FOR 1-4</p>	
<p>Install new Builders grade exterior porch light fixture. All fixtures to be controlled by inside switches. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.</p>	<p>FRONT PORCH FIXTURE ONLY</p>	
<p>Install new separate 110V circuit duplex receptacle in bathroom and kitchen in compliance with International Residential Code Section 3902.6-8. New circuit to be on ground fault interrupter.</p>	<p>INSTALL NEW, KITCHEN AND BATH</p>	
<p>Remove any existing to install new Builders Grade hard wired smoke detectors in all areas as required in current International Residential Code and manufacturer specifications. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination smoke / carbon monoxide units are acceptable.</p>	<p>7 TOTAL</p>	
<p>Remove any existing to install new Builders Grade hard wired carbon monoxide detector in all areas as required in current International Residential Code and International Fuel Gas Code and manufacturers specifications. When more than one carbon monoxide detector is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination units smoke / carbon monoxide units are acceptable.</p>	<p>7 TOTAL</p>	
<p>Remove all standard light bulbs in ceiling fixtures throughout interior and exterior of house (excluding motion lights) and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Contractor to discard or salvage old removed light bulbs so that none are left onsite.</p>	<p>36 TOTAL</p>	

Plumbing	Install supply line cut off valves on all toilet, lavatory and sink lines lacking cut off valves. Replace all leaking or deficient cut off valves with new chrome plated valves. All supply lines and traps shall be equipped with chrome plated escutcheon plates.	BATH	
	Repair/replace all exposed drains under kitchen sink and/or lavatories inside house. This could include basket strainer, tail pieces, continuous waste, p-trap and/or pop-up assemblies. All work shall be in compliance with current International Plumbing Code.	BATH	
	Repair/replace all exposed water supply assembly to fixtures inside house. This may include stops, shut-off valves and flex connectors. Supply lines to be equipped with cut off valves. All work shall be in compliance with current International Plumbing Code.		
	Remove existing toilet and replace with new standard white Builders grade handicap toilet and seat in bathroom. New toilet to have new wax ring base and sealing compound. New toilet shall be standard white and have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet. This work may include slightly relocating toilet and installing waste arm for required clearances.	TOTAL 1	
	Remove existing lavatory countertop and sink in bathroom, replace with new prefab non-porous countertop with preformed white sink bowl. New non-porous countertop to include preformed backsplash and both sidesplashes (of same non-porous material) if the room configuration has walls on both sides of the countertop. New faucet to be of cast metal construction in chrome or brass finish, with brass valve stems with replaceable neopryne washers and removable seats. Supply lines shall have cut off valves and chrome plated escutcheon plates.	INSTALL NEW VANITY, SINK AND FAUCET	
	Remove existing tub, faucet and drain assembly, replace with new Builders grade one piece standard (or 4 piece kit if necessary for accessibility) white prefabricated fiberglass handicap accessible walk-in / roll-in shower stall 3ft x 5 ft, with prefabricated bench seat and complete with brass waste and shower faucet and spray head. (Tub width may have to be 32 inch to match existing available opening). Installation shall be in compliance with the current International Residential Code and International Plumbing Code. Faucet finish to be brass or chrome. *If existing wall tile must be removed for adequate fit and/or new end cap stud wall is needed, frame / surface / finish as needed to match existing walls. Vinyl to be glued to minimum 3/8 inches plywood securely glued and encased in cap molding. Use NO nails in tileboard.	INSTALL NEW WALK-IN TUB WITH SHOWER SPRAY, FAUCETS AND DRAINS	
	Install standard Builders grade white vinyl tub surround kit around bathtub area. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.	SURROUND FOR WALK-IN TUB	

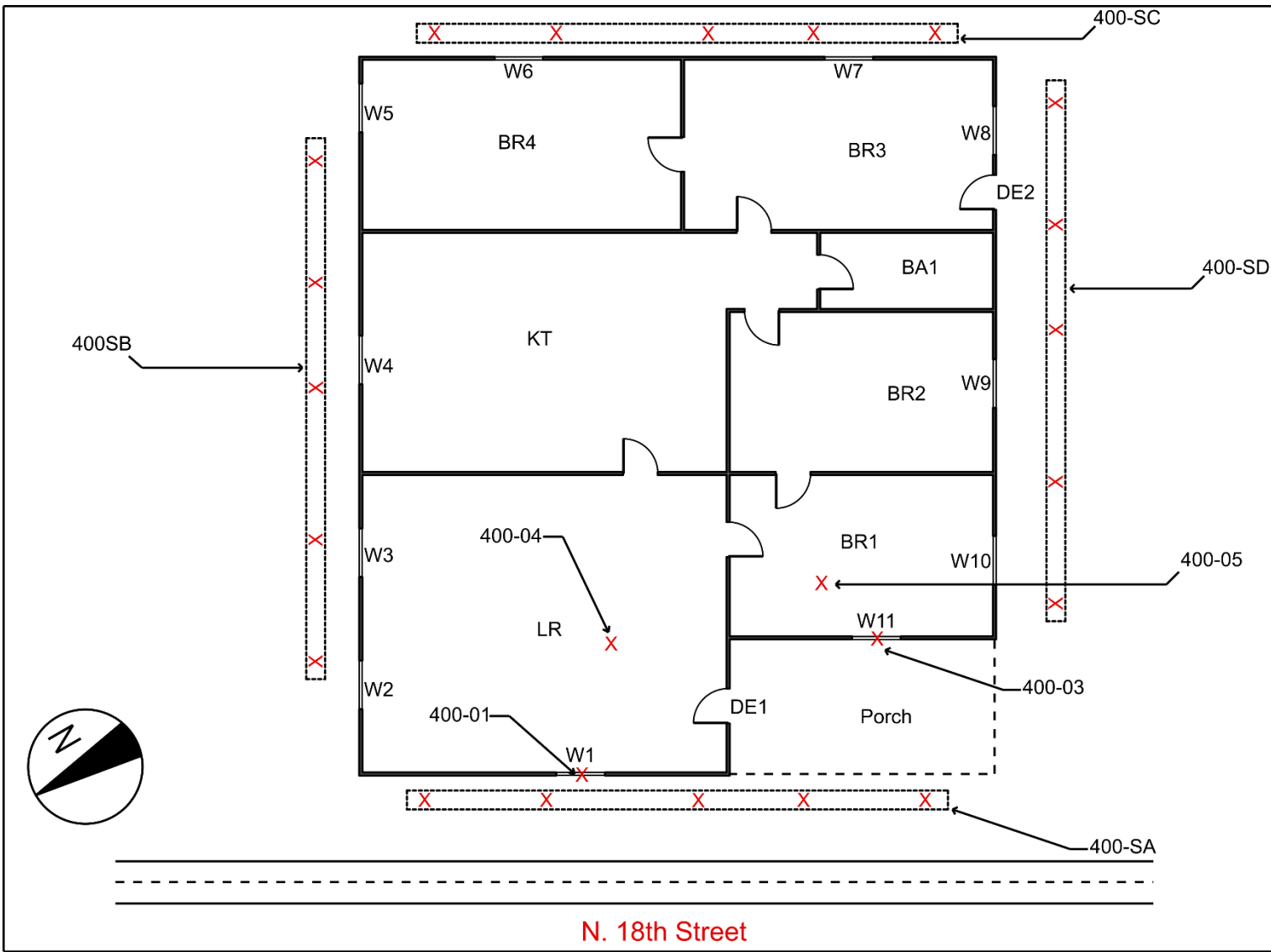
	Remove/replace customer sewer service line from clean-out at drains lines to tap. Installation shall include a clean-out, if one does not exist.	ADDRESS OPEN 3/4 PVC LINE ON LEFT SIDE OF HOUSE, DRAIN LINE	
	Install new 18in chrome plated grab bar in bathroom in compliance with current ANSI A117.1. Bar to be firmly secured by minimum 1 1/4in screws to studs or sufficient blocking. Repair and finish wall if bracing is added.	TOILET AND WALK-IN TUB	
Mechanical	Install new Builders grade central heating and cooling system of adequate tonnage to service the interior volume of the structure. Unit shall be all electric. Install programmable wall mounted thermostat. Return air vent to be installed as practicable for proper function of the unit. This shall include new thermostat, plenum, compressor, duct work, registers, etc. Install as per International Residential code and manufacturer specs. Licensed Mechanical Contractor shall make installations and be responsible for warranty.	REPLACE ENTIRE SYSTEM, INCLUDING DUCTS, IF NOT THE CORRECT SIZE AND R VALUE, PLENUM, REGISTERS AND GRILLS, GAS HEAT	
Painting	Repaint / restrain existing and/or new molding, casing & trim to match existing walls to match existing trim. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	PAINT NEW TRIM AS NEEDED	
	Repaint / restrain existing and/or new interior doors and casing trim. Doors to be covered with product on both sides of door and all 4 edges of door thickness. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	BI-FOLD DOOR IN BED 1	
Exterior/Interior Paint/Stain Specification (LEAD)	Paint shall be mixed and applied in accordance with manufacturers specifications, including temperature recommendations. Paint brand to be Benjamin Moore or equal. Previously painted/stained wood shall be thoroughly cleansed of peeling, blistered or razed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All nail holes shall be filled, sanded and covered. All surfaces shall be smooth and clean prior to painting/staining. All wood shall receive enough coats to provide adequate coverage but no less than two (2) full strength coats. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Prime and paint exposed side of materials to match existing. Use best practices to prevent splatter, dripping or spray onto other surfaces and clean / remove any created. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.		
		<b>SUBTOTAL \$</b>	

<b>ADD ALTERNATE</b>	Remove existing deteriorated subfloor and replace with new framing members and floor decking of #2 standard grade minimum. Framing members and floor decking shall be adequately sized to support the dead and live load weight it holds in accordance with current International Residential Code. If supporting floor is concrete slab, flash patch / shave / grind all cracks at joints to ensure the floor is level and void of humps or cavities. Install patternless sheet vinyl, per manufacturers specifications and warranty, with appropriate thresholds, carpet bars and new finished shoe mold to match existing finish. Installation shall be free of ripples or raised pockets. Edges shall be cut to tightly fit corners, minimal joints and minimize the appearance of the room being unsquare. If vinyl is in visible proximity, the direction of the pattern shall be the same. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	+/- 1500 SF; 'REMOVE EXISTING CARPET, AND INSTALL SHEET VINYL FLOORING THROUGHOUT, INSTALL BASE AND SHOE BASE AS NEEDED, APPROX 1500 SQ FT.	
<b>ADD ALTERNATE</b>	Repaint ceiling. Fill all holes and sand. First coat shall be KILZ paint product or equal if smoke or water damage is evident. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	APPROX 1500 SQ FT	
		<b>ADD ALTERNATES SUBTOTAL \$</b>	
		<b>TOTAL \$</b>	



## 2.1 Scope of Work

Base Scope 400 North 18 <sup>th</sup> Street Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Exterior Wall A	Column	Wood	Beige	1 Column	Paint Stabilization
Exterior Wall A	Column	Brick	Beige	1 Column	Paint Stabilization

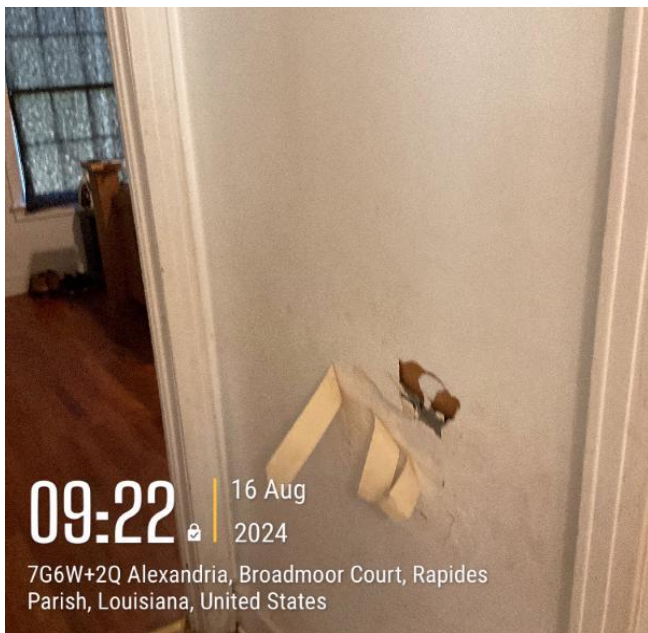


400 N. 18th Street  
Alexandria, LA

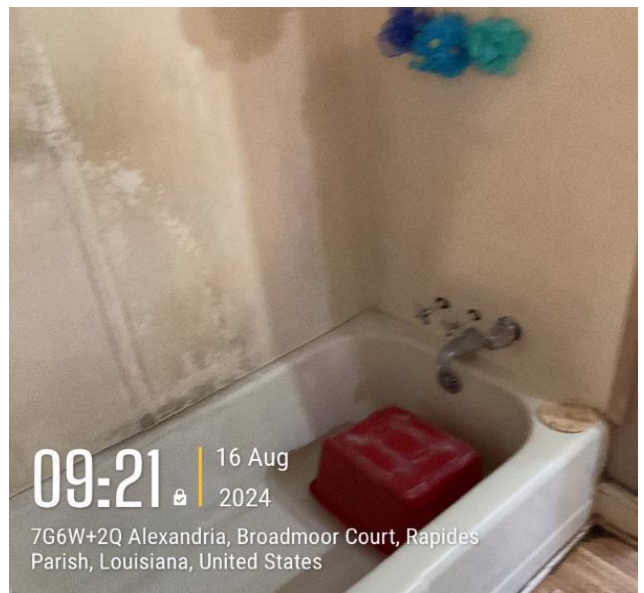
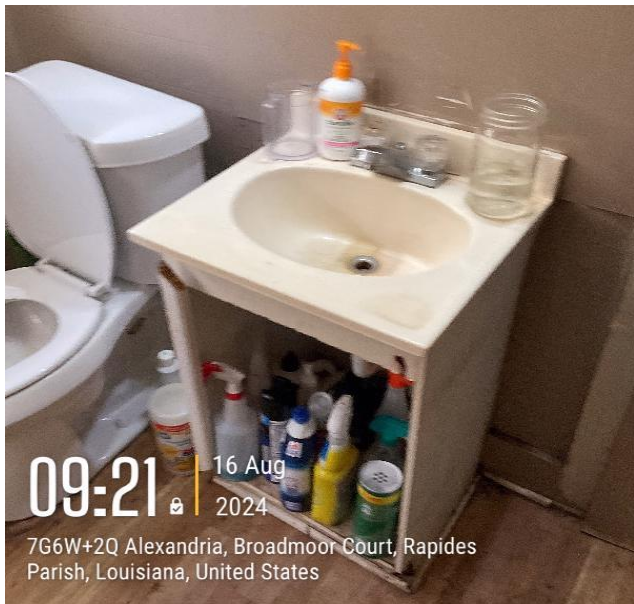
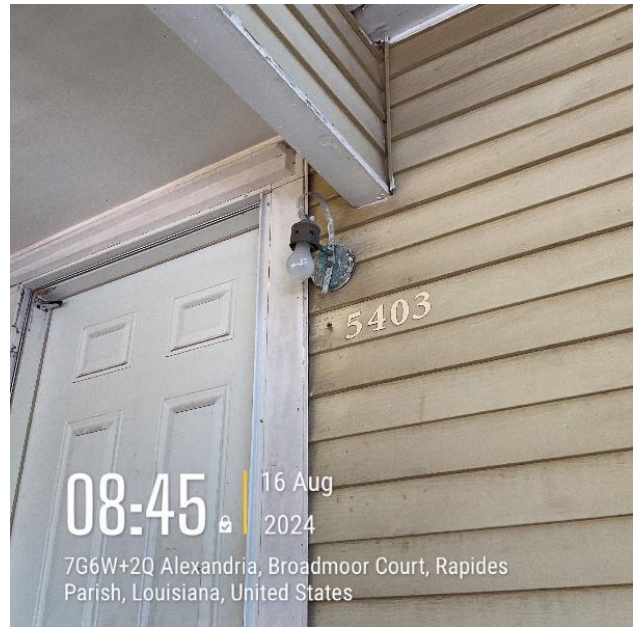
Lead Inspection/Risk Assessment  
Site Drawing

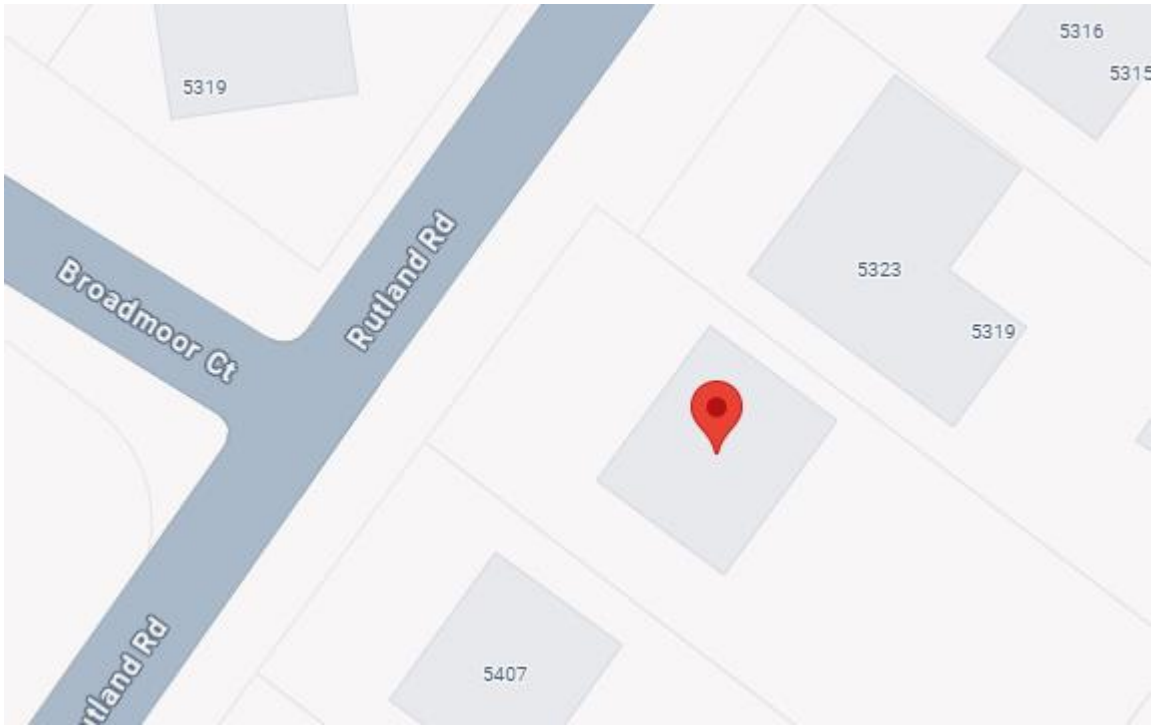
MPN #: **CD-15077**

Street Address: **5403 Rutland Road**









Case Number: CD-15077 Address: 5403 RUTLAND ROAD Inspection Date: 8/21/2024	Rochelle Lee (318) 344-8459
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Category	Question	Comment	Amount
	This home has tested positive for lead-based paint.		
Carpentry	Redeck porch with new #2 grade treated lumber. Decking shall be uniform and tight in fit. All rotten, broken or deficient joists and sills shall be replaced of minimum size to support the load as defined in current International Residential Code. Treated lumber shall remain unfinished with regard to stain or paint finish.	REPAIR CEILING AND SUPPORT BEAMS ON FRONT PORCH	
	If porch is greater than 30in above grade, install pre-finished aluminum / metal handrail, minimum of 36in high, secured at floor, columns and/or exterior wall. Installed in compliance with current International Residential Code. Century Group Model #P11047SR or equal. Modify onsite to fit length.	INSTALL HANDRAILS TO FRONT AND REAR ENTRANCES	
	Demolish existing exterior water heater closet and replace with pre-fabricated exterior water heater closet unit. Foundation / slab for pre-fab unit shall be included, along with adequately sized new but minimum sized 40 gal water heater to replace old water heater. Exterior closet unit shall include roof cover and door for service accessibility. All work required to have the water heater unit contained and operational shall be required. Installation shall be in compliance with current International Residential Code. *CmDv approval required prior to purchase of prefab unit.	W/H CLOSET COMPLETE WITH DOOR AND HARDWARE	
	Remove existing deteriorated roof assembly and replace with 2in x 4in treated rafters with drop shed type roof with 7/16in osb decking with 15# felt, drip edge and 3 tab asphalt shingles to match existing with metal pre formed flashing into siding of house. Installation shall be in compliance with current International Residential Code.		



<p>Remove existing to install new 3ft-0in x 6ft-8in minimum metal factory pre-primed and pre-hung exterior door unit with 1in x 4in o/s trim. Door unit to have built in weather stripping and threshold. All hinges, screws, passage lockset and trim to be new. Door to be flush and plumb with walls. Door(s) shall remain in manufacturer's pre-primed finish.</p>		
<p>Install new Builders grade aluminum exterior storm door over existing exterior doors. Croft Storm Door, Gibraltar Series, Self-Storing (1/2 door has operable screened opening) Door or equal, mill or white finish. Doors to have 3 1/8" x 1 1/4" thick aluminum frame, four hinges, a standard kickplate, heavy duty pneumatic closer, shatter resistant tempered safety glass, aluminum or vinyl screen, and adjustable bottom sweep. Make all necessary adjustments to frame for proper operation. Irregular door sizes shall be custom made to ensure proper fit in existing door frames.</p>	<p>FRONT AND REAR ENTRANCES</p>	
<p>Remove existing damaged windows, framing and casing / trim to repair or replace with new. The window shall be a complete unit assembly in white finish. Replace damaged framing lumber with new #2 or better grade lumber. Replace with double paned vinyl windows, factory weatherstripped with full locking capabilities. Caulk around frames with acrylic latex caulking to prevent any air infiltration. Include new screens on all operable portion of windows. Irregular size units shall be custom made to fit properly. If exact size to match existing is not available, wall / header / frame modification may be required. At least one window must be of adequate size in each bedroom to meet emergency egress escape requirements of the current International Residential Code. Prep and paint all new wood installed to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>3 WINDOWS</p>	
<p>Re-nail all loose wood siding. Nails to be finishing nails, countersunk and puttied.</p>	<p>SECURE ALUMINUM SIDING</p>	

	<p>Replace damaged existing exterior wall siding, corner boards, window and/or door trim with like materials. Prime and paint all new lumber to match existing. Do not paint over soffit vents. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>INSTALL ALUMINUM SIDING AS NEEDED [ MISSING OR DAMAGED]</p>	
	<p>Remove existing damaged attic pull-down stair and replace with new Builders grade. Adequate length for existing ceiling heights.</p>	<p>INSTALL NEW IN HALL AREA</p>	
	<p>Remove, replace and/or repair all broken, cracked, or deficient sheetrock in walls and ceilings. Sheetrock thickness to match existing but no less than 3/8 inch thick. Tape and mud float all joints with feathered edges. Fill all holes. Sand and texture sheetrock to match adjacent finish. Inspection required prior to painting. Prime and paint new sheetrock to match existing color. If removal of crown, base and/or shoe mould is required to replace sheetrock, then the replacement of the same shall also be replaced with new. Prime and paint / stain all new wood trim to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>CEILINGS AND WALLS</p>	
Electrical	<p>Rebuild electric service from transformer to house, as needed, to minimum 200 amps. New service shall include new copper ground rod. Shall be in compliance with current National Electrical Code and City Ordinances.</p>		
	<p>Label all circuits on panel box, both new and old, with identification data for its function and location.</p>		
	<p>Install new Builders grade fan forced electrical heat/vent/light ceiling fixture in bathroom with new wall mount switch. New fixture to be on a new separate circuit. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.</p>	<p>BATH</p>	

<p>Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.</p>	<p>LIVING ROOM, KITCHEN, BEDS 1-2, LIVING ROOM +2 RECEPTACLES AND BED 1 + 1 RECEPTACLES</p>	
<p>Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.</p>		
<p>Install new wall switches and ceiling lights in the living room, the dining room, the bathroom, each bedroom, kitchen and garage/carpot. Fixture type shall be replaced with the same type as existing. Contractor to field verify each. Finish/Color to match existing.</p>	<p>NEW FAN AND LIGHT KIT IN BED 1-2, FIXTURES IN HALL KITCHEN AND DINING, SWITCHES FOR ALL</p>	
<p>Install new Builders grade exterior porch light fixture. All fixtures to be controlled by inside switches. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.</p>	<p>FRONT AND REAR ENTRANCES</p>	
<p>Install new separate 110V circuit duplex receptacle in bathroom and kitchen in compliance with International Residential Code Section 3902.6-8. New circuit to be on ground fault interrupter.</p>		
<p>Remove any existing to install new Builders Grade hard wired smoke detectors in all areas as required in current International Residential Code and manufacturer specifications. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination smoke / carbon monoxide units are acceptable.</p>	<p>5 TOTAL</p>	
<p>Remove any existing to install new Builders Grade hard wired carbon monoxide detector in all areas as required in current International Residential Code and International Fuel Gas Code and manufacturers specifications. When more than one carbon monoxide detector is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination units smoke / carbon monoxide units are acceptable.</p>	<p>5 TOTAL</p>	

	Remove all standard light bulbs in ceiling fixtures throughout interior and exterior of house (excluding motion lights) and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Contractor to discard or salvage old removed light bulbs so that none are left onsite.	30 TOTAL	
Plumbing	Install supply line cut off valves on all toilet, lavatory and sink lines lacking cut off valves. Replace all leaking or deficient cut off valves with new chrome plated valves. All supply lines and traps shall be equipped with chrome plated escutcheon plates.		
	Repair/replace all exposed drains under kitchen sink and/or lavatories inside house. This could include basket strainer, tail pieces, continuous waste, p-trap and/or pop-up assemblies. All work shall be in compliance with current International Plumbing Code.		
	Repair/replace all exposed water supply assembly to fixtures inside house. This may include stops, shut-off valves and flex connectors. Supply lines to be equipped with cut off valves. All work shall be in compliance with current International Plumbing Code.		
	Replace all leaking or deficient traps, wastes, and valves, replace with new Builders grade equivalent.		
	Remove existing faulty gas cock, replace with new Builders grade equivalent.		
	Remove existing toilet and replace with new standard white Builders grade handicap toilet and seat in bathroom. New toilet to have new wax ring base and sealing compound. New toilet shall be standard white and have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet. This work may include slightly relocating toilet and installing waste arm for required clearances.		

<p>Remove existing lavatory countertop and sink in bathroom, replace with new prefab non-porous countertop with preformed white sink bowl. New non-porous countertop to include preformed backsplash and both sidesplashes (of same non-porous material) if the room configuration has walls on both sides of the countertop. New faucet to be of cast metal construction in chrome or brass finish, with brass valve stems with replaceable neopryne washers and removable seats. Supply lines shall have cut off valves and chrome plated escutcheon plates.</p>	<p>COMPLETE NEW VANITY, WITH TOP, SINK, FAUCETS AND HARDWARE</p>	
<p>Remove existing tub, faucet and drain assembly, replace with new Builders grade one piece standard (or 4 piece kit if necessary for accessibility) white prefabricated 3ft x 5ft fiberglass tub/shower combination, complete with brass waste and tub faucet and shower head. (Tub width may have to be 32 inch to match existing available opening). Installation shall be in compliance with the current International Residential Code and International Plumbing Code. Faucet finish to be brass or chrome. *If existing wall tile must be removed for adequate fit and/or new end cap stud wall needed, frame / surface / finish as needed to match existing walls. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.</p>	<p>COMPLETE WITH SURROUND, FAUCETS AND DRAINS</p>	
<p>Install standard Builders grade white vinyl tub surround kit around bathtub area. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.</p>	<p>INCLUDED WITH TUB</p>	
<p>Remove existing kitchen sink and faucet to replace/install new Builders grade 7 inch deep double compartment stainless steel sink and trim in kitchen. Secure per manufacturer feets specs. Sink faucet to be chrome or brass finish, cast metal with brass valve stems with replaceable neoprene washers and removable seats. Strainer basket(s) to be stainless steel. Wastes to be pvc. Supply lines to be chrome plated brass with cut off valves, complete with escutcheon plates.</p>		

	<p>Remove existing to install new adequately sized (but not less than 40 gallon) gas water heater per manufacturer specifications and in compliance with the current International Plumbing Code, International Fuel Gas Code and International Residential Code. Water heater to have gas cock and water inlet cut off valves. Rheem Energy Miser or agency approved equal. Vent water heater to exterior as required by code. If unit is installed in attic, bracing, service platforms and walkways shall be required. If there is adequate space, the old water heater may remain in place as long as it is drained and disabled. Contractor shall be responsible to confirm adequate space within existing current water heater location for the replacement of new, as size may be different than original tank. If new unit must be relocated, Contractor shall budget for relocation in price submittal because a change order will not be allowed. *Contractor to have scheduled a GSW Repair/Replace inspection for immediately after water heater is replaced.</p>		
	Vent water heater to exterior as required by the International Fuel Gas Code.		
	Repair/replace/repipe building drain lines under house up to building sewer service line. Install clean-out at junction. Old drain lines may remain in place, due to limited working space, if disconnected from building sewer line, when the entire drain lines are being replaced.	LEAKS AT KITCHEN AREA, RIGHT SIDE	
	Repair/replace water distribution lines under house up to building water service line. Install shut-off valve assembly at junction or at back side of meter. Old water lines may remain in place, due to limited working space, if disconnected from water service line, when the entire supply lines are being replaced.	REPAIR LEAKS ON RIGHT SIDE, KITCHEN AREA	
	Install new 18in chrome plated grab bar in bathroom in compliance with current ANSI A117.1. Bar to be firmly secured by minimum 1 1/4in screws to studs or sufficient blocking. Repair and finish wall if bracing is added.		
Mechanical	Repair existing central heating and cooling system to operable working condition. This could include thermostat, plenum, compressor, duct work, registers, etc. Licensed Mechanical Contractor to determine repairs necessary.	REPAIR DRAIN LINES, LEAKS AT REAR OF HOUSE IN SOFFIT	

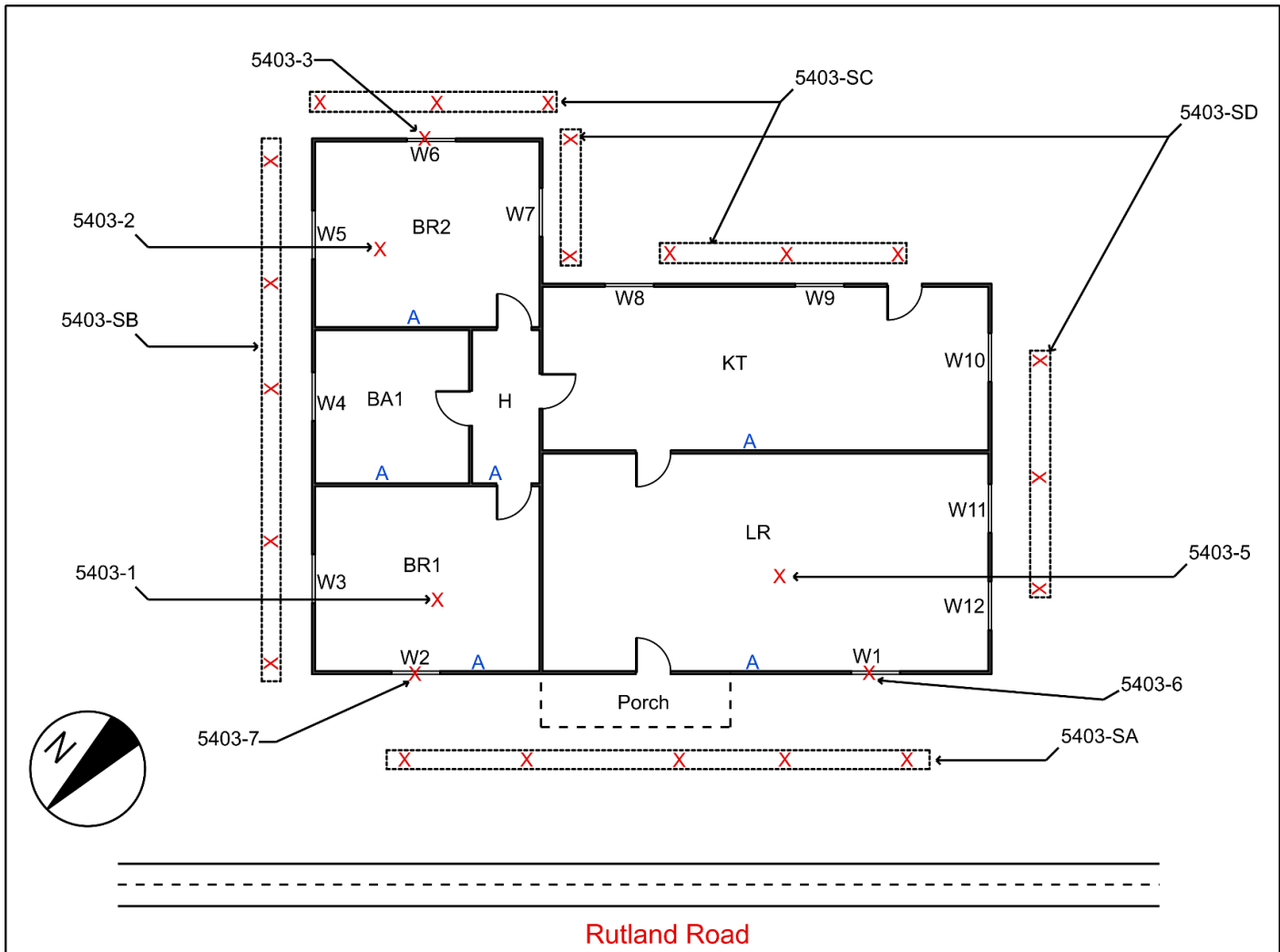


Painting	Paint any newly hung sheetrock in other scopes and/or areas replaced due to physical damage such as holes and severe water stains. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	ALL AREAS	
	Repaint / restain existing and/or new molding, casing & trim to match existing walls to match existing trim. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	NEW WINDOW TRIM	
	Paint any scuttle hole covers and/or pull-down attic stairs door in other scopes. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.		
	Repaint / restain existing and/or new interior doors and casing trim. Doors to be covered with product on both sides of door and all 4 edges of door thickness. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	BATH BEDS 1-2	
		<b>TOTAL \$</b>	

## 2.1 Scope of Work

Base Scope 5403 Rutland Road Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Exterior Wall A	Window Sash, Sill, Casing, and Frame	Wood	White	3 Windows	<sup>1</sup> Remove and Replace Component
Exterior Wall A	Fascia	Wood	White	70 LF	Paint Stabilization
Exterior Wall B	Window Sash, Sill, Casing, and Frame	Wood	White	3 Windows	<sup>1</sup> Remove and Replace Component
Exterior Wall C	Window Sash, Sill, Casing, and Frame	Wood	White	4 Windows	<sup>1</sup> Remove and Replace Component
Bedroom 2	Windowsills	-	-	-	Specialized Cleaning
Alternate Scope 5403 Rutland Road Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Exterior Wall A	Support (Wall Cap)	Wood	White	15 SF	Paint Stabilization
Exterior Wall A	Soffit	Wood	White	100 SF	Paint Stabilization
Exterior Wall B	Soffit	Wood	White	70 SF	Paint Stabilization
Exterior Wall C	Soffit	Wood	White	100 SF	Paint Stabilization

<sup>1</sup> Removal will include window casings and sills of impacted window system's corresponding interior/exterior locations.



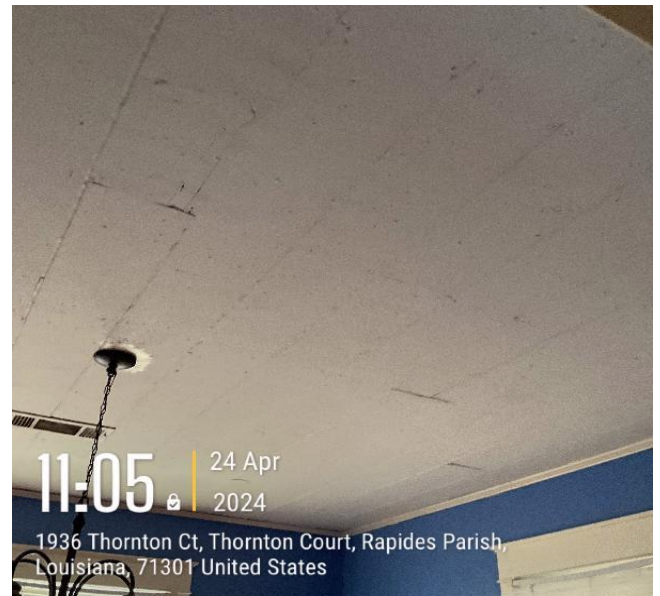
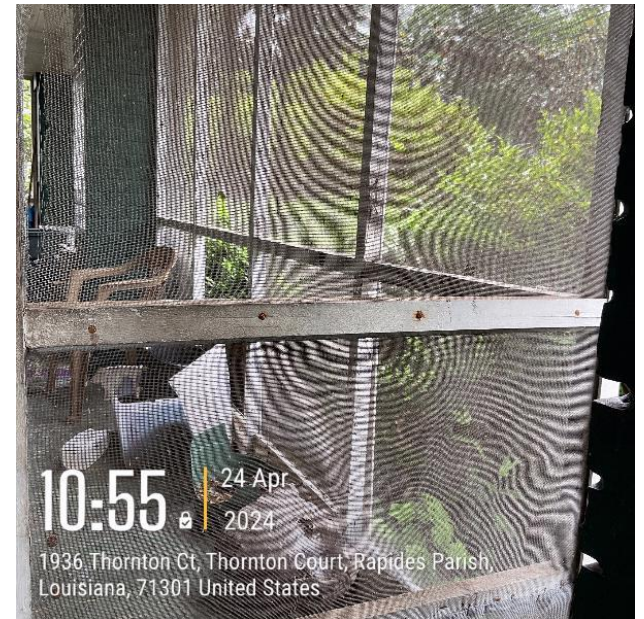
5403 Rutland Road  
Alexandria, LA

Lead Inspection/Risk Assessment  
Site Drawing

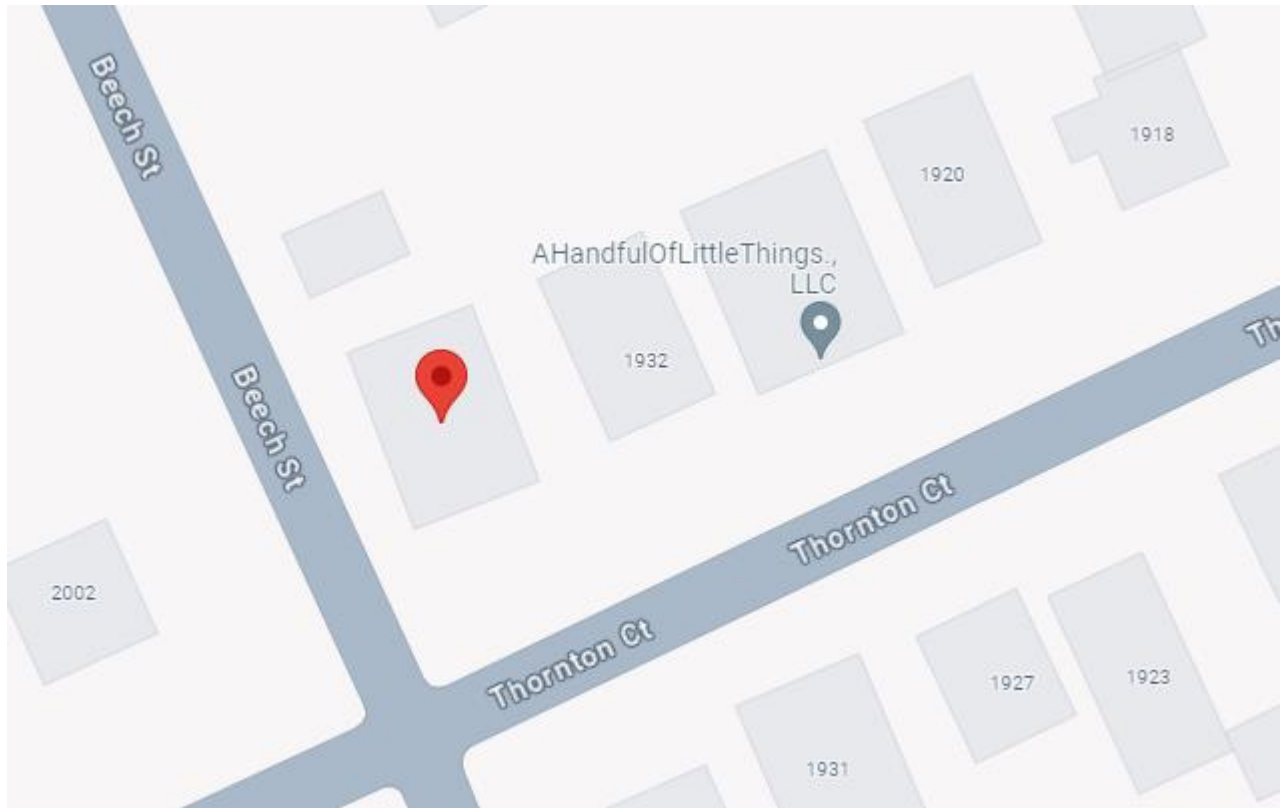
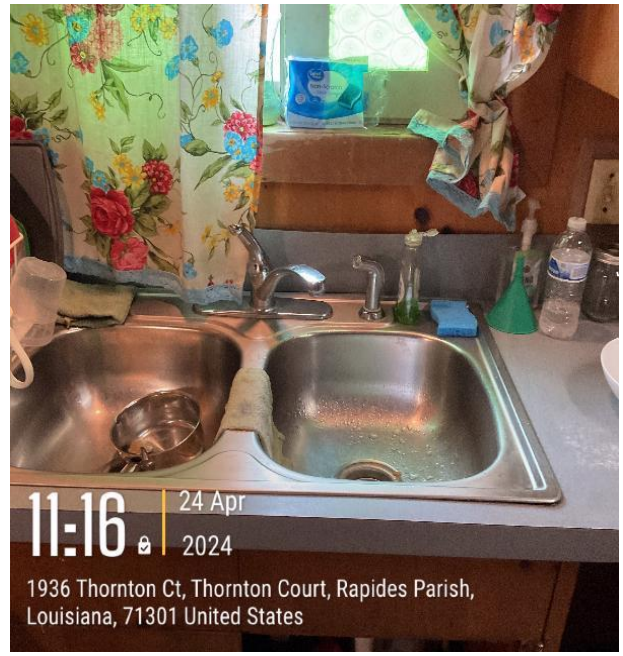
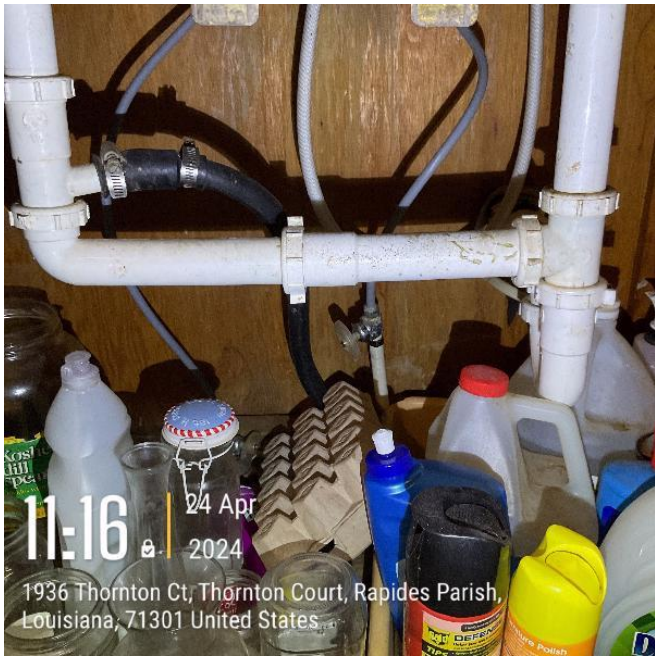


MPN #: **CD-15030**

Street Address: **1936 Thornton Court**







**Case Number: CD-15030**  
**Address: 1936 THORNTON COURT**  
**Inspection Date: 4/30/2024**

**Daniel Thibeaux**  
**(504) 812-2217**

Category	Question	Comment	Amount
	This home has tested positive for lead-based paint.		
Roof	<p>Remove existing roof assembly and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of new 15# felt, continuous ridge vent, shingle laced valleys with ice and water underlayment, new flashing, new roof jacks and new drip edge. Remove deteriorated decking material and replace with material of same thickness or replace an entire section with minimum 7/16" osb. Remove roof jacks and replace existing roof turbines with continuous ridge vent. Use same decking thickness of existing or minimum 7/16" osb decking to cover holes from roof turbines removed. Remove all roofing debris from jobsite. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Weathered Wood shall be the standard color selection or equal. Install per manufacturers specs. Contractor shall be responsible to walk the roof to try to locate soft decking spots that will need to be replaced and tour the inside of the house and attic to determine deteriorated decking and/or water damage spots. Contractor shall also be responsible to verify number of layers to be removed and proper decking method for new installation. Contractor shall include all work listed in the bid price submitted. No change orders for unforeseen layers or inadequate decking will be allowed. *Contractor is responsible to call for a Roof Decking inspection and a Building Final inspection.</p>	<p>TRANSITE TILES ON LOCATION, MUST BE ABATED BEFORE INSTALLATION OF NEW SHINGLES</p>	
Carpentry	<p>Remove existing flat roof areas and replace with SBS Self-adhesive Modified Rolled Roofing. Remove deteriorated decking material and replace with material of same thickness or replace an entire section with minimum 7/16 osb. Remove all roofing debris from jobsite. Weathered Wood shall be the standard color selection to match new 3 tab shingle roof color. CertainTeed Flintlastic SA CAP or equal product (ask Program Manager for technical product data sheet). Install per manufacturers specs. Contractor shall be responsible to walk the roof to try to locate soft decking spots that will need to be replaced and tour the inside of the house and attic to determine deteriorated decking and/or water damage spots. Contractor shall also be responsible to verify number of layers to be removed and proper decking method for new installation. Contractor shall include all work listed in the bid price submitted. No change orders for unforeseen layers or inadequate decking will be allowed. *Contractor is responsible to call for a Roof Decking inspection and a Building Final inspection.</p>	<p>LOW PITCH FRONT PORCH, LESS THAN 2 PITCH 48'X12' AND 12'X12'</p>	



<p>Remove existing screen and install new vinyl or aluminum screen on porch area. Remove and replace all missing, broken, split or otherwise deficient screen stripping, cross bracing and support columns with treated lumber. Treated lumber shall remain unfinished with regard to stain or paint finish.</p>	<p>NEW STORM DOOR</p>	
<p>Remove existing ceiling surface material. Reframe and strip as necessary. Install new 1/2 inch minimum sheetrock, tape, and mud float all joints and holes with feathered edges. Ceiling to be level with no visible sag or humps so attic bracing or work may be required. Inspection required prior to painting. Prime and paint new sheetrock to match existing color. If removal of crown, base and/or shoe mould is required to replace sheetrock, then the replacement of the same shall also be required. Prime and paint / stain all wood trim to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	<p>OVERLAY DINING ROOM WITH SHEETROCK</p>	
<p>Remove existing interior door and replace with new pre-primed masonite interior hollow core door unit &amp; trim. On all newly installed doors, all hinges, screws, locks, hardware and trim to be new. Hardware color to match existing. Doors are to be flush, plumb and balanced with existing walls. Make all necessary adjustments to frame and/or walls and replace frames to ensure adequate, proper and secure fit. Doors to remain in manufacturers pre-primed finish.</p>	<p>BED 1, BIFOLD CLOSET</p>	
<p>Install 1/8" plywood over existing wall above countertop backsplash up to underside of upper wall cabinets (+/- 18 in) and install / overlay with new laminate that matches countertop. Applicant shall have a choice of 4 standard countertops.</p>	<p>GLUE BACKSPLASH AT SINK AREA</p>	
<p>Remove existing cabinets. Replace with new prefinished wood 32in base cabinets (bathrooms) and/or 36in base cabinets with 30in upper wall cabinets (kitchens). Cabinets to be plumb, level with tight fit. Fillers shall be used in corners as needed. No portion of cabinet to be of partial board. A minimum of one base cabinet shall be a drawer bank. Cabinet doors shall be made in such a manner to not require cabinet pull hardware. Applicant shall have a choice of 1 color prefinished stained cabinets or 1 standard white laminated prefinished cabinets.</p>	<p>REPAIR 1 CABINET DOOR</p>	

	<p>Sheet over existing floor with minimum 3/8in B/C plywood. If supporting floor is concrete slab, flash patch / shave / grind all cracks at joints to ensure the floor is level and void of humps or cavities. Install patternless sheet vinyl, per manufacturers specifications and warranty, with appropriate thresholds, carpet bars and new finished shoe mold to match existing finish. Installation shall be free of ripples or raised pockets. Edges shall be cut to tightly fit corners, minimal joints and minimize the appearance of the room being unsquare. If vinyl is in visible proximity, the direction of the pattern shall be the same.</p> <p>*Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>	KITCHEN OVERLAY VCT, INSTALL THRESHOLDS AS NEEDED	
	<p>Remove existing and replace with new wood threshold(s) at room flooring surface transitions. New threshold shall be nailed or glued, according to manufacturer's specifications.</p>	REAR DOOR, AND WEATHER STRIPING, KITCHEN AREA	
Electrical	<p>Label all circuits on panel box, both new and old, with identification data for its function and location.</p>		
	<p>Install new Builders grade fan forced electrical heat/vent/light ceiling fixture in bathroom with new wall mount switch. New fixture to be on a new separate circuit. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.</p>		
	<p>Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.</p>	LIVING ROOM, DINING, KITCHEN, BEDS 1-2-3	
	<p>Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.</p>	ASSURE ALL RECEPTS IN ALL ROOMS ARE IN OPERATIONAL CONDITION	
	<p>Install new wall switches and ceiling lights in the living room, the dining room, the bathroom, each bedroom, kitchen and garage/carpot. Fixture type shall be replaced with the same type as existing. Contractor to field verify each. Finish/Color to match existing.</p>	LIVING ROOM FAN AND LIGHT KIT, KITCHEN REPLACE 2 FLUORESCENTS TO LEDS, REPLACE 2 RECESSED CAN FIXTURES, FIXTURE OVER SINK, BED 1 LIGHT FIXTURE, BED 2 REPLACE 2 FLUORESCENTS TO LEDS, BATH FIXTURE OVER SINK, HALL FIXTURE AND SWITCH	

	Install new Builders grade exterior porch light fixture. All fixtures to be controlled by inside switches. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.	FIXTURE AND SWITCH	
	Install new separate 110V circuit duplex receptacle in bathroom and kitchen in compliance with International Residential Code Section 3902.6-8. New circuit to be on ground fault interrupter.	KITCHEN AND BATH	
	Remove any existing to install new Builders Grade hard wired smoke detectors in all areas as required in current International Residential Code and manufacturer specifications. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination smoke / carbon monoxide units are acceptable.	6 TOTAL	
	Remove any existing to install new Builders Grade hard wired carbon monoxide detector in all areas as required in current International Residential Code and International Fuel Gas Code and manufacturers specifications. When more than one carbon monoxide detector is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination units smoke / carbon monoxide units are acceptable.	6 TOTAL	
	Remove all standard light bulbs in ceiling fixtures throughout interior and exterior of house (excluding motion lights) and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Contractor to discard or salvage old removed light bulbs so that none are left onsite.	28	
Plumbing	Install supply line cut off valves on all toilet, lavatory and sink lines lacking cut off valves. Replace all leaking or deficient cut off valves with new chrome plated valves. All supply lines and traps shall be equipped with chrome plated escutcheon plates.		
	Repair/replace all exposed drains under kitchen sink and/or lavatories inside house. This could include basket strainer, tail pieces, continuous waste, p-trap and/or pop-up assemblies. All work shall be in compliance with current International Plumbing Code.		
	Repair/replace all exposed water supply assembly to fixtures inside house. This may include stops, shut-off valves and flex connectors. Supply lines to be equipped with cut off valves. All work shall be in compliance with current International Plumbing Code.		

	Replace all leaking or deficient traps, wastes, and valves, replace with new Builders grade equivalent.		
	Remove existing toilet and replace with new standard white Builders grade handicap toilet and seat in bathroom. New toilet to have new wax ring base and sealing compound. New toilet shall be standard white and have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet. This work may include slightly relocating toilet and installing waste arm for required clearances.		
	Remove existing lavatory countertop and sink in bathroom, replace with new prefab non-porous countertop with preformed white sink bowl. New non-porous countertop to include preformed backsplash and both sidesplashes (of same non-porous material) if the room configuration has walls on both sides of the countertop. New faucet to be of cast metal construction in chrome or brass finish, with brass valve stems with replaceable neopryne washers and removable seats. Supply lines shall have cut off valves and chrome plated escutcheon plates.	NEW VANITY, SINK, FAUCETS, DRAINS, AND SUPPLIES	
	Remove existing kitchen sink and faucet to replace/install new Builders grade 7 inch deep double compartment stainless steel sink and trim in kitchen. Secure per manufacturer feets specs. Sink faucet to be chrome or brass finish, cast metal with brass valve stems with replaceable neoprene washers and removable seats. Strainer basket(s) to be stainless steel. Wastes to be pvc. Supply lines to be chrome plated brass with cut off valves, complete with escutcheon plates.		
Mechanical	Install new Builders grade central heating and cooling system of adequate tonnage to service the interior volume of the structure. Unit shall be all electric. Install programmable wall mounted thermostat. Return air vent to be installed as practicable for proper function of the unit. This shall include new thermostat, plenum, compressor, duct work, registers, etc. Install as per International Residential code and manufacturer specs. Licensed Mechanical Contractor shall make installations and be responsible for warranty.	INSTALL NEW HEAT UNIT AC IS GOOD	
Painting	Paint any newly hung sheetrock in other scopes and/or areas replaced due to physical damage such as holes and severe water stains. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.		
	Repaint / restrain existing and/or new molding, casing & trim to match existing walls to match existing trim. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.		

	<p>Repaint / restrain existing and/or new interior doors and casing trim. Doors to be covered with product on both sides of door and all 4 edges of door thickness.</p> <p>*Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.</p>		
Exterior/Interior Paint/Stain Specification (LEAD)	<p>Paint shall be mixed and applied in accordance with manufacturers specifications, including temperature recommendations. Paint brand to be Benjamin Moore or equal. Previously painted/stained wood shall be thoroughly cleansed of peeling, blistered or razed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All nail holes shall be filled, sanded and covered. All surfaces shall be smooth and clean prior to painting/staining. All wood shall receive enough coats to provide adequate coverage but no less than two (2) full strength coats. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Prime and paint exposed side of materials to match existing. Use best practices to prevent splatter, dripping or spray onto other surfaces and clean / remove any created. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.</p>		
		<b>SUBTOTAL \$</b>	
<b>ADD ALTERNATE</b>	<p>Install 6ft x 6ft landing pad, level with porch, and a 4ft wide handicap ramp with code compliant slope and length and adequately sized side rails bolted to ramp base according to current version of ANSI A117.1. Use treated 4in x 4in minimum support post (anchored in concrete) and treated decking on ramp. **All lumber to be treated lumber. Treated lumber shall remain unfinished. Contractor may substitute replacement with metal, prefabricated, mill finish landing pad and ramp. *CmDv approval required prior to purchase of prefab unit.</p>	ALUMINUM HANDICAP RAMP, 22" RISE, LOCATION TO BE DISCUSSED IN PRECON	
		<b>ADD ALTERNATES SUBTOTAL \$</b>	
		<b>TOTAL \$</b>	

## 2.1 Scope of Work

Base Scope 1936 Thornton Court Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Porch	Window Sash, Sill, Frame, and Casing	Wood	White	4 Windows	<sup>1</sup> Remove and Replace Component
Exterior B	Walls	Wood	White	500 SF	Paint Stabilization
Exterior C	Walls	Wood	White	450 SF	Paint Stabilization
Exterior D	Walls	Wood	White	550 SF	Paint Stabilization
Exterior Wall B	Window Sash, Sill, Frame, and Casing	Wood	White	6 Windows	<sup>1</sup> Remove and Replace Component
Exterior Wall C	Window Sash, Sill, Frame, and Casing	Wood	White	4 Windows	<sup>1</sup> Remove and Replace Component
Exterior (A, B, C, D)	Roof Deck	Wood	White	800 SF	Paint Stabilization
Exterior Walls (A, B, C, D)	Fascia/Barge Rafter	Wood	White	4	Paint Stabilization
Bedroom 2	Windowsills	Bedroom 2	-	-	Specialized Cleaning
Living Room	Windowsills	Living Room	-	-	Specialized Cleaning
Den	Windowsills	Den	-	-	Specialized Cleaning
Exterior Wall A	Dripline	-	-	-	Soils – Remove and Replace
Exterior Wall B	Dripline	-	-	-	Soils – Remove and Replace

<sup>1</sup> Removal will include window casings and sills of impacted window system’s corresponding interior/interior locations.





Exterior Wall C	Dripline	-	-	-	Soils – Remove and Replace
Exterior Wall D	Dripline	-	-	-	Soils – Remove and Replace

<b>Alternate Scope                      1936 Thornton Court                      Alexandria, LA</b>					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Exterior Wall A	Wall	Wood	White	300 SF	Paint Stabilization
Porch	Framing	Wood	White	100 LF	Paint Stabilization
Porch	Ceiling	Wood	White	200 SF	Paint Stabilization
Porch	Door Casing	Wood	White	1	Paint Stabilization
Porch	Door Frame	Wood	White	1	Paint Stabilization
Carport	Support Beam	Wood	White	1	Paint Stabilization
Exterior Wall C	Fascia	Wood	White	30 LF	Paint Stabilization
Exterior Wall C	Corbels	Wood	White	5	Paint Stabilization

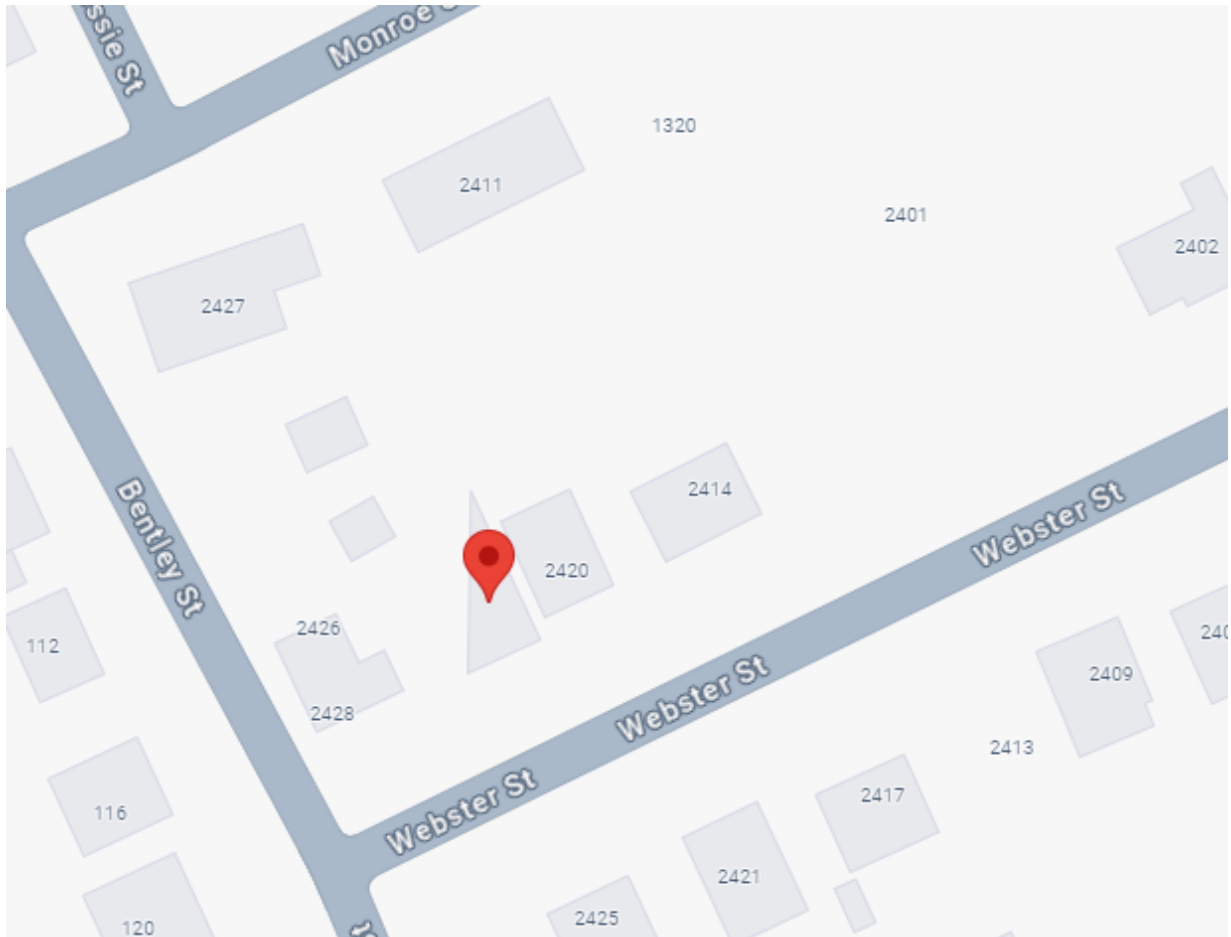
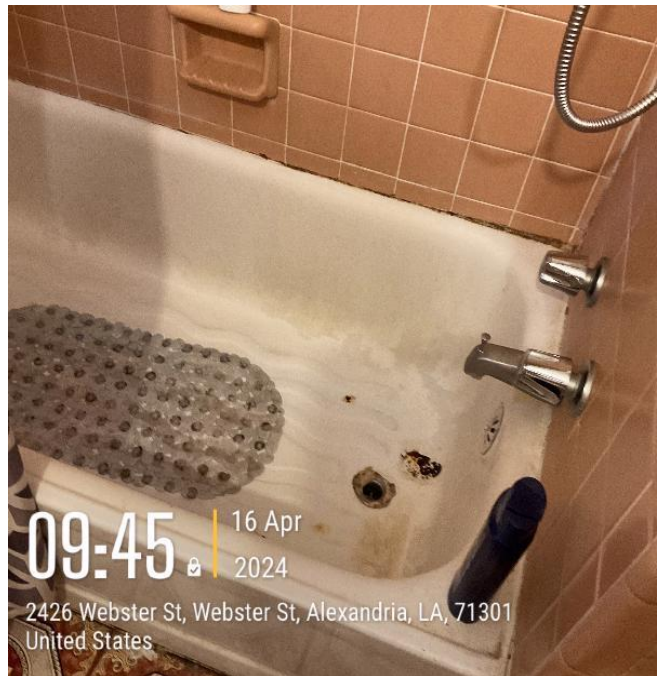
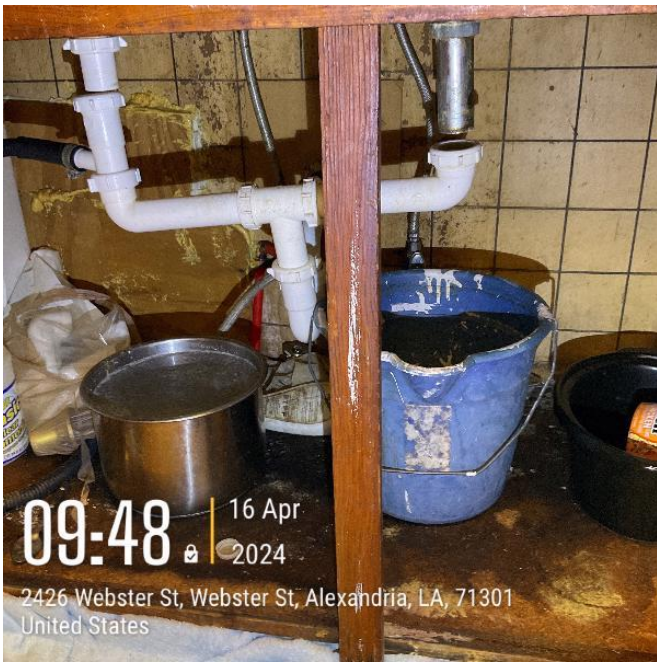


MPN #: **CD-15016**

Street Address: **2424 Webster Street**







**Case Number: CD-15016**  
**Address: 2424 WEBSTER STREET**  
**Inspection Date: 4/24/2024**

**Reginald Goff**  
**(318) 623-8833**

Category	Question	Comment	Amount
	This home has tested positive for lead-based paint.		
Roof	<p>Remove existing roof assembly and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of new 15# felt, continuous ridge vent, shingle laced valleys with ice and water underlayment, new flashing, new roof jacks and new drip edge. Remove deteriorated decking material and replace with material of same thickness or replace an entire section with minimum 7/16" osb. Remove roof jacks and replace existing roof turbines with continuous ridge vent. Use same decking thickness of existing or minimum 7/16" osb decking to cover holes from roof turbines removed. Remove all roofing debris from jobsite. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Weathered Wood shall be the standard color selection or equal. Install per manufacturers specs. Contractor shall be responsible to walk the roof to try to locate soft decking spots that will need to be replaced and tour the inside of the house and attic to determine deteriorated decking and/or water damage spots. Contractor shall also be responsible to verify number of layers to be removed and proper decking method for new installation. Contractor shall include all work listed in the bid price submitted. No change orders for unforeseen layers or inadequate decking will be allowed. *Contractor is responsible to call for a Roof Decking inspection and a Building Final inspection.</p>		
	<p>Remove swag from roof and level. Replace all broken, rotten or deficient rafters, decking, felt and shingles as necessary to correct the roof swag. Reframe in compliance with International Residential Code requirements. Replacement materials shall be minimum 7/16 inches osb decking, 15# felt and 25 year shingles. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Color to match remaining shingles as much as possible. Install per manufacturer specs. Contractor to factor in possible damage or cracking to ceilings or walls below in the course of repair. Contractor shall include all work listed in the bid price submitted. No change orders to replace unforeseen materials will be allowed. *Contractor is responsible to call for a Framing inspection once all framing members are replaced. Contractor is responsible to call for a Building Final inspection once all work is complete.</p>	1 LOCATION IN REAR	

Carpentry	If porch is greater than 30in above grade, install pre-finished aluminum / metal handrail, minimum of 36in high, secured at floor, columns and/or exterior wall. Installed in compliance with current International Residential Code. Century Group Model #P11047SR or equal. Modify onsite to fit length.	INCLUDED WITH HANDI-CAP RAMP	
	Install 6ft x 6ft landing pad, level with porch, and a 4ft wide handicap ramp with code compliant slope and length and adequately sized side rails bolted to ramp base according to current version of ANSI A117.1. Use treated 4in x 4in minimum support post (anchored in concrete) and treated decking on ramp. **All lumber to be treated lumber. Treated lumber shall remain unfinished. Contractor may substitute replacement with metal, prefabricated, mill finish landing pad and ramp. *CmDv approval required prior to purchase of prefab unit.	OPTIONAL	
	ADA compliant handicap ramp system manufactured from high strength, lightweight aluminum. Designed to be freestanding but can be installed as a permanent fixture, moved or reconfigured. Minimum 36" wide. Weight capacity of 100 lbs per square foot minimum. Built-in 1 1/2" thick handrails that are ADA compliant. Option ADA extensions and/or guard rails with vertical slats may be required. Ramp length to be determined onsite, however, must comply with ADA minimum slope requirement. PVI Modular XP Aluminum Wheelchair Ramp Section with Handrails or equal.	INSTALL NEW ALUMINUM HANDI-CAP PAD AND RAMP	
	Install new Builders grade aluminum exterior storm door over existing exterior doors. Croft Storm Door, Gibraltar Series, Self-Storing (1/2 door has operable screened opening) Door or equal, mill or white finish. Doors to have 3 1/8" x 1 1/4" thick aluminum frame, four hinges, a standard kickplate, heavy duty pneumatic closer, shatter resistant tempered safety glass, aluminum or vinyl screen, and adjustable bottom sweep. Make all necessary adjustments to frame for proper operation. Irregular door sizes shall be custom made to ensure proper fit in existing door frames.		
	Remove, replace and/or repair all broken, cracked, or deficient sheetrock in walls and ceilings. Sheetrock thickness to match existing but no less than 3/8 inch thick. Tape and mud float all joints with feathered edges. Fill all holes. Sand and texture sheetrock to match adjacent finish. Inspection required prior to painting. Prime and paint new sheetrock to match existing color. If removal of crown, base and/or shoe mould is required to replace sheetrock, then the replacement of the same shall also be replaced with new. Prime and paint / stain all new wood trim to match existing. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	3 ROOMS	



	Remove existing countertop material and impacted fixtures and appliances. Install new preformed laminate countertop, bullnosed with 3 1/2in rolled backsplash. Sidesplashes shall also be installed of matching material on countertop sides that kill into a wall. Countertop to have minimal joints as needed at directional turns and securely glued and screwed (on bottom side) tight to base cabinet. Install 1/8" plywood over existing wall above countertop backsplash up to underside of upper wall cabinets (+/- 18 in) and install / overlay with new laminate that matches new countertop. Applicant shall have a choice of 4 standard countertop colors / designs.	NEW COUNTERTOP AND REHANG CABINET DOORS AND REPAIR DRAWERS	
Electrical	Label all circuits on panel box, both new and old, with identification data for its function and location.		
	Install new Builders grade fan forced electrical heat/vent/light ceiling fixture in bathroom with new wall mount switch. New fixture to be on a new separate circuit. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.	2 TOTAL	
	Install new separate (110- 220V) circuits for existing window heat/air conditioner unit (over 5000 btus).	BED 2	
	Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.	LIVING ROOM [TV AREA], KITCHEN, BED 1 [TV AREA]	
	Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.	CHECK ALL RECPT. IN EACH ROOM TO ASSURE PROPER OPERATION	
	Install new wall switches and ceiling lights in the living room, the dining room, the bathroom, each bedroom, kitchen and garage/carpot. Fixture type shall be replaced with the same type as existing. Contractor to field verify each. Finish/Color to match existing.	BED 1, BATH 1	
	Install new Builders grade exterior porch light fixture. All fixtures to be controlled by inside switches. Disconnected existing fixture may remain in place if it is a different size / configuration than the new replacement in effort to alleviate repair work to the ceiling itself.	FRONT ENTRANCE AND REAR ENTRANCE	
	Install new separate 110V circuit duplex receptacle in bathroom and kitchen in compliance with International Residential Code Section 3902.6-8. New circuit to be on ground fault interrupter.	KITCHEN, BATH 1-2	

	Remove any existing to install new Builders Grade hard wired smoke detectors in all areas as required in current International Residential Code and manufacturer specifications. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination smoke / carbon monoxide units are acceptable.	7 TOTAL	
	Remove any existing to install new Builders Grade hard wired carbon monoxide detector in all areas as required in current International Residential Code and International Fuel Gas Code and manufacturers specifications. When more than one carbon monoxide detector is required, the alarm devices shall be interconnected, be hard-wired and have battery back-up. Combination units smoke / carbon monoxide units are acceptable.	7 TOTAL	
	Remove all standard light bulbs in ceiling fixtures throughout interior and exterior of house (excluding motion lights) and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Contractor to discard or salvage old removed light bulbs so that none are left onsite.	30 TOTAL	
Plumbing	Install supply line cut off valves on all toilet, lavatory and sink lines lacking cut off valves. Replace all leaking or deficient cut off valves with new chrome plated valves. All supply lines and traps shall be equipped with chrome plated escutcheon plates.	KITCHEN, BATH 1 AND BATH 2 ALL SINK AND TOILET LOCATIONS	
	Repair/replace all exposed drains under kitchen sink and/or lavatories inside house. This could include basket strainer, tail pieces, continuous waste, p-trap and/or pop-up assemblies. All work shall be in compliance with current International Plumbing Code.	KITCHEN, BATH 1 AND BATH 2	
	Repair/replace all exposed water supply assembly to fixtures inside house. This may include stops, shut-off valves and flex connectors. Supply lines to be equipped with cut off valves. All work shall be in compliance with current International Plumbing Code.	KITCHEN SINK, BATH 1-2 SINKS AND TOILETS	
	Replace all leaking or deficient traps, wastes, and valves, replace with new Builders grade equivalent.	KITCHEN SINK, BATH 1-2 SINKS	
	Remove existing toilet and replace with new standard white Builders grade handicap toilet and seat in bathroom. New toilet to have new wax ring base and sealing compound. New toilet shall be standard white and have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet. This work may include slightly relocating toilet and installing waste arm for required clearances.	2 TOTAL	

<p>Remove existing tub, faucet and drain assembly, replace with new Builders grade one piece standard (or 4 piece kit if necessary for accessibility) white prefabricated fiberglass handicap accessible walk-in / roll-in shower stall 3ft x 5 ft, with prefabricated bench seat and complete with brass waste and shower faucet and spray head. (Tub width may have to be 32 inch to match existing available opening). Installation shall be in compliance with the current International Residential Code and International Plumbing Code. Faucet finish to be brass or chrome. *If existing wall tile must be removed for adequate fit and/or new end cap stud wall is needed, frame / surface / finish as needed to match existing walls. Vinyl to be glued to minimum 3/8 inches plywood securely glued and encased in cap molding. Use NO nails in tileboard.</p>	<p>BATH 1, INSTALL WALK-IN TUB, FAUCETS, SHOWER HEAD INCLUDING TUB SURROUND KIT</p>	
<p>Remove existing tub, faucet and drain assembly, replace with new Builders grade one piece standard (or 4 piece kit if necessary for accessibility) white prefabricated 3ft x 5ft fiberglass tub/shower combination, complete with brass waste and tub faucet and shower head. (Tub width may have to be 32 inch to match existing available opening). Installation shall be in compliance with the current International Residential Code and International Plumbing Code. Faucet finish to be brass or chrome. *If existing wall tile must be removed for adequate fit and/or new end cap stud wall needed, frame / surface / finish as needed to match existing walls. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.</p>	<p>BATH 2 TUB SHOWER, FAUCETS, VALVES AND SHOWER HEAD INCLUDING TUB SURROUND</p>	
<p>Install standard Builders grade white vinyl tub surround kit around bathtub area. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.</p>		
<p>Remove existing kitchen sink and faucet to replace/install new Builders grade 7 inch deep double compartment stainless steel sink and trim in kitchen. Secure per manufacturer feets specs. Sink faucet to be chrome or brass finish, cast metal with brass valve stems with replaceable neoprene washers and removable seats. Strainer basket(s) to be stainless steel. Wastes to be pvc. Supply lines to be chrome plated brass with cut off valves, complete with escutcheon plates.</p>	<p>DRAINS, SUPPLIES AND CUTOFFS INCLUDED</p>	
<p>Install washing machine catch-a-drip drain in wall with hot and cold water supply. Repair any surrounding wall area affected to match existing.</p>	<p>INCLUDE CUTOFFS AND DRAINS</p>	
<p>Repair/replace/repipe building drain lines under house up to building sewer service line. Install clean-out at junction. Old drain lines may remain in place, due to limited working space, if disconnected from building sewer line, when the entire drain lines are being replaced.</p>	<p>OPEN SEWER LINES ON RIGHT SIDE OF HOUSE, SEWAGE IS OVERFLOWING TO SURFACE, CLEAN OUT DRAINS FROM BOTH BATHS AND KITCHEN, TO SERVICE LINES, [TOILETS AND TUBS]</p>	

	Install new 18in chrome plated grab bar in bathroom in compliance with current ANSI A117.1. Bar to be firmly secured by minimum 1 1/4in screws to studs or sufficient blocking. Repair and finish wall if bracing is added.	BOTH BATHS, ADA SPECS	
Painting	Paint any newly hung sheetrock in other scopes and/or areas replaced due to physical damage such as holes and severe water stains. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	LIVING ROOM, BED 2, LAUNDRY ROOM, PAINT ENTIRE CEILING OR WALL TO MATCH	
	Repaint / restrain existing and/or new molding, casing & trim to match existing walls to match existing trim. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	PAINT ANY NEW TRIM ON FLOORS	
Exterior/Interior Paint/Stain Specification (LEAD)	Paint shall be mixed and applied in accordance with manufacturers specifications, including temperature recommendations. Paint brand to be Benjamin Moore or equal. Previously painted/stained wood shall be thoroughly cleansed of peeling, blistered or razed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All nail holes shall be filled, sanded and covered. All surfaces shall be smooth and clean prior to painting/staining. All wood shall receive enough coats to provide adequate coverage but no less than two (2) full strength coats. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Prime and paint exposed side of materials to match existing. Use best practices to prevent splatter, dripping or spray onto other surfaces and clean / remove any created. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.		
		<b>SUBTOTAL \$</b>	
<b>ADD ALTERNATE</b>	Remove existing deteriorated subfloor and replace with new framing members and floor decking of #2 standard grade minimum. Framing members and floor decking shall be adequately sized to support the dead and live load weight it holds in accordance with current International Residential Code. If supporting floor is concrete slab, flash patch / shave / grind all cracks at joints to ensure the floor is level and void of humps or cavities. Install patternless sheet vinyl, per manufacturers specifications and warranty, with appropriate thresholds, carpet bars and new finished shoe mold to match existing finish. Installation shall be free of ripples or raised pockets. Edges shall be cut to tightly fit corners, minimal joints and minimize the appearance of the room being unsquare. If vinyl is in visible proximity, the direction of the pattern shall be the same. *Painting/staining requirements shall comply with Exterior/Interior Paint/Stain specification attached.	ALL LOCATIONS +/- 1550 SF	
		<b>ADD ALTERNATES SUBTOTAL \$</b>	
		<b>TOTAL \$</b>	

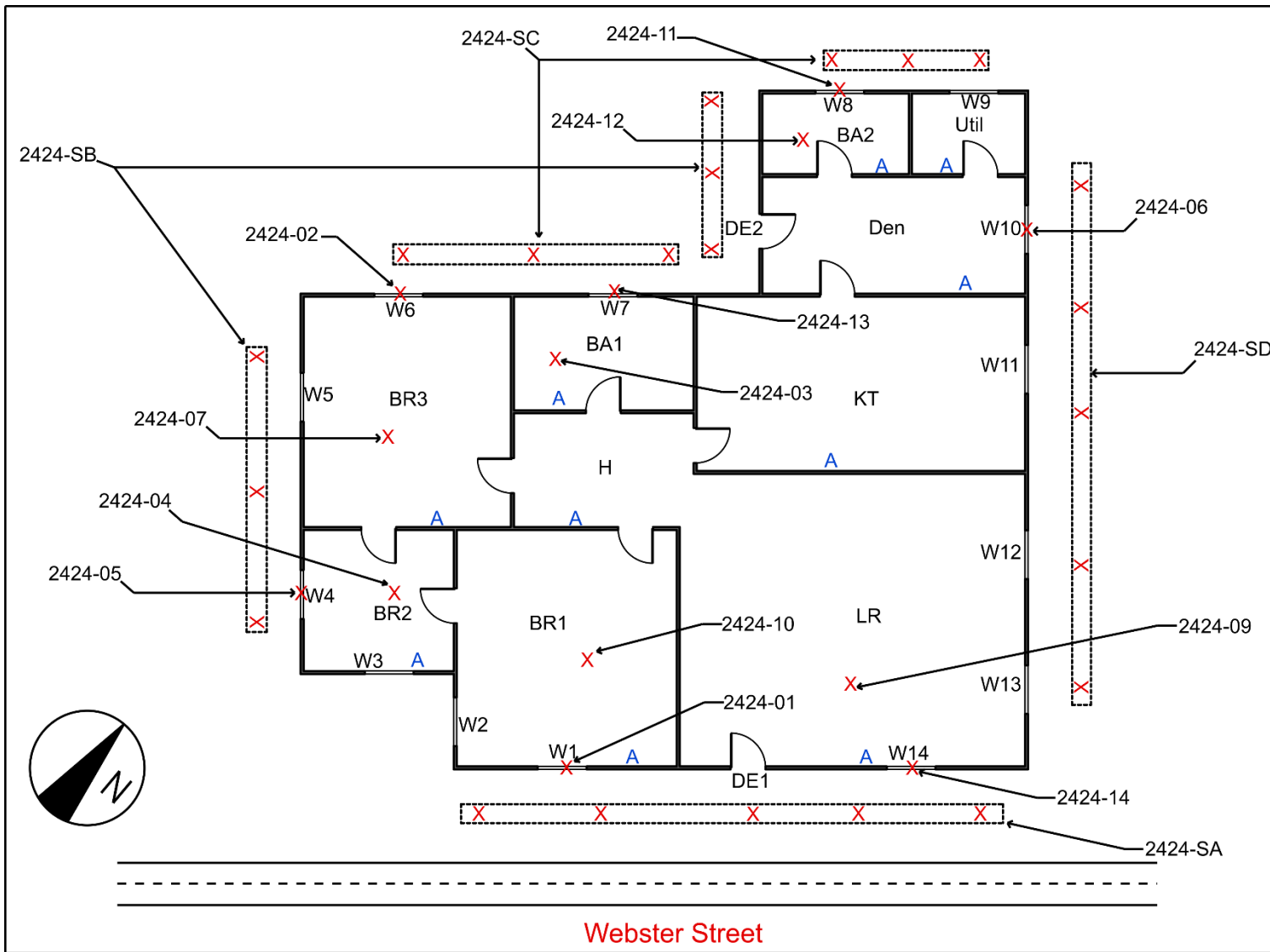
## 2.1 Scope of Work

Base Scope 2424 Webster Street Alexandria, LA					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Exterior Wall A	Door Casing	Wood	White	1 Door Casing	Remove and Replace Component
Living Room	Window Sash, Sill, Frame, and Casing	Wood	White	4 Windows	<sup>1</sup> Remove and Replace Component
Bedroom 1	Window Sash, Sill, Frame, and Casing	Wood	White	3 Windows	<sup>1</sup> Remove and Replace Component
Bedroom 2	Window Sash, Sill, Frame, and Casing	Wood	White	3 Windows	<sup>1</sup> Remove and Replace Component
Bedroom 3	Window Sash, Sill, Frame, and Casing	Wood	White	4 Windows	<sup>1</sup> Remove and Replace Component
Bathroom 1	Window Sash, Sill, Frame, and Casing	Wood	White	1 Window	<sup>1</sup> Remove and Replace Component
Bathroom 2	Door Frame	Wood	White	1 Door Frame	Remove and Replace Component
Bedroom 2	Floor	Bedroom 2	-	-	Specialized Cleaning
Bathroom 2	Floor	Bedroom 2	-	-	Specialized Cleaning

<sup>1</sup> Removal will include window casings and sills of impacted window system's corresponding interior/exterior locations.

<b>Alternate Scope                      2424 Webster Street                      Alexandria, LA</b>					
Room/Area	Component	Substrate	Color	Estimated Quantity	Treatment
Exterior Wall C	Window Sash, Sill, Frame, and Casing	Metal	White	3 Windows	<sup>1</sup> Remove and Replace
Exterior Wall D	Window Sash, Sill, Frame, and Casing	Metal	White	4 Windows	<sup>1</sup> Remove and Replace
Living Room	Baseboard	Wood	White	60 LF	Remove and Replace
Bedroom 1	Door Casing	Wood	White	2 Door Casings	Remove and Replace
Bedroom 1	Door Frame	Wood	White	2 Door Frames	Remove and Replace
Bedroom 1	Door	Wood	White	2 Doors	Remove and Replace
Bedroom 1	Baseboard	Wood	White	40 LF	Remove and Replace
Hall	Baseboard	Wood	White	30 LF	Remove and Replace
Bedroom 3	Door Casing	Wood	White	2 Door Casings	Remove and Replace
Bedroom 3	Door Frame	Wood	White	2 Door Frames	Remove and Replace
Bedroom 3	Baseboard	Wood	White	40 LF	Remove and Replace
Bathroom 1	Door Casing	Wood	White	1 Door Casing	Remove and Replace
Bathroom 1	Door Frame	Wood	White	1 Door Frame	Remove and Replace
Bathroom 2	Door Casing	Wood	White	1 Door Casing	Remove and Replace
Utility Room	Door Casing	Wood	White	1 Door Casing	Remove and Replace
Utility Room	Door Frame	Wood	White	1 Door Frame	Remove and Replace





2424 Webster Street  
Alexandria, LA

Lead Inspection/Risk Assessment  
Site Drawing